

9426-20_1500 MERIVALE
BUILDING STATISTICS

PROJECT SUMMARY

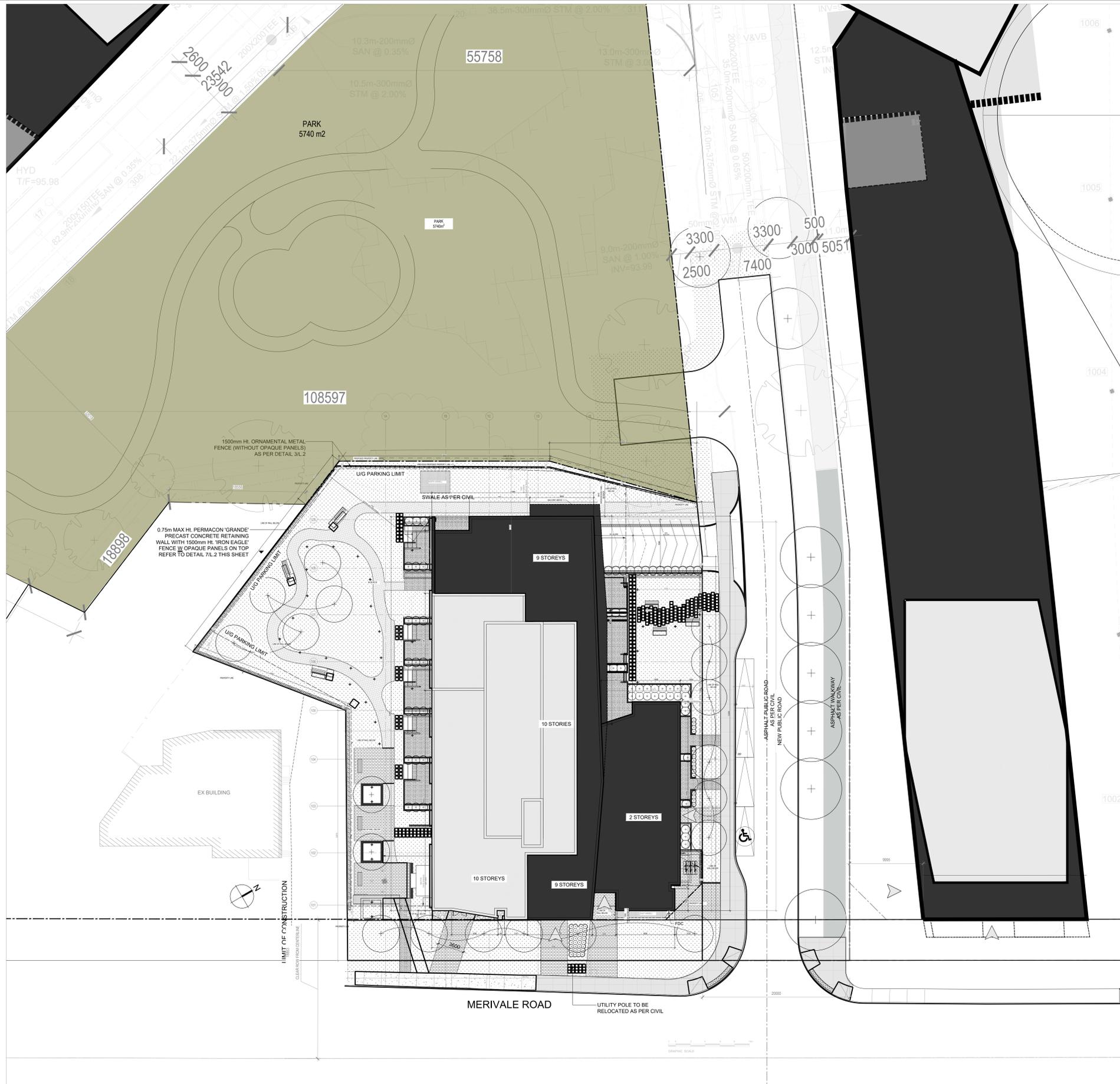
PROJECT STATISTICS	
SITE AREA (m ²)	3 300
BUILDING HEIGHT (STOREYS)	10
UNIT SUMMARY	
STUDIO (A)	15
1 BEDROOM (B)	58
2 BEDROOMS (C)	49
3 BEDROOMS (D)	11
TOTAL	133
PARKING SUMMARY	
RESIDENT CAR PARKING PROVIDED	134
VISITOR CAR PARKING PROVIDED	12
TOTAL CAR PARKING PROVIDED	146
BICYCLE STORAGE PROVIDED (INTERIOR)	133
BICYCLE STORAGE PROVIDED (EXTERIOR)	5
BICYCLE STORAGE PROVIDED (TOTAL)	138
TYPICAL FLOOR AREA (m ²)	2992.00
BUILDING HEIGHT (m)	10 storeys (34)
BUILDING FOOTPRINT (PROJECTION) (m ²)	1466.00
BUILDING FOOTPRINT (GROUND FLOOR) (m ²)	1420.00
GROSS FLOOR AREA TOTAL (m ²)	9205.00
GROSS AREA (residential, m ²)	9047.00
GROSS LEASABLE AREA (commercial, m ²)	158.00
SITE OCCUPANCY (%)	44%
DENSITY (FSI)	2.79
LANDSCAPE AREA (m ²)	1186.00
LANDSCAPED AREA (%)	36%
RESIDENTIAL UNITS	133
CARETAKER UNITS	1
COMMON AMENITIES (m ²)	1554
PRIVATE AMENITIES (m ²)	1405.00
TOTAL AMENITIES (m ²)	2959.00
ZONING BY LAW - AM10(2217) H34	
SETBACKS (from ROW)	
FRONT YARD (MERIVALE) ¹	0m - 3m
FRONT YARD (NEW PUBLIC ROAD) ¹	0m - 3m
INTERIOR SIDE YARD ²	3.0m / 7.5m
REAR YARD ²	3.0m / 7.5m
MAX BUILDING HEIGHT	34
AMENITY SPACE REQUIREMENTS	6m ² / units
COMMUNAL AMENITY AREA	50%
CAR PARKING	0.5 per dwelling unit, less the first 12 units
VISITOR PARKING	0.1 spaces/dwelling unit, to a maximum of 30 spaces per building
BICYCLE PARKING	0.5 spaces / dwelling unit

¹ Along an Arterial Road (Merivale, new public road) 0 metres, at least 50% of the frontage along the front lot line and corner side lot line must be occupied by building walls located within 4.5 metres of the frontage for a residential use building, and within 3.0 metres for mixed use buildings

² the minimum interior side yard setback from a lot line abutting a residential zone is: (i) 3.0 metres for the first 20 metres back from the street, (ii) 7.5 metres beyond 20 metres back from the street, (d) despite Table 185(e), sub clauses (i) and (ii), the minimum rear yard setback is: (i) 3.0 metres for any building wall within 20 metres of a lot line abutting a public street, (ii) 7.5 metres in all other cases

SM

SEAN MOORE MCIP, RPP
MANAGER, DEVELOPMENT REVIEW - WEST
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



CLIENT:
CLARIDGE HOMES
210 Gladstone Avenue
OTTAWA, ONTARIO K2P 0Y6
T: 514-393-9490 F: 514-393-9498
info@claridgehomes.com

ARCHITECTS:
EVOQ
1435, RUE SAINT-ALEXANDRE, BUREAU 1000
MONTREAL, QUEBEC H3A 5G4
T: 514-393-9490 F: 514-393-9498
info@evoqarchitecture.com

LANDSCAPE ARCHITECTS:
James B. Lemox and Associates Inc.
Landscape Architects
3532 Carling Avenue,
Ottawa, Ontario, K2H 5A5, T: (613) 722 5168

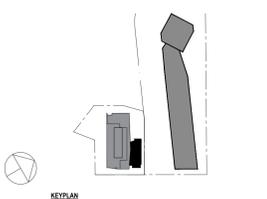
STRUCTURAL ENGINEERS:
Adjeleian Allen Rubeli
Consulting Engineers
75 Albert Street, Ottawa, Ontario
4211 Yonge Street, Toronto, Ontario

MECHANICAL & ELECTRICAL ENGINEERS:
Jain Sustainability Consultants Inc.
7405 East Danboro Crescent
Mississauga, Ontario L5N 6P9
CANADA

CIVIL ENGINEERS:
NOVATECH ENGINEERING CONSULTANTS LTD.
ENGINEERS & PLANNERS
Suite 200 240 Michael Cowland Dr.
Ottawa, ON K2M 1P6
Telephone: (613) 254-8643
Facsimile: (613) 254-8643
Email: novair@novatech-eng.com

URBAN DESIGN CONSULTANTS:
Fontenn FOTENN Planning + Design
306 Cooper St, Suite 300
Ottawa, ON K2P 2H7
www.fontenn.com

TOPOGRAPHICAL SURVEYOR:
Annis O'Sullivan, Vollebek Ltd.,
Ontario Land Surveyors
14 Carleton Place, Suite 500
Nepean, Ontario, K2E 7S6
Tel: (613) 727-0850
email: info@anniso.com



FOR FOUNDATION PERMIT ONLY

NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR SPA	EVOQ	2025-01-16
2	ISSUED FOR FOUNDATION PERMIT	EVOQ	2025-01-31

- THE GENERAL CONTRACTOR:
- SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
 - SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLining ANY DISCREPANCIES.
 - SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
 - ANY REVISIONS OR FINISH THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, CAN BE USED FOR CONSTRUCTION.

SEAL: © EVOQ Architecture Inc., 2025
Intellectual property rights relating to this document belong exclusively to EVOQ Architecture Inc. This document may not be forwarded to others, reprinted, distributed, reproduced or adapted in any form, whether print or electronic, without the prior written authorization of EVOQ Architecture Inc. All ideas and other information in this document are specific to this project and may not be used elsewhere without the written authorization of EVOQ Architecture Inc.

PROJECT:
MERIVALE PHASE 1

DRAWING TITLE:
- SITE PLAN

DESIGNED: NG APPROVED: NG
DRAWN: SJCH DATE: 2025-11-20
VERIFIED: NG, SJ SCALE: 1:200
PROJECT NO: 9426-20 DRAWING NO: A-1-030