

21010 WILDPINE

TITLE PAGE

- A001 TITLE PAGE
- A003 STATISTICS
- A101 SITE PLAN
- A201 UNDERGROUND PARKING P2
- A202 UNDERGROUND PARKING P1
- A203 1st FLOOR
- A204 2nd FLOOR
- A205 3rd FLOOR
- A206 4th FLOOR
- A207 ROOF PLAN
- A301 ELEVATIONS
- A302 ELEVATIONS
- A351 BUILDING SECTION
- A352 BUILDING SECTION



21010 WILDPINE

ARCHITECTURE

FOR SPA

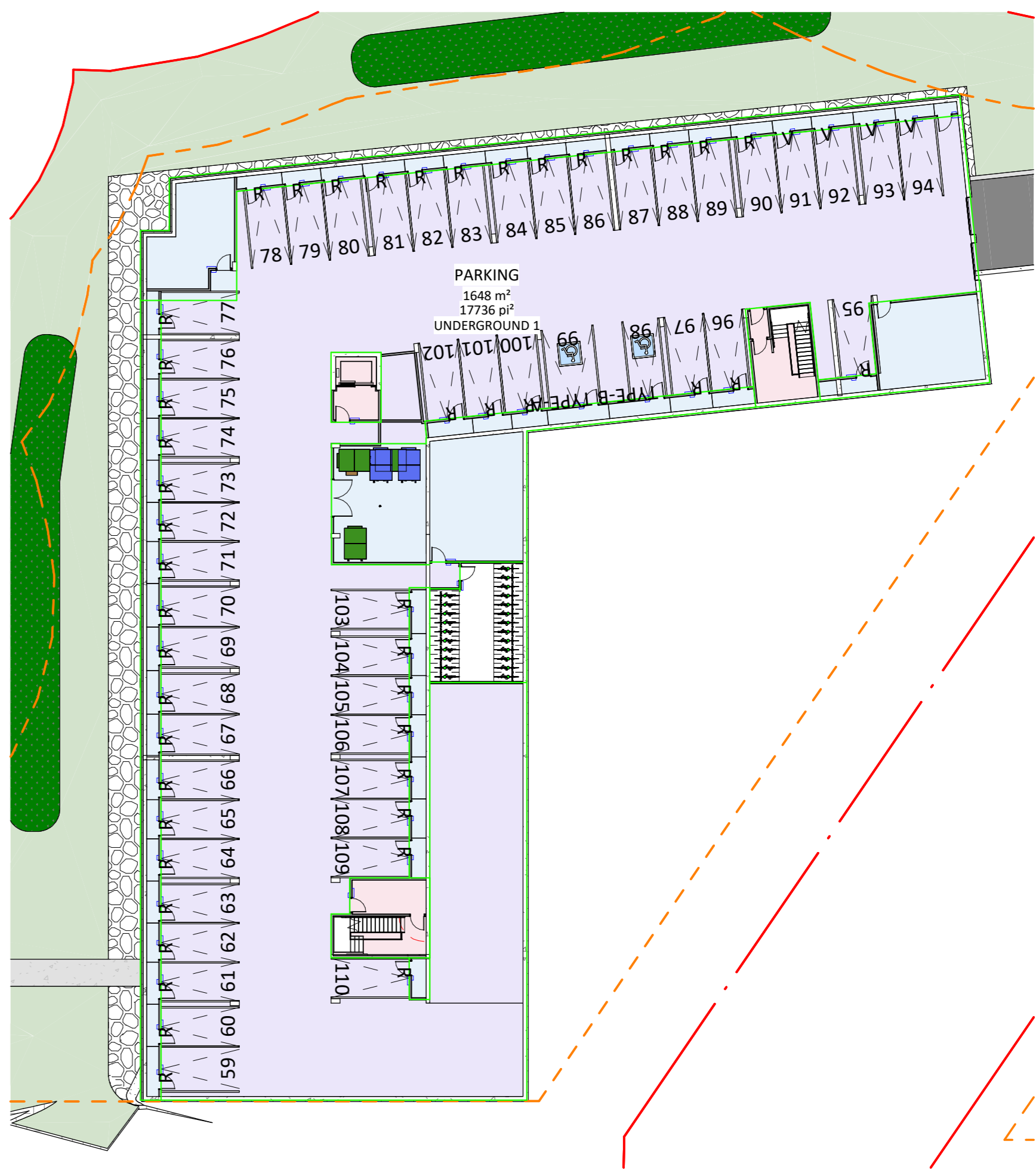
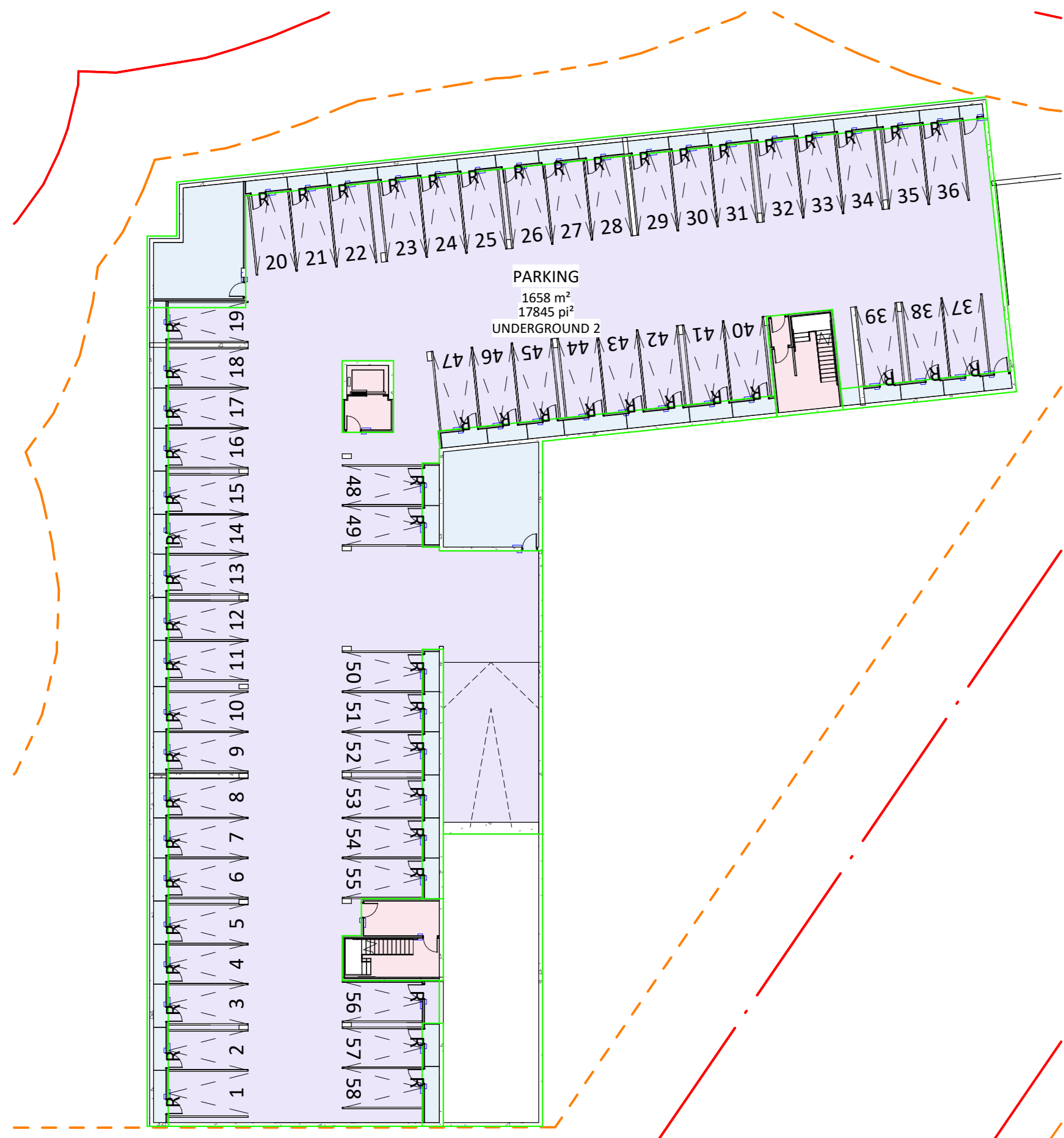
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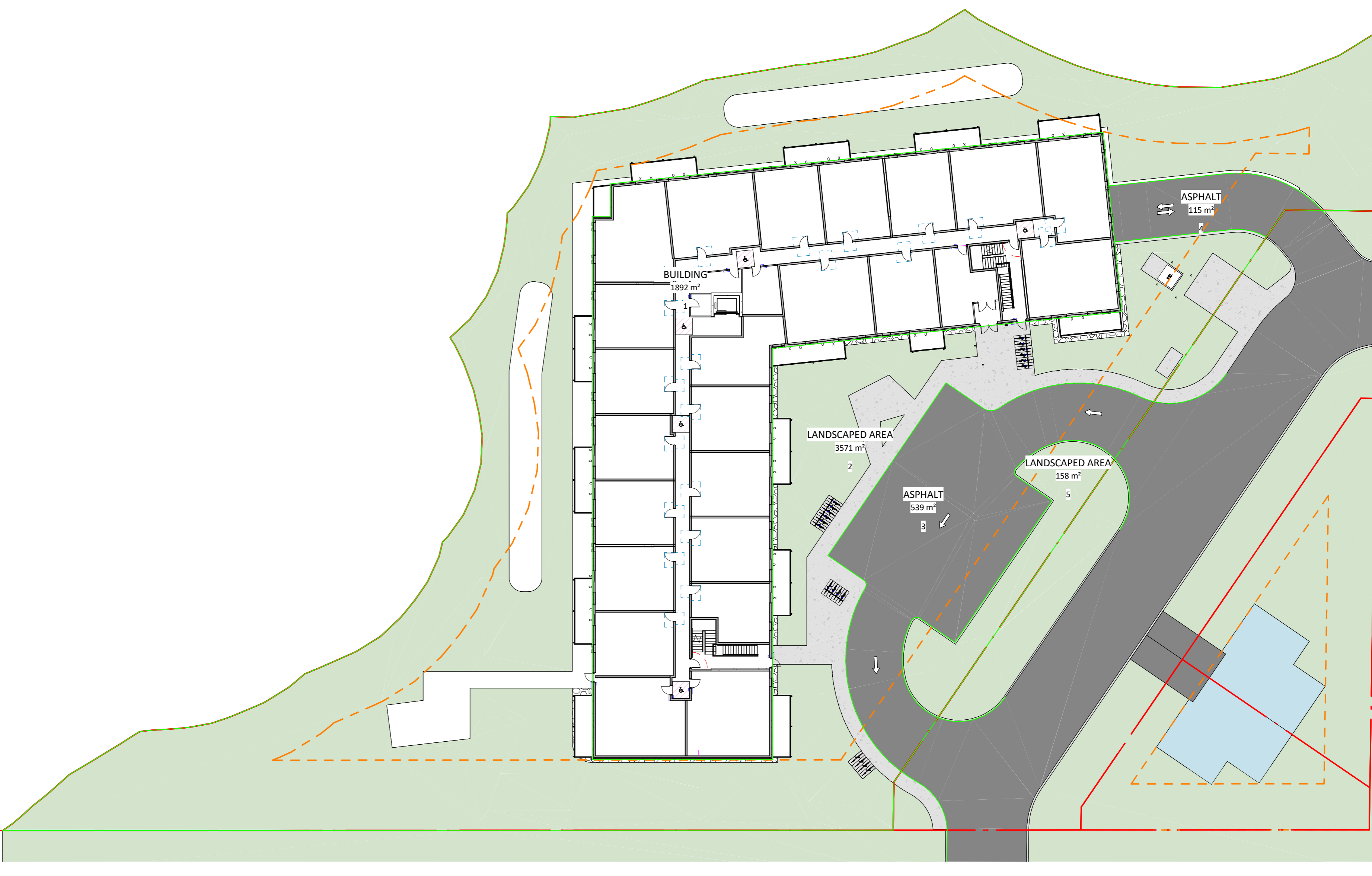


1 UNDERGROUND PARKING P2
ASB1 1:300

3 1st FLOOR
ASB1 1:300

5 3rd FLOOR
ASB1 1:300

2 UNDERGROUND PARKING P1
ASB1 1:300



4 2nd FLOOR
ASB1 1:300

6 4th FLOOR
ASB1 1:300

7 LANDSCAPE CALCULATION
ASB1 1:300

PMA_PROFORMAT		
LEVEL	GROSS CONSTRUCTION (R²)	RENTABLE AREA (R²)
1st FLOOR	25 793	15 203
2nd FLOOR	22 469	17 917
3rd FLOOR	22 469	17 917
4th FLOOR	22 469	17 917
TOTAL	93 199	68 954

PMA_PROFORMAT PARKING		
LEVEL	GROSS CONSTRUCTION (R²)	
UNDERGROUND PARKING P2	23 412	
UNDERGROUND PARKING P1	23 412	
TOTAL	46 823	

PARKING SPACES			
LEVEL	QUANTITY	TYPE	PLAN ID
UNDERGROUND PARKING P1	1	RESIDENT PARKING	R
UNDERGROUND PARKING P2	1	RESIDENT PARKING	R
	2		

AMENITY AREA	
TYPE	AREA
AMENITY - PRIVATE	748 m²
AMENITY - SHARED EXTERIOR	341 m²
AMENITY - SHARED INTERIOR	171 m²

LANDSCAPED AREA		
NAME	SURFACE	%
ASPHALT	655 m²	40%
BUILDING	1892 m²	20%
LANDSCAPED AREA	3729 m²	40%
TOTAL	6276 m²	

UNITS TYPE AND AREA				
UNIT TYPE	QUANTITY	AVERAGE AREA (R²)	TOTAL AREA (R²)	DISTRIBUTION
1 BED	63	668	42 080	68%
2 BED	30	896	26 874	32%
TOTAL	93	1 564	68 954	

RESIDENT			
LEVEL	QUANTITY	TYPE	PLAN ID
UNDERGROUND PARKING P1	45	RESIDENT PARKING	R
UNDERGROUND PARKING P1	1	ACCESSIBLE PARKING TYPE-A	TYPE-A
UNDERGROUND PARKING P1	1	ACCESSIBLE PARKING TYPE-B	TYPE-B
UNDERGROUND PARKING P2	57	RESIDENT PARKING	R
TOTAL	104		

GFA_CITY OF OTTAWA	
LEVEL	AREA
1st FLOOR	1 340 m²
2nd FLOOR	1 576 m²
3rd FLOOR	1 576 m²
4th FLOOR	1 576 m²
TOTAL	6 069 m²

BICYCLES PARKING SPACES			
LEVEL	TYPE	TOTAL	PLAN ID
1st FLOOR	HORIZONTAL / OUTDOOR	20	
UNDERGROUND PARKING P1	HORIZONTAL / INDOOR	46	
TOTAL		66	

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	SHEET TITLE
STATISTICS	



SITE INFORMATION & DEVELOPMENT STATISTICS

LOTS	PIN	
ZONING	PART OF LOT 24, CONCESSION 11, GEOGRAPHIC TOWNSHIP OF GOULBOURN, CITY OF OTTAWA	
SITE AREA	~6,410 m ² (0.641ha)	
TOTAL SITE AREA:	~6,410 m ² (0.641ha)	
UNITS	93 UNITS	
RESIDENTIAL:	REQUIRED	PROVIDED
SPECIFIC PROVISIONS	REQUIRED	PROVIDED
MINIMUM LOT AREA	450 m ²	6,410 m ²
MINIMUM LOT WIDTH	18 m	88.99 m
SETBACKS		
MINIMUM FRONT YARD:	3 m	6 m
MINIMUM CORNER SIDE YARD:	6 m	N/A
MINIMUM INTERIOR SIDE YARD:	3 m	3 m
MINIMUM REAR YARD:	6 m	6 m
MAXIMUM BUILDING HEIGHT	15 m	12 m
PARKING RATES	REQUIRED	PROVIDED
(93 UNITS):		
R4 - APARTEMENTS	MIN. 1 p/unit = 93	105 (1.13 p/unit)
VISITOR:	0.2 p/unit = 19	19 (0.2 p/unit)
	TOTAL: 124	
BIKE PARKING	REQUIRED	PROVIDED
(93 UNITS):		
GROUND LEVEL	MIN. 50% OF REQUIRED = 24	42
INDOORS	n/a	22
LANDSCAPED AREA	MAX. 50% = 24	20
STACKED		
INDOORS	n/a	22
	0.5 p/unit = 47	TOTAL: 64
AMENITY AREA	REQUIRED	PROVIDED
PRIVATE:	6m ² p/unit = 558m ²	748m ²
SHARED:	50% OF PRIVATE = 279m ²	512m ²
GFA - CITY OF OTTAWA	PROVIDED	
	6,069m ²	
WASTE CALCULATIONS	REQUIRED	PROVIDED
(93 UNITS):		
GARBAGE:	0.106m ³ p/unit = 9.86yd ³	3 x 4yd ³ CONTAINER
RECYCLING (FEL GMP):	0.018m ³ p/unit = 1.68yd ³	1 x 4yd ³ CONTAINER
RECYCLING (FEL FIBRE):	0.038m ³ p/unit = 3.53yd ³	1 x 4yd ³ CONTAINER
ORGANICS:	240L p/50 units = 1.86	2 x 240L CONTAINER

*EACH BUILDING HAS AN UNDERGROUND COLLECTION ROOM (SEE UNDERGROUND PARKING PLANS. THE COLLECTION DAY, THE CONTAINERS ARE BROUGHT UP TO THE COLLECTION PAD.

NOTE
 1. THE BASE PLAN (LOT LINES, EXISTING ROADS AND SURROUNDING AREAS) IS BASED ON THE TOPOGRAPHICAL PLAN OF SURVEY OF ANNIS, O'SULLIVAN, VOLLEBEK LTD - JOB NO. 21203-20.

SITE PLAN LEGEND

	PROPERTY LINE		WETLAND BOUNDARY
	MINIMUM SETBACK		SETBACK FROM TOP OF BANK +28 m
	EASEMENT		SETBACK FROM TOP OF BANK +30 m
	LIMIT OF UNDERGROUND PARKING		SETBACK FROM WETLAND +15 m
	POOLE CREEK - TOP OF BANK		SETBACK FROM WETLAND +30 m
	WOOD PRIVACY FENCE 1.8M HT		SETBACK FROM WETLAND +30 m
	PROPOSED BLACK VINYL CHAINLINK FENCE 1.5 HT		TREE PROTECTION FENCE
	EXISTING WETLANDS		7.5m BUFFER FROM FLOOD PLAIN LINE
	LANDSCAPE AREA (GRASS)		WASHED RIVER ROCK
	CONCRETE SIDEWALK		ASPHALT ROADWAY
	SNOW MELTING ZONE		LANDSCAPE AND RAISED
	CRUSHED STONE		WATER
	75 600 GEO		ENTRANCE / EXIT
	FIRE HYDRANT		LOT CORNER MARKER

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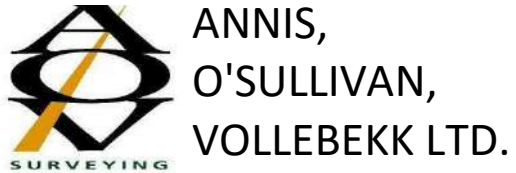
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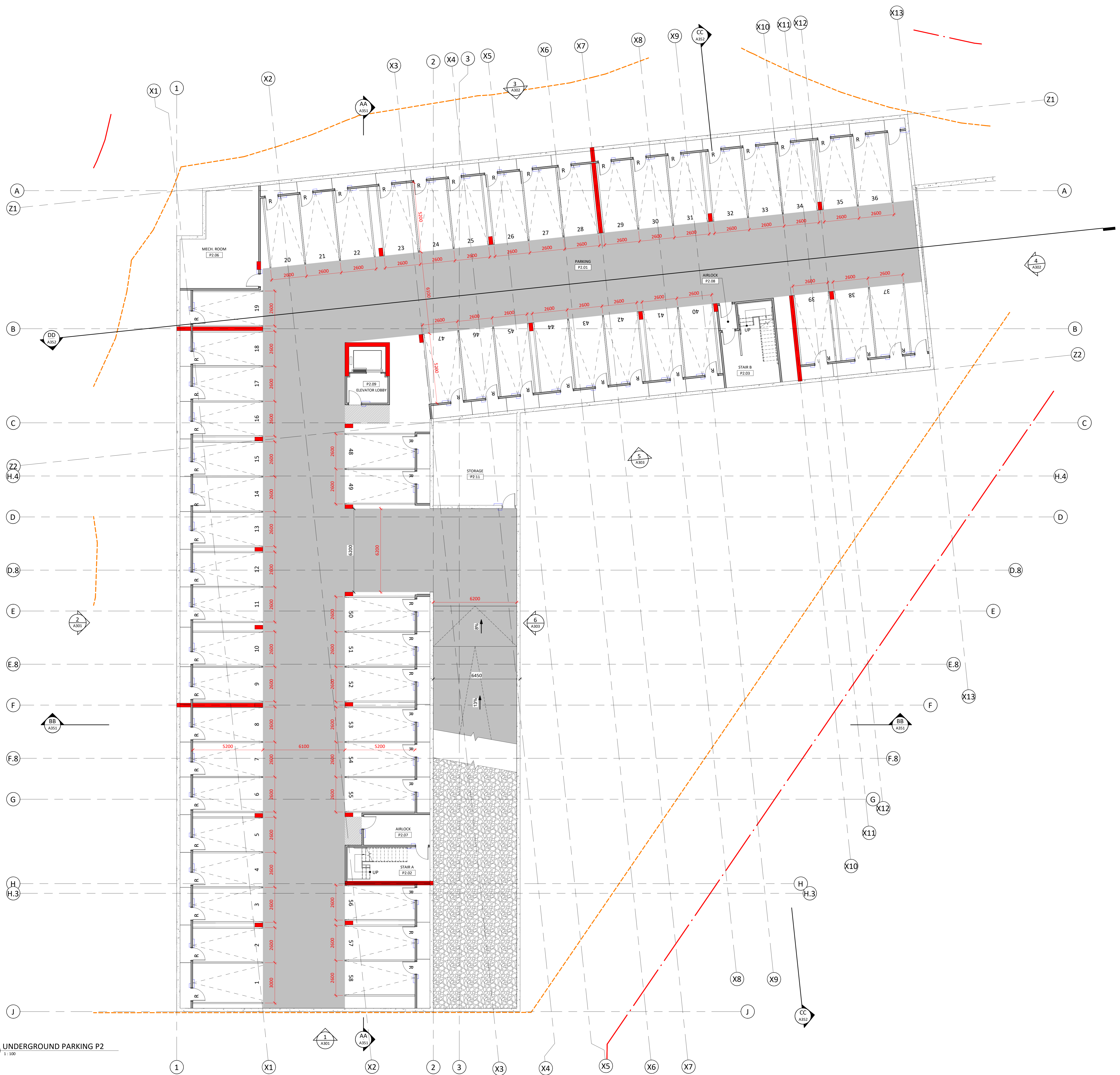
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1 UNDERGROUND PARKING P2
1:100

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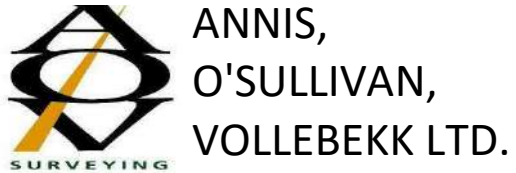
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1st FLOOR



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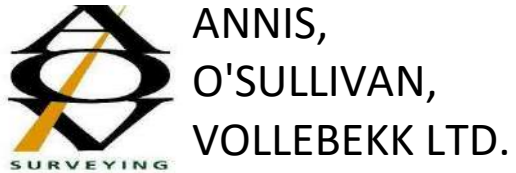
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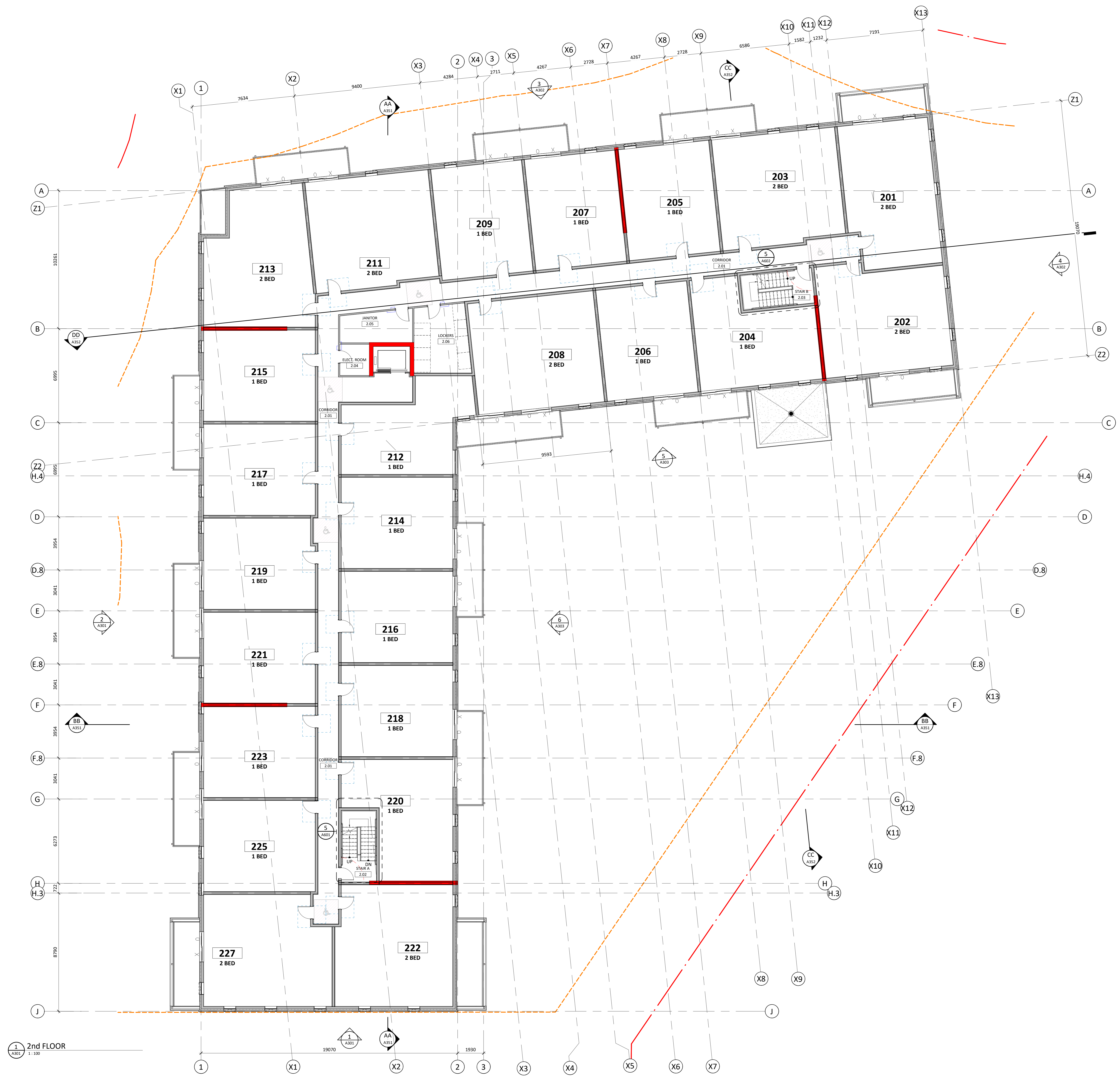
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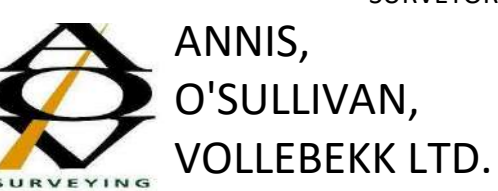
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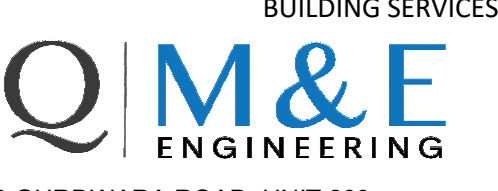
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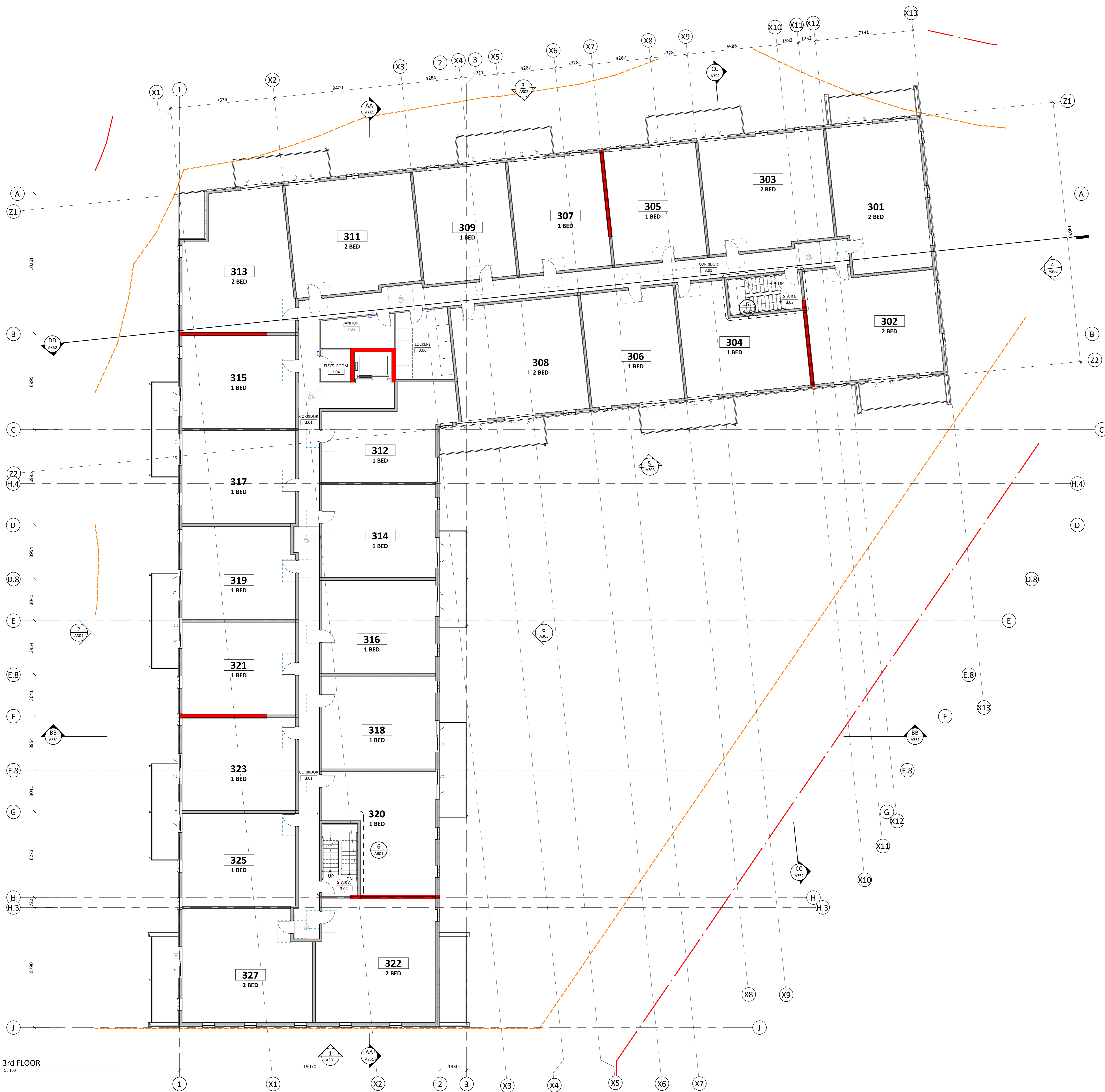
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	3rd FLOOR



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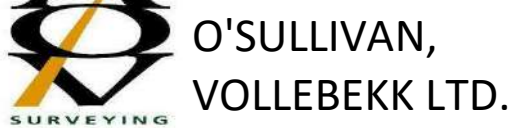
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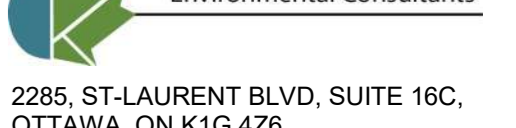
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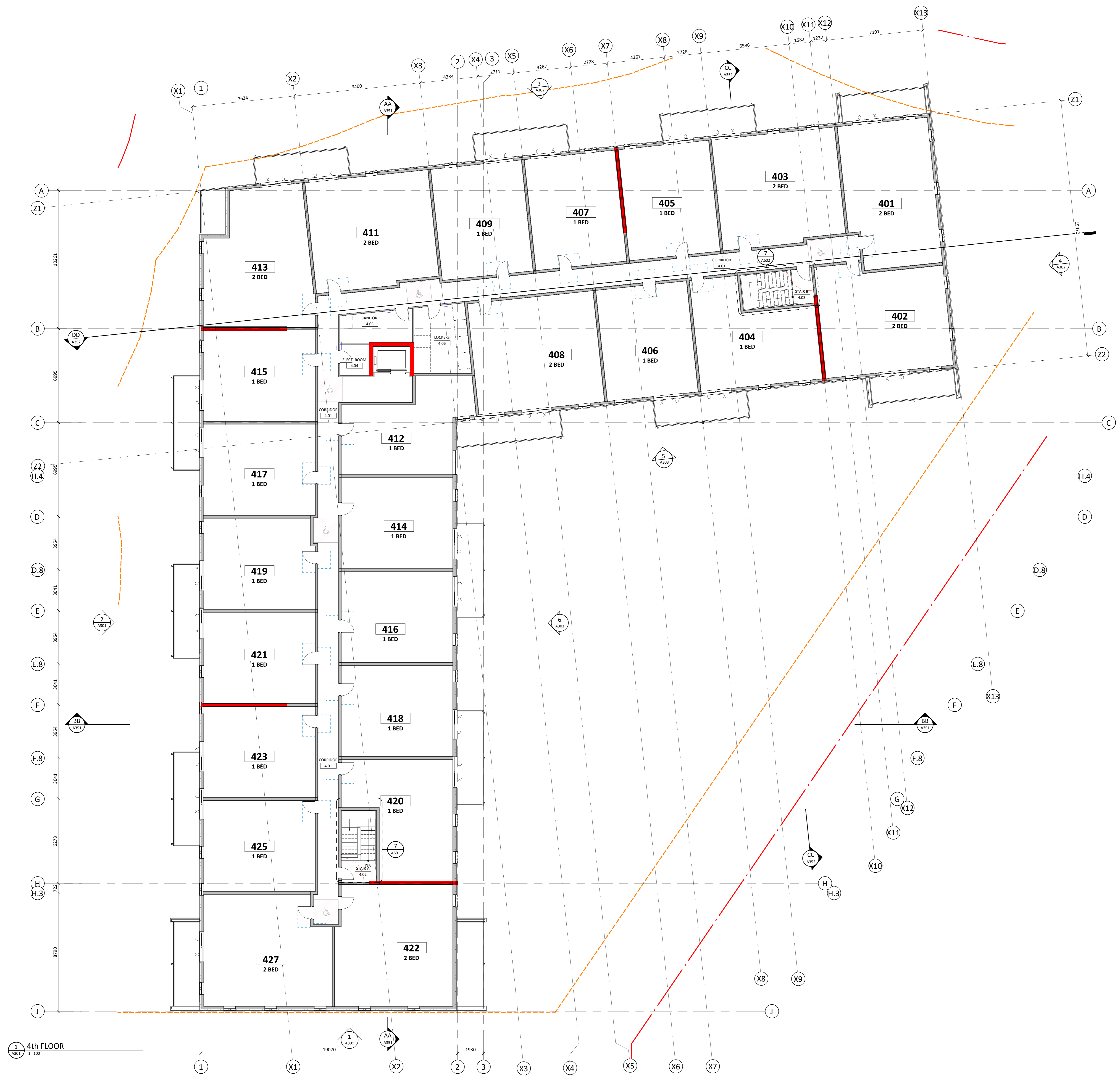
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1 4th FLOOR
1 : 100

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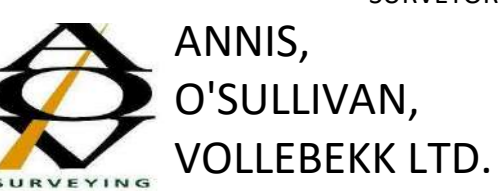
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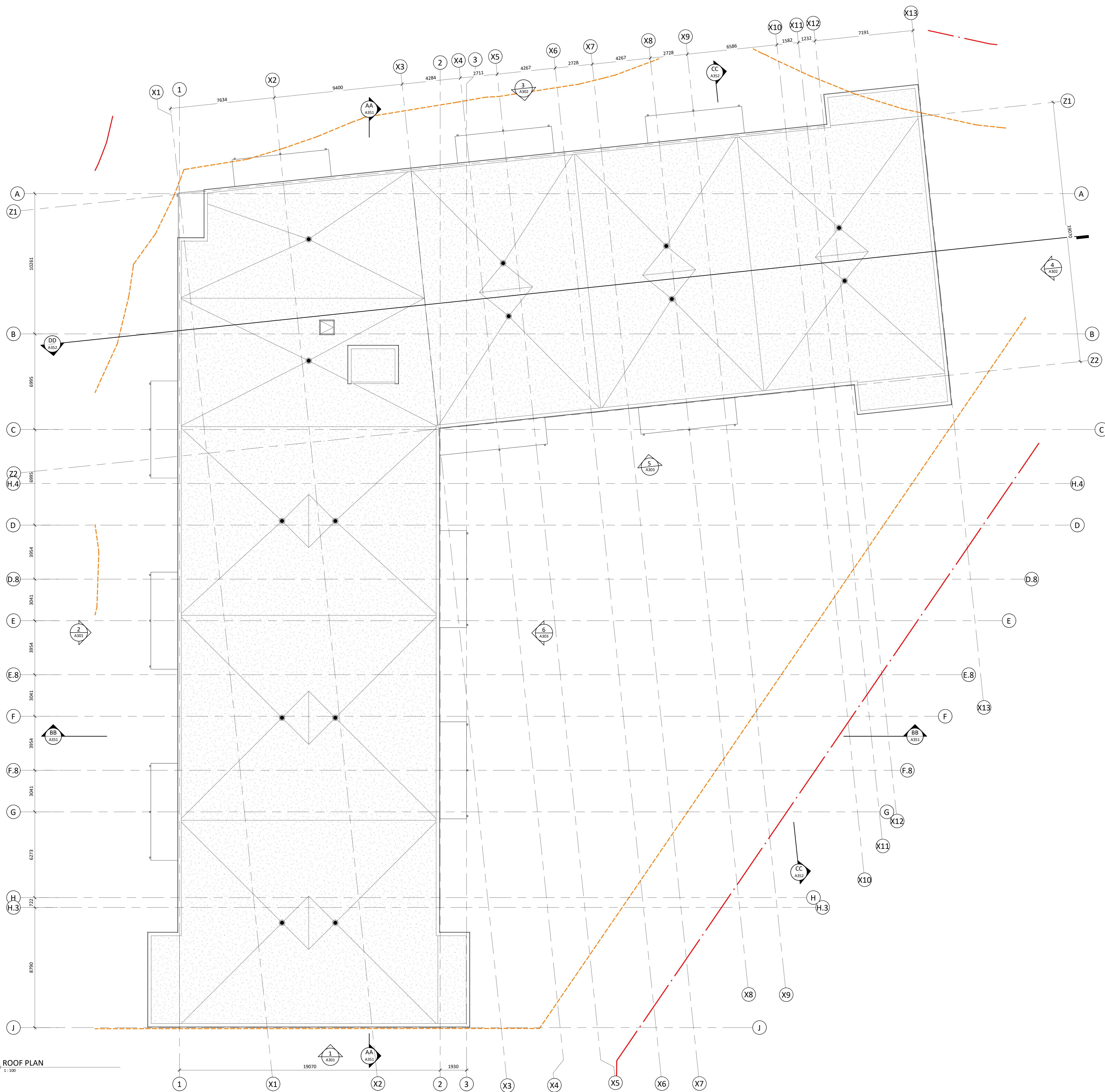
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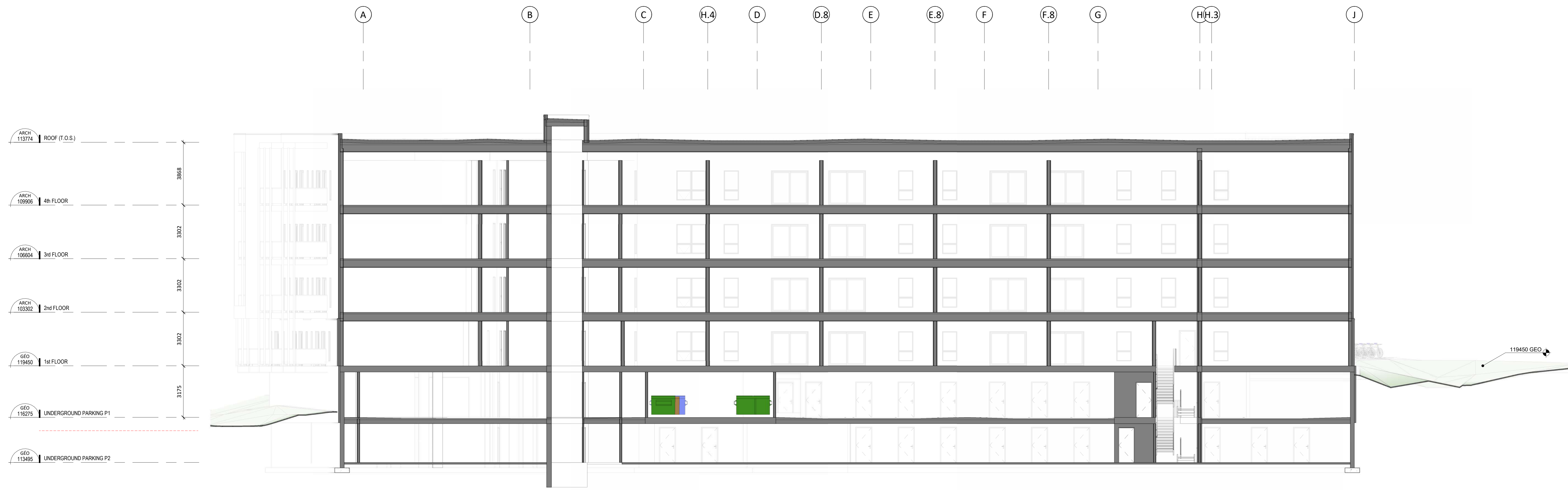
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SHEET TITLE
ROOF PLAN

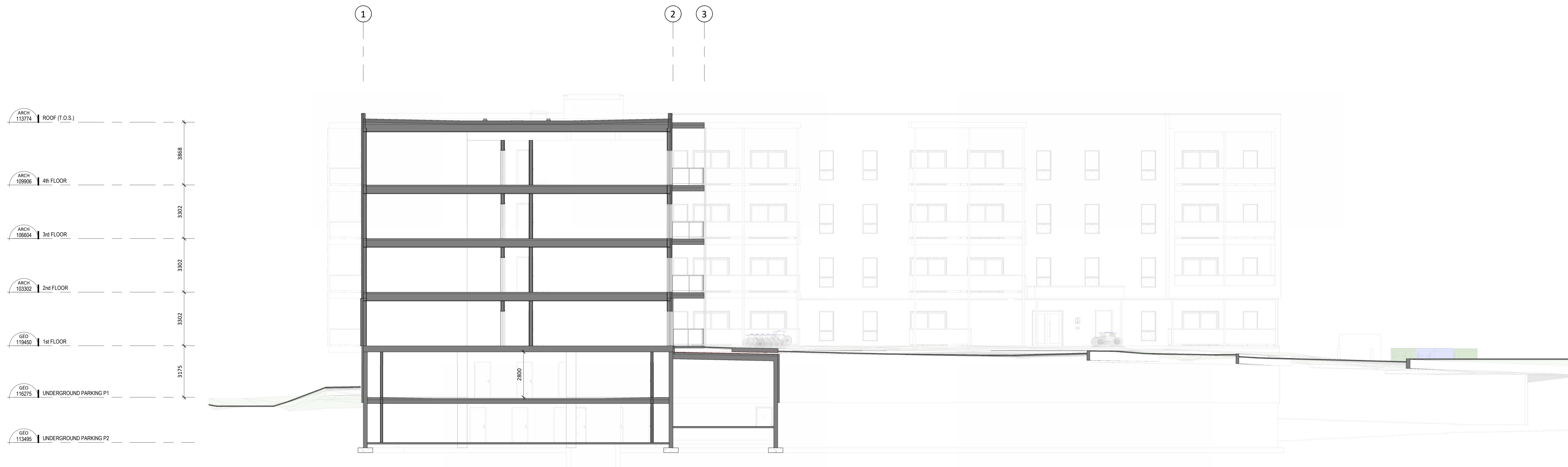


1 ROOF PLAN
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AA BUILDING SECTION
A203 1:100



BB BUILDING SECTION
A203 1:100

PROJECT

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DEVELOPMENT

OWNER



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BUILDING SERVICES



9 GURDWARA ROAD, UNIT 200,
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STRUCTURAL



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KEY PLAN

ARCHITECT SEAL



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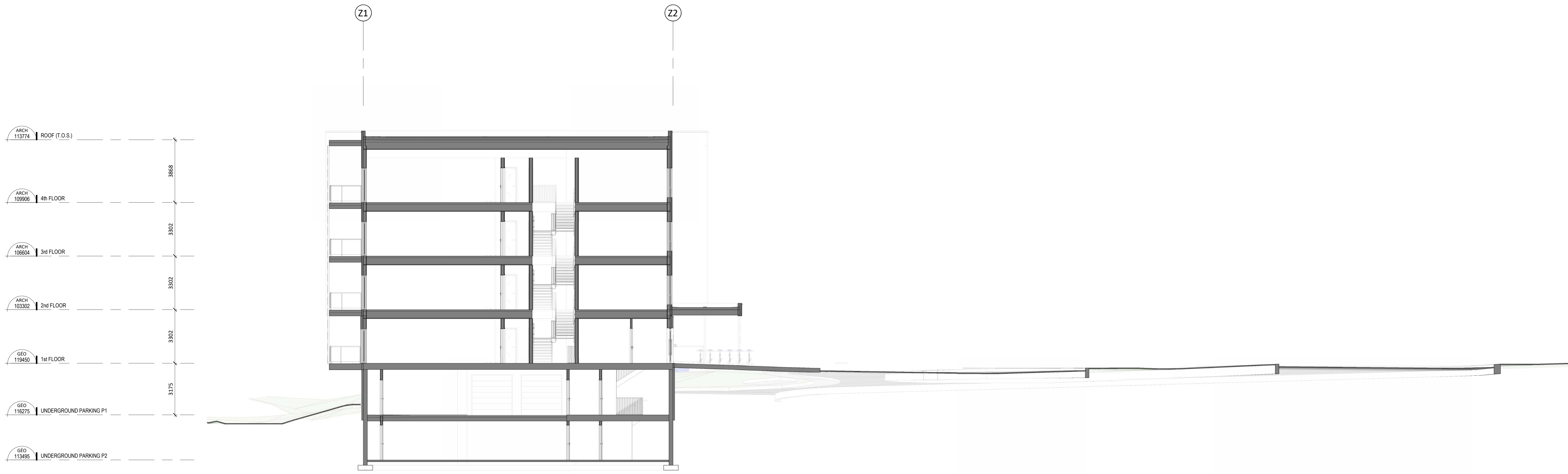
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DATE 2026-03-26	DESIGNED P.POMERLEAU
PROJECT No 21010	CHECKED P.MARTIN
	DRAWN N.DUFRESNE
	SHEET TITLE BUILDING SECTION

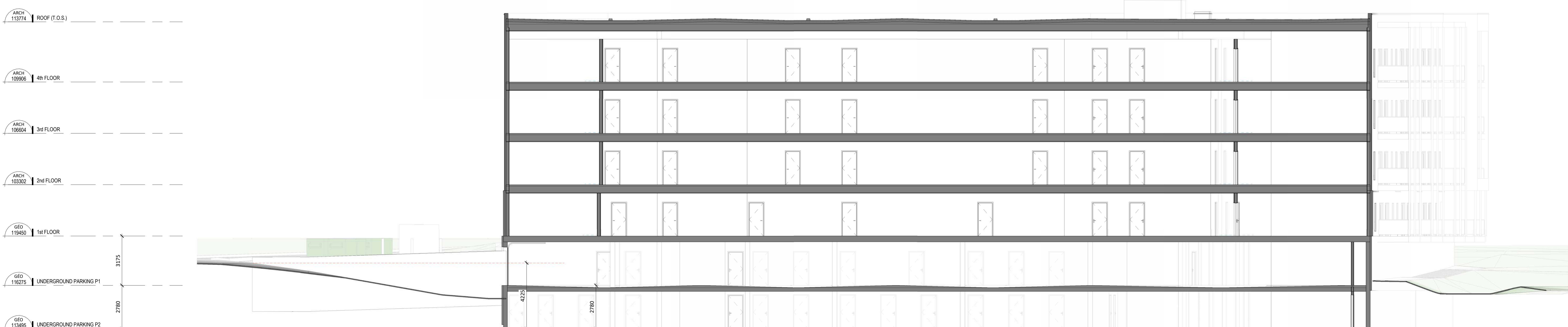
SHEET No

A351



CC BUILDING SECTION
A201
1:100

X13 X12 X11 X10 X9 X8 X7 X6 X5 X4 X3 X2 X1



DD BUILDING SECTION
A201
1:100

PROJECT

WILDPINE DEVELOPMENT

OWNER



1202, CARP ROAD,
STITTSVILLE, ON K2S 1B9

ARCHITECTURAL



1381 851-8958
INFO@PMAARCHITECTES.COM
3070, CHEMIN DES QUATRE-BORDEES
QUEBEC Q1C1 0W 3K4
PMAARCHITECTES.COM

CIVIL



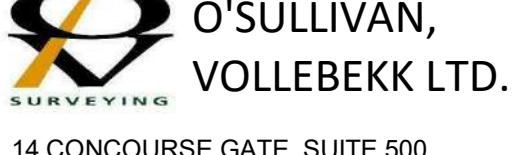
NOVATECH
240 MICHAEL COWPLAND DRIVE, SUITE 200,
OTTAWA, ON K2M 1P6

PLANNING



386 OSGOOD STREET, SUITE 303, OTTAWA, ON K1P 2H7
613.720.5709 www.fotenn.com

SURVEYOR



14 CONCOURSE GATE, SUITE 500,
NEPEAN, ON K2E 7S6



2285, ST-LAURENT BLVD, SUITE 16C,
OTTAWA, ON K1G 4Z6

BUILDING SERVICES



9 GURDWARA ROAD, UNIT 200,
OTTAWA, ON K2E 7X6

STRUCTURAL



201-700, BOUL DU CARREFOUR,
GATINEAU, QC J8T 0R5

KEY PLAN

ARCHITECT SEAL



REVISIONS

NO	DATE	DESCRIPTION

NOTE

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PROJECT No 21010	DRAWN N.DUFRESNE
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SHEET TITLE
BUILDING SECTION

SHEET No
A352

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