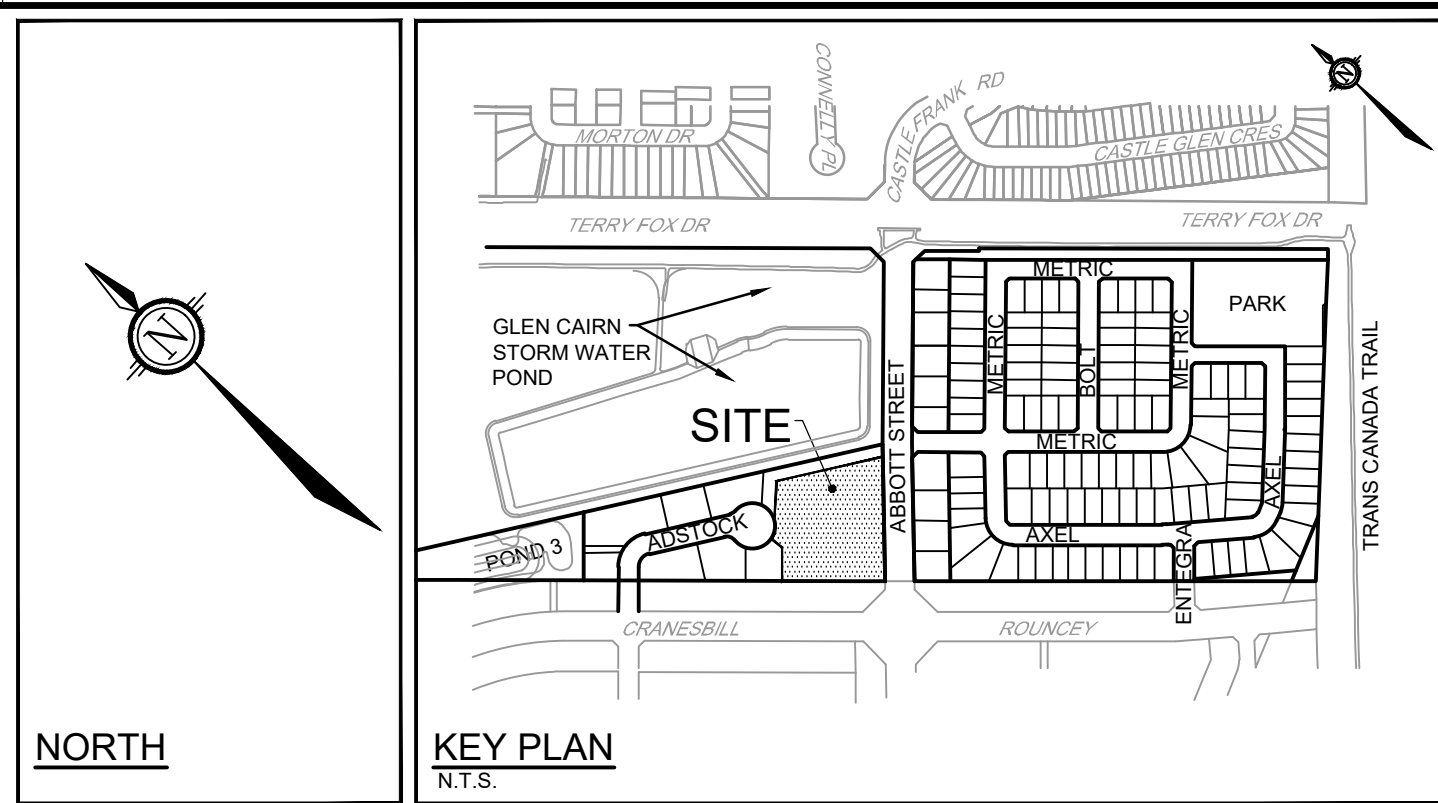


CITY DETAILS
 Related details from City of Ottawa Standard Tender Documents
 Volume No. 2 Standard Detail Drawings.

SC4. Typical Concrete Sidewalk in Boulevard
 SC5. Sidewalk Construction Joints

NOVATECH DETAILS
 Found on Sheet L2.

D1. Standard Deciduous Tree Planting
 D2. Standard Coniferous Tree Planting
 D3. Shrub and Perennial Planting
 D4. Tree Protection Fence
 D5. Wood Screen Detail
 D6. Bike Layout



LEGEND

3-D1	DETAIL SHEET #	NOVATECH OR CITY	DETAIL NUMBER SEE LIST	FOR CODE
---	PROPERTY LIMIT			
---	PROPOSED CONCRETE			
---	PROPOSED PAVERS			
---	RIVER STONE			
---	SOD			
---	PERENNIALS			
---	ORNAMENTAL GRASSES			
○	PROPOSED DECIDUOUS TREE			
○	PROPOSED TREES (BY OTHERS)			
○	EXISTING TREES TO REMAIN			
○	EXISTING TREES TO BE REMOVED			
---	PROPOSED TREE PROTECTION FENCE			
○	PROPOSED SHRUBS			
○	SPECIES (SEE PLANT LIST)			
○	QUANTITY			
---	PROPOSED WOOD PRIVACY FENCE 1.8m HT			
---	EXISTING WOOD PRIVACY FENCE 1.8m HT (BY OTHERS)			
---	4.5m TREE SETBACK FROM THE BUILDING, PER GEOTECH REPORT			
---	BENCHES			
---	BIKE RACKS			
---	EXISTING STREET LIGHTS			

GENERAL

- Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
- The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
- It is essential to use the plans and details in conjunction with the specifications and notes.
- Do not scale drawings. Work to dimensions only.
- Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
- Reinstate all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

PLANTING

- Plant material to be No. 1 Grade and is to comply with Canadian Standards for Nursery Stock (latest edition) published by the Canadian Nursery Landscape Association.
- Use structurally sound plant material with strong fibrous root system free of diseases, defects and injuries. Use trees with straight trunks, well and characteristically branched for species. Obtain approval from consultant of plant material at source prior to digging. All trees and shrubs to be container grown, potted, with or without, as indicated on Plant List. Bare root plants are only acceptable for certain species and as approved by the Landscape Architect.
- Plant material substitutions are not to be permitted without the written approval from the Consultant, with 48 hours notice, prior to shipping plant material.
- Plant locations are schematic/ approximate only. Contractor is to stake out locations on site for approval by the Landscape Architect prior to installation.
- The illustrated number of plants shown in the Planting Plan supersedes the estimated number in the Plant List. Contractor to report any discrepancies to the Landscape Architect prior to installation. Contractor will assume full responsibility if the Landscape Architect is not notified.
- Ensure trees are thoroughly watered following planting. Monitor material and ensure adequate moisture until acceptance.
- In heavy clay or poorly drained soils, set root ball with root collar 75-100mm higher than finished grade.
- Approved topsoil depths are as follows:
 a. Plant Beds - 450mm continuous depth. Applies to shrubs, perennials, vines, and groundcovers.
 b. Sod/ Seed Areas - 100mm depth.
 c. Reforestation - 300mm depth.
- Sod to be No. 1 Kentucky Bluegrass Sod grown from minimum mixture of 3 Kentucky Bluegrass cultivars. Quality and source are to comply with Canadian Standards for Nursery Stock, Section 17, (latest edition) published by the Canadian Nursery Landscape Association.
- Apply the following mineral fertilizer unless soil tests show other requirements:
 a. Plant Beds - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash per manufacturer specifications.
 b. Sod Areas - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash at a rate of 350kg/ha.
- Where applicable for any plant areas with a mix of species/ cultivars notes, Contractor is to cluster like plants in groups of 3-5 and evenly distribute these in the noted area.

PROPOSED PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	NATIVE/NON-NATIVE*
Deciduous Trees (Large)							
GBA	4	Gleditsia triacanthos 'Autumn Blaze'	Autumn Gold Gingeo	50cm Cal	W/B	As Shown	Non-Native
GTK	2	Gleditsia triacanthos var. 'inermis 'Stylocol'	Stylocol Honeylocust	50cm Cal	W/B	As Shown	Native
Deciduous Trees (Medium)							
ARU	4	Acer rubrum 'Autumn Radiance'	Autumn Radiance Red Maple	50cm Cal	W/B	As Shown	Native
ARV	5	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	50cm Cal	W/B	As Shown	Native
CGZ	7	Chaetochloa ovata 'Crown'	Crown Red Birch	50cm Cal	W/B	As Shown	Native
GTU	2	Gleditsia triacanthos var. 'inermis 'tripolar'	Imperial Honeylocust	50cm Cal	W/B	As Shown	Native
TMH	1	Fraxinus americana 'Honeylocust'	Honeylocust	50cm Cal	W/B	As Shown	Native
Deciduous Trees (Small)							
AC	3	Americanlarch canadensis (Single stem)	Shadow Suckerlarch	40cm Cal	W/B	As Shown	Native
ALB	4	Americanlarch canadensis 'Spring Flurry'	Spring Flurry Suckerlarch	50cm Cal	W/B	As Shown	Native
BPW	1	Betula populifolia 'Whitecap'	Whitecap Birch	50cm Cal	W/B	As Shown	Native
Coniferous Shrubs							
JCC	36	Juniperus communis 'Green Carpet'	Green Carpet Juniper	40cm Sp/	PT	As Shown	Non-Native
Jwb	44	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	30	PT	As Shown	Non-Native
MA	6	Monarda mollis	Blue Star Hyssop	50cm Sp/	PT	50cm O.C.	Non-Native
Txh	12	Taxus media 'Hicksii'	Hicks Yew	100cm BB	PT	As Shown	Non-Native
Deciduous Shrubs							
Ang	14	Anemone nemorosa Ground Hug	Ground Hug Anemone	1g	PT	10cm O.C.	Native
Axl	72	Aster x Low Scapa Mount (LCC/WAR/ES)	Low Scapa Mount Choleberry	10cm H/4	PT	As Shown	Native
Df	83	Diervilla laticarpa 'Firefly Wiggles'	Firefly Wiggles Bush Honeylocust (B Medging)	60cm H/4	PT	As Shown	Native
Ph	21	Phlox paniculata 'Suevic Type'	Fire Valley Phlox	60cm H/4	PT	As Shown	Native
Pxs	13	Phlox subulata 'Snowflake'	Snowflake Mockorange	60cm H/4	PT	As Shown	Non-Native
Sdp	47	Symphoricarpos doerflingeri 'Kilmopac'	Prickly Prometheus Snowberry	50cm H/4	PT	As Shown	Native
Perennials							
hls	50	Hemerocallis 'Lion Star'	Lion Star Daylily	1g	PT	30cm O.C.	Non-Native
hms	50	Hemerocallis 'Miss Sillia Divo'	Miss Sillia Divo Daylily	1g	PT	30cm O.C.	Non-Native
hsm	50	Hemerocallis 'Parade'	Parade Daylily	1g	PT	30cm O.C.	Non-Native
hsl	120	Helleborus 'Sageite Moon'	August Moon Helleborus	1g	PT	As Shown	Native
hsg	40	Hydrangea macrophylla	Endless Summer	1g	PT	30cm O.C.	Native
Ornamental Grasses / Ferns							
hsc	50	Chlorophytum comosum 'Nani Foxtail'	Nani Foxtail	1g	PT	30cm O.C.	Non-Native
sa	303	Saxifraga autumnalis	Autumn Moor Grass	1g	PT	30cm O.C.	Non-Native
scb	122	Scilla maritima 'The Blue'	The Blue Lily Bluebell	1g	PT	30cm O.C.	Native
sh	101	Shadehouse 'Inferno'	Inferno	1g	PT	30cm O.C.	Native
shg	164	Plantain virginiana	Blue Beth Grass	1g	PT	30cm O.C.	Native

Proposed Trees - Ownership

Private	35
City-Owned (ROW)	0
Total	35

EXISTING TREES - INVENTORY

No.	Botanical Name	Common Name	DBH (cm)	CRZ (m)	Condition	Owner	Remarks	Recomm.
1	Acer saccharum	Sugar Maple	5.0	0.50	F	Public	Mechanical damage to base of stem	PROTECT
2	Acer saccharum	Sugar Maple	5.0	0.50	F	Public	Mechanical damage to base of stem	PROTECT
3	Acer saccharum	Sugar Maple	5.0	0.50	P	Public	Severe mechanical damage at base of stem	PROTECT
4	Acer x freemanii	Freeman Maple cultivar	5.0	0.50	F	Public	Damage to roots from construction activities	PROTECT
5	Gleditsia triacanthos var. inermis	Thornless Honey Locust	5.0	0.50	F	Public	Mechanical damage to base of stem	PROTECT
6	Acer x freemanii	Freeman Maple cultivar	12.0	1.20	G	Client	Minor stem near base of stem. Lower branches require removal for long term health	COULD
7	Acer glabrum	Amur Maple	7.0	0.70	G	Client	Main stem / Small minor wound at base of stem	COULD

LEGAL DESCRIPTION:
 Block 123, Plan 4M-1616, Ottawa

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Owner:
 SPB Developments Inc.
 c/o Shoen Barrier & Metic Homes
 4829 Abbott Street East
 Kanata, ON K2V 0L4
 Phone: (613) 301-7792

Architect:
 Hobin Architecture Inc.
 c/o Todd Duckworth
 63 Pamela Street,
 Ottawa, ON K1S 3K7
 Phone: (613) 651-8994

Civil:
 Novatech Engineers, Planners & Landscape Architects
 c/o Alex McAuley
 240 Michael Cowpland Drive,
 Ottawa, ON K2M 1P6
 Phone: 613.254.9643

Planning:
 Novatech Engineers, Planners & Landscape Architects
 c/o Miranda Virginlio
 240 Michael Cowpland Drive,
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 Phone: 613.254.9643

DISCLAIMER:
 The elements on this plan illustrate the design intent and general constructability of the proposed landscape which will support the associated development. This is to demonstrate how the company cover, urban design, health, and climate change objectives of the Official Plan will be met through tree planting and site design. This drawing is for City review only and is not intended for construction. Final detailed design and construction documentation is to be provided with certified 'Issued for Construction' drawings and specifications prior to construction.

No.	REVISION	DATE	BY
6.	RE-ISSUED FOR SITE PLAN APPLICATION	MAR 11/26	RGJ
5.	ISSUED FOR PATERNON REVIEW	FEB 12/26	RGJ
4.	ISSUED FOR COORDINATION	JAN 27/26	RGJ
3.	RE-ISSUED FOR SITE PLAN APPLICATION	AUG 07/25	RGJ
2.	ISSUED FOR SITE PLAN APPLICATION	JUN 12/25	RGJ
1.	ISSUED FOR COORDINATION	JUN 5/25	RGJ

SCALE
 1:200

FOR REVIEW ONLY

TCB
 RGJ
 TCB
 RGJ
 RGJ

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 Ottawa, Ontario, Canada K2M 1P6
 Telephone: (613) 254-9643
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 Website: www.novatech-eng.com

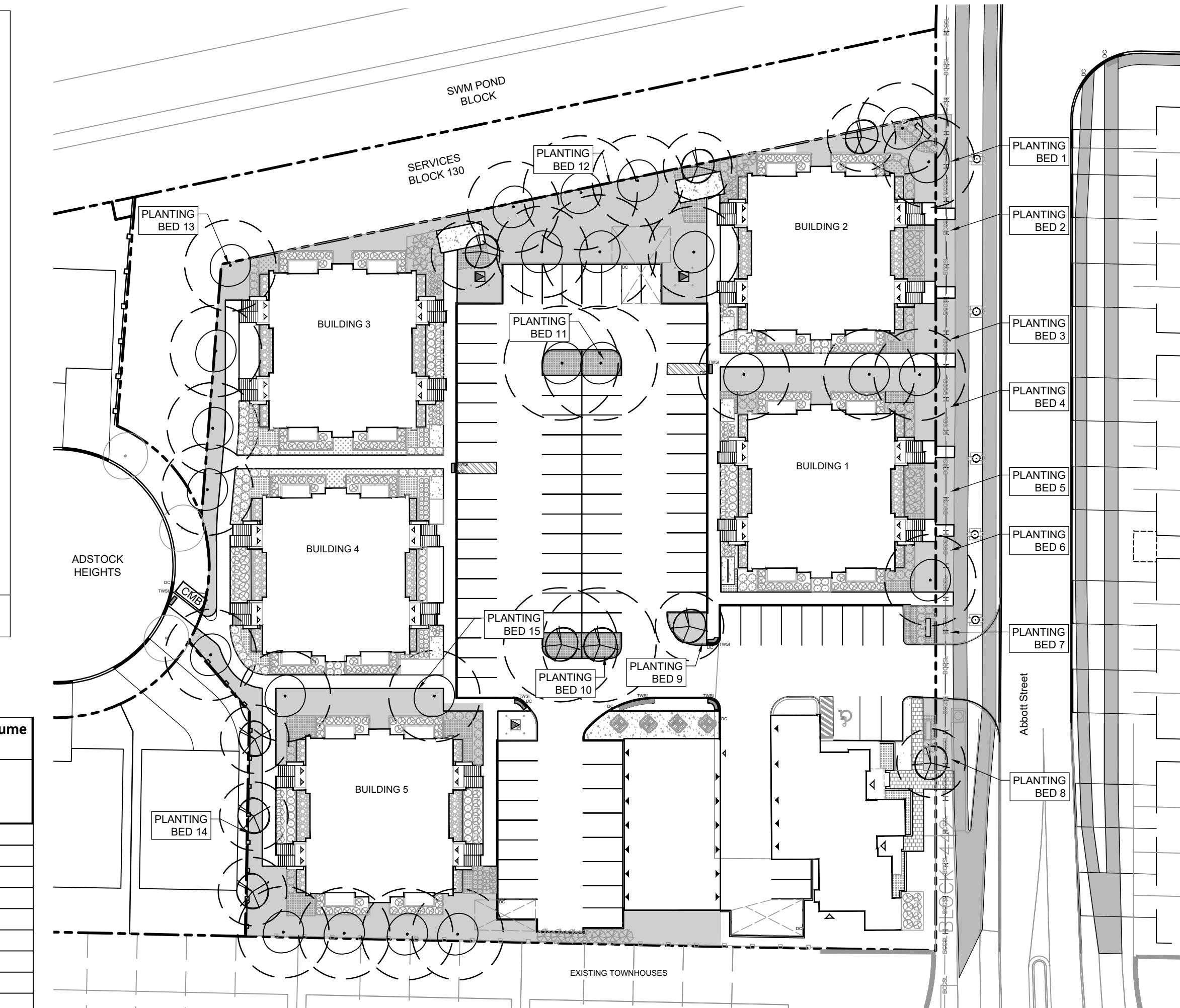
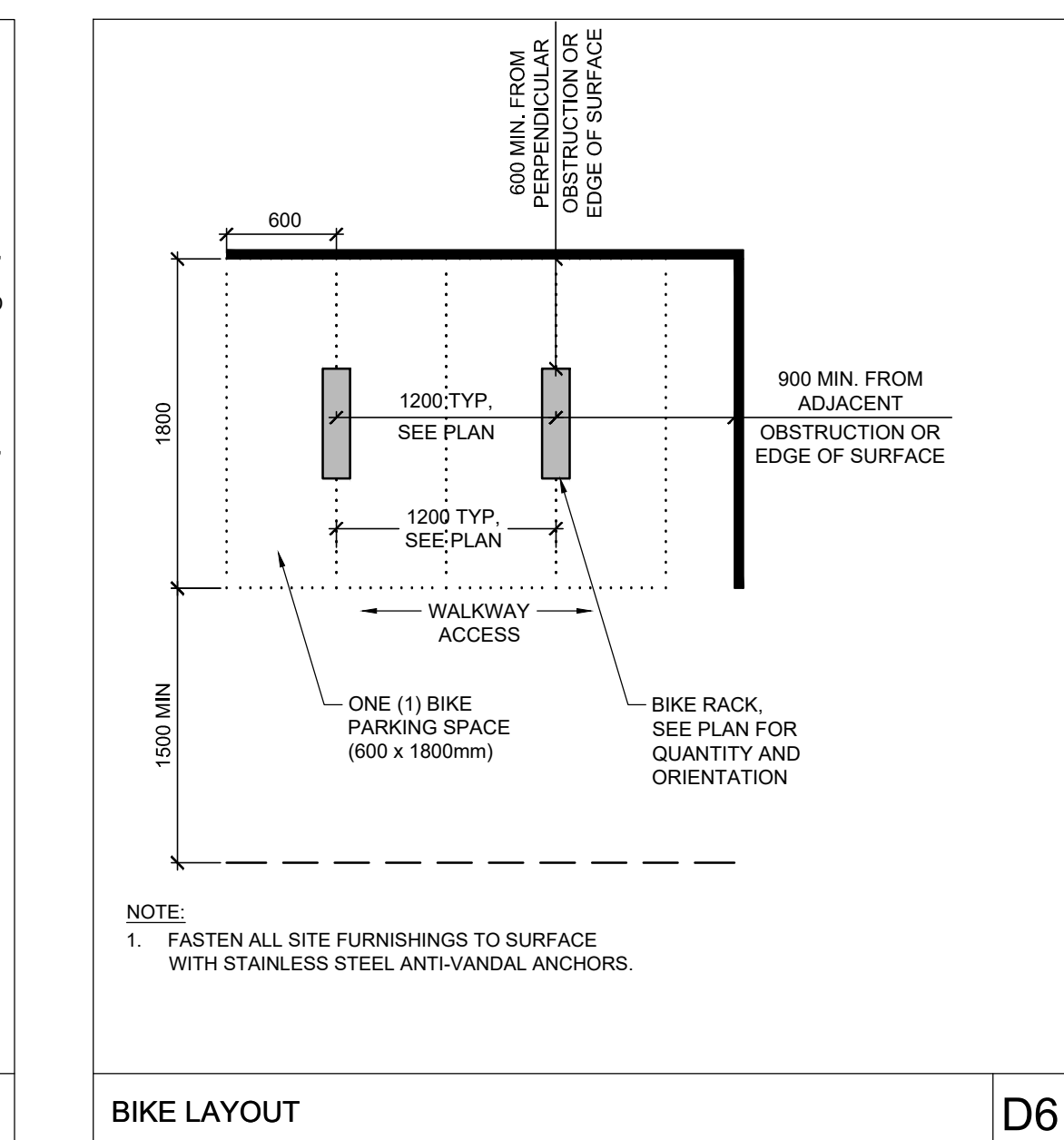
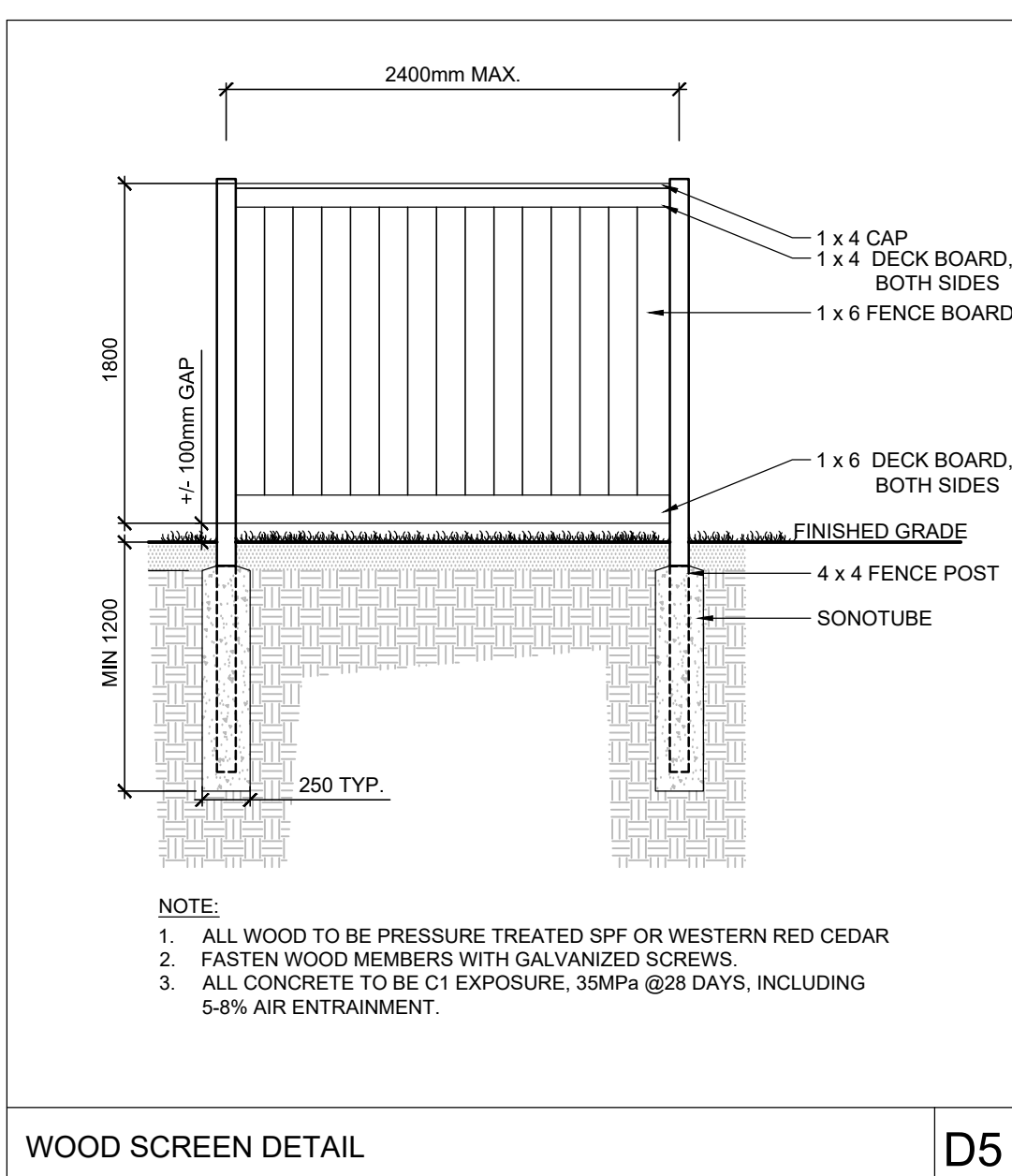
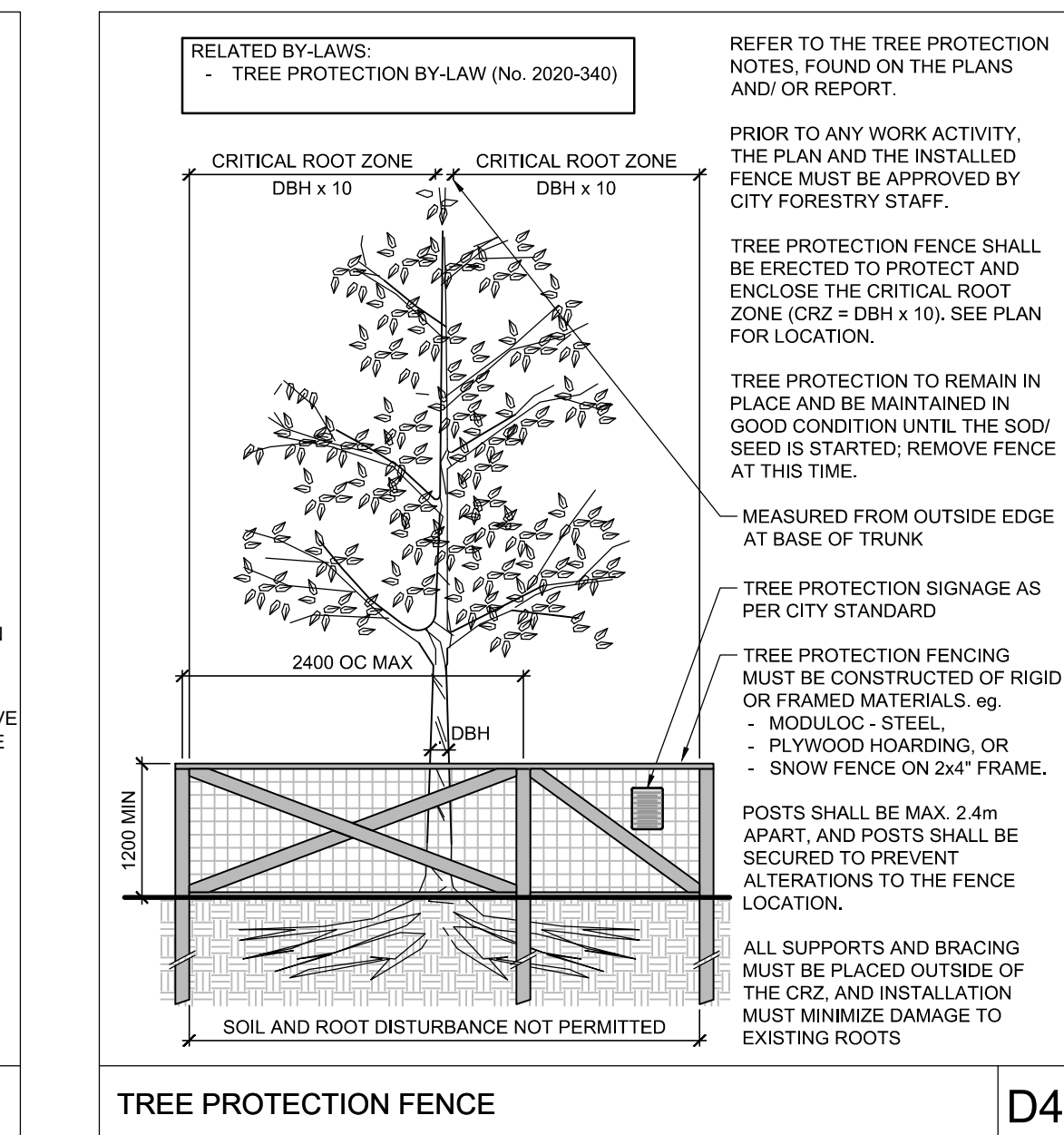
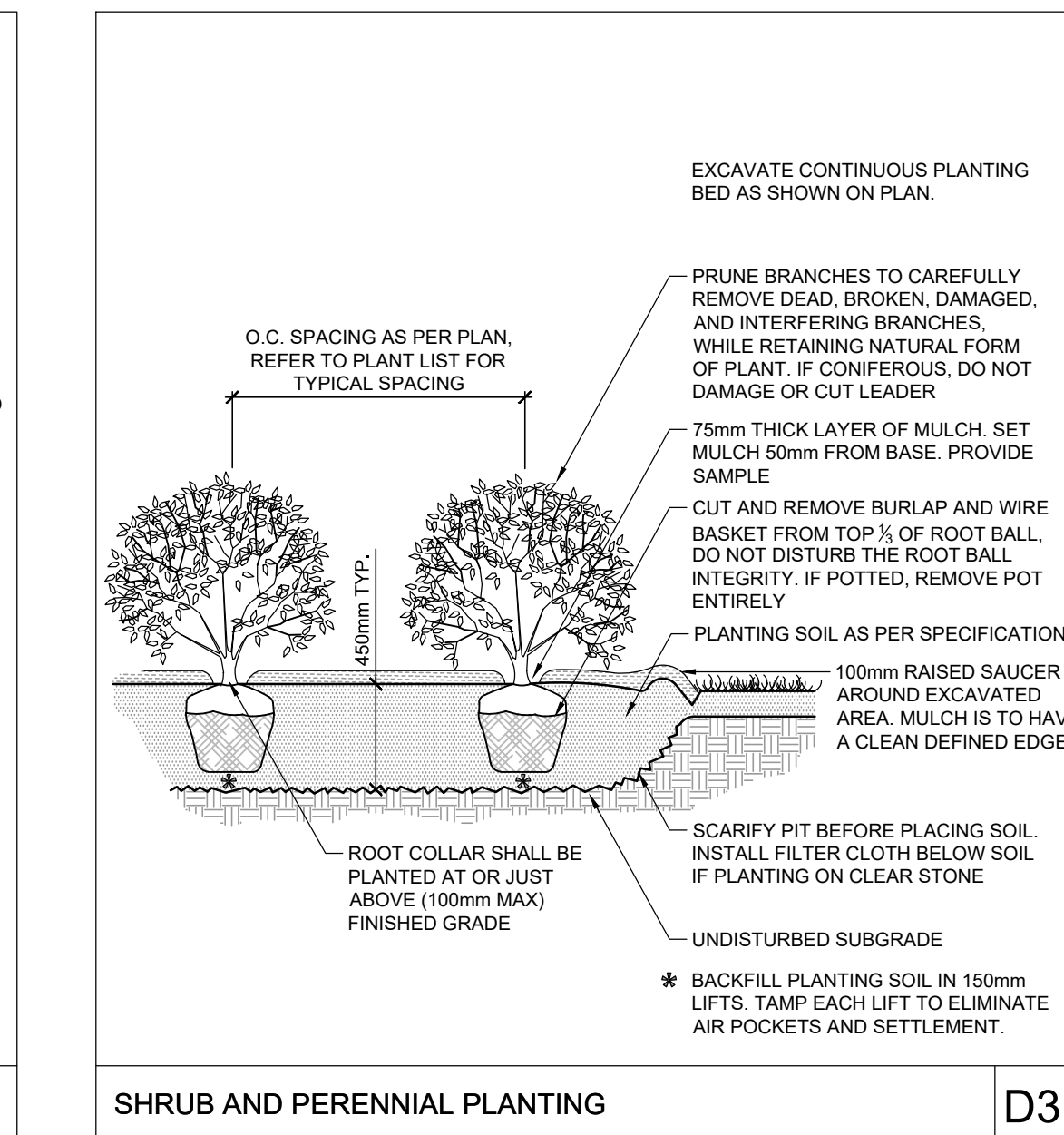
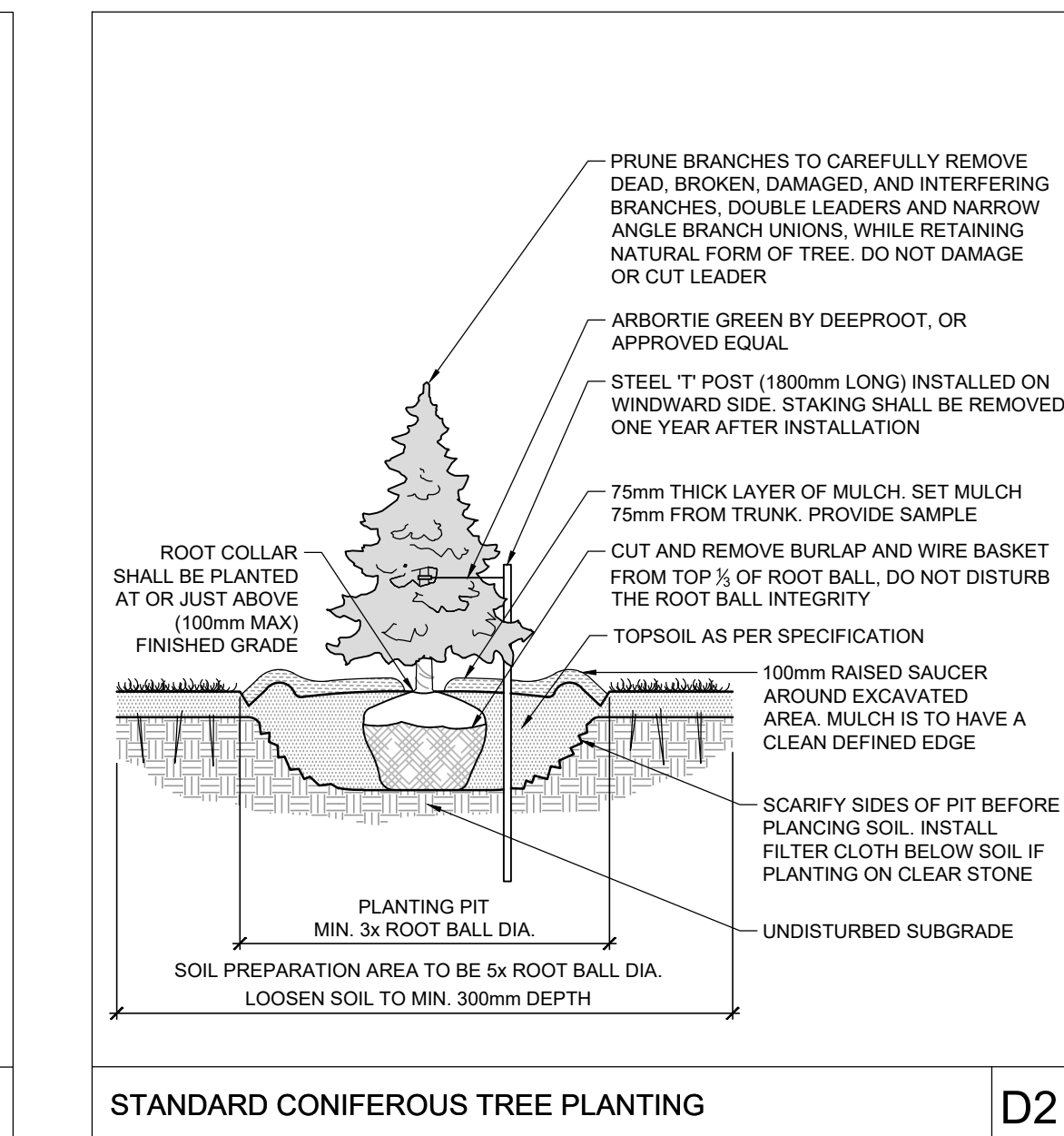
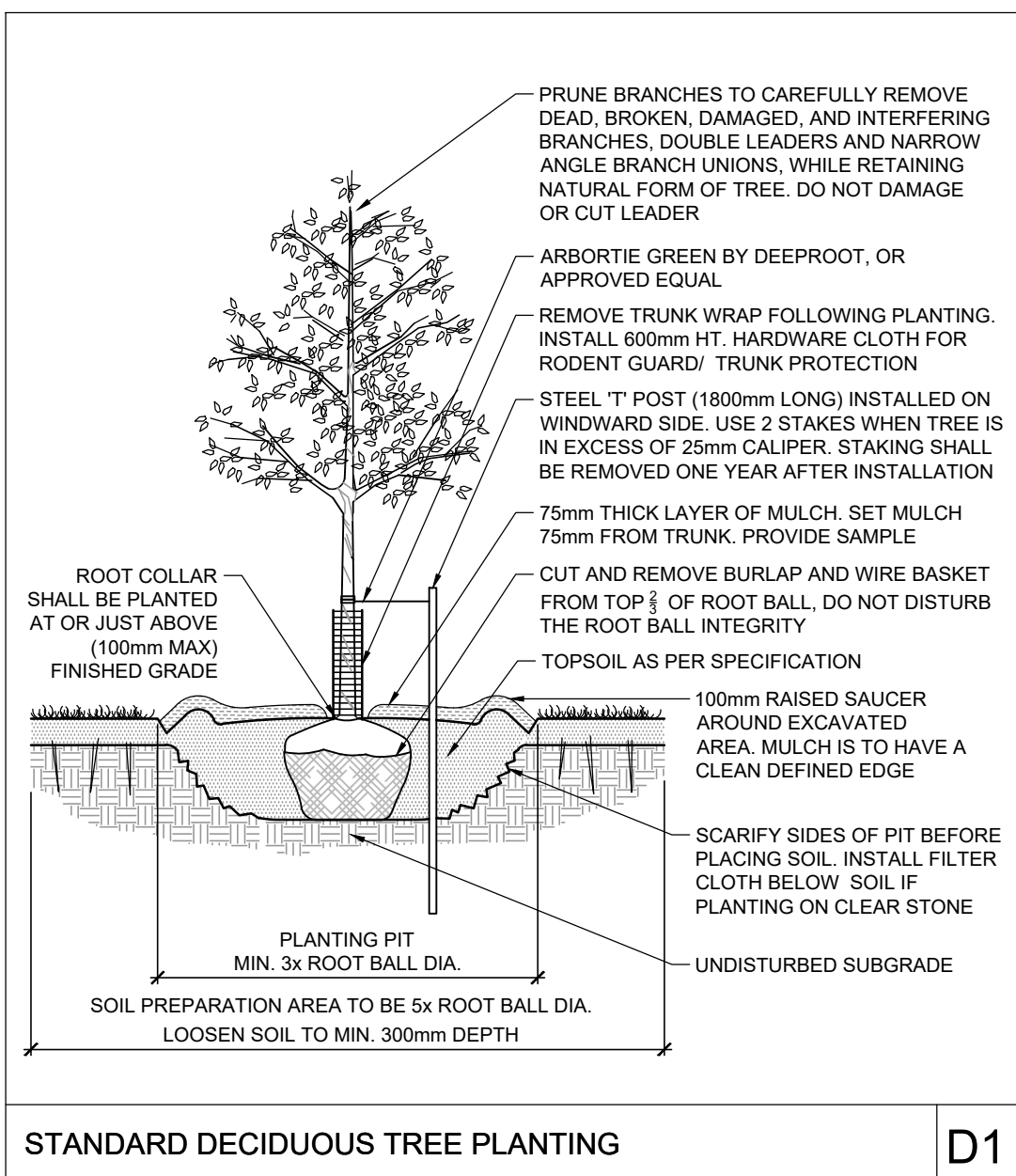
SPB DEVELOPMENTS INC.
 METRIC HOMES SUBDIVISION - BLOCK 123
 4829 ABBOTT STREET EAST, KANATA

DRAWING NAME
 LANDSCAPE PLAN AND TREE CONSERVATION PLAN

PROJECT NO.
 110037

REV #
 6

DRAWING NO.
 110037-B123-L1



SOIL & TREE CANOPY COVER FIGURE
NOT TO SCALE

SOIL AVAILABILITY CALCULATION

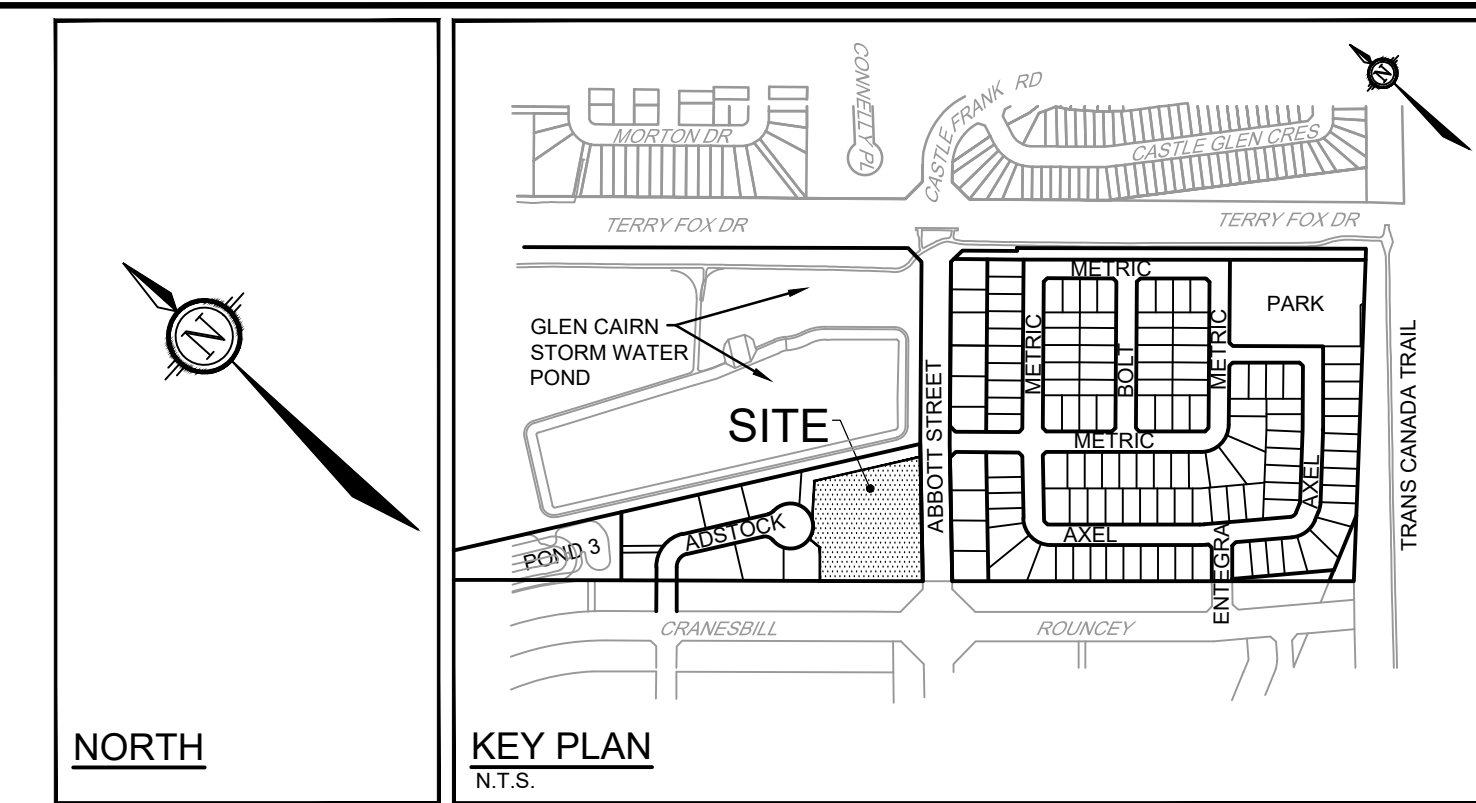
Planting bed no.	Available Soil Area (sq m)	Available Soil Volume* (cu m)	No. of trees proposed			Total No. of trees	Min. required Soil volume total (cu m)
			Small (min. 25m ³ soil for single & 15m ³ for shared)	Medium (min. 30m ³ soil for single & 18m ³ for shared)	Large (min. 35m ³ soil for single & 20m ³ for shared)		
Planting bed 1	121	182	1	2	3	51.00	
Planting bed 2	52	79		0	0	0.00	
Planting bed 3	52	78		0	0	0.00	
Planting bed 4	165	248		3	3	54.00	
Planting bed 5	51	76		0	0	0.00	
Planting bed 6	51	77		1	1	30.00	
Planting bed 7	32	48		0	0	0.00	
Planting bed 8	38	56	1		1	25.00	
Planting bed 9	17	26	1		1	25.00	
Planting bed 10	30	46			2	40.00	
Planting bed 11	31	46			2	40.00	
Planting bed 12	453	680	2	4	8	142.00	
Planting bed 13	101	151		4	4	72.00	
Planting bed 14	351	527	3	5	8	135.00	
Planting bed 15	139	209		2	2	36.00	

*Note 1: For all planting beds proposed, the available soil depth is considered to be 1.5m due to clay soil conditions.

CANOPY COVERAGE CALCULATION

PROPOSED CANOPY COVERAGE AT MATURITY				
SIZE OF PROPOSED TREE	AVERAGE MATURE SPREAD	CANOPY COVERAGE PER TREE AT MATURITY (m ²)	QUANTITY OF TREES	TOTAL CANOPY COVERAGE
Deciduous trees- Small	5m	20	8	160
Deciduous trees- Medium	10m	79	21	1659
Deciduous trees- Large	14m	154	6	924
TOTAL PROPOSED CANOPY COVERAGE (m²):				1,819
TOTAL SITE AREA (m²):				8,155
EST. PROPOSED CANOPY COVERAGE (%):				22%

- Area of a circle = $(r \times r) \times \pi$
- Canopy coverage per tree calculation: $(\text{average mature spread} / 2) \times (\text{average mature spread} / 2) \times \pi$
- ROW trees along Abbott Street have not been counted under the retained canopy coverage category.



- LEGEND**
- PROPERTY LIMIT
 - PROPOSED CONCRETE
 - RIVER STONE
 - SOIL AVAILABILITY
 - PERENNIALS
 - ORNAMENTAL GRASSES
 - PROPOSED DECIDUOUS TREE
 - EXISTING TREES TO REMAIN
 - PROPOSED TREE PROTECTION FENCE
 - CANOPY COVER OF TREES AT MATURITY
 - PROPOSED SHRUBS
 - PROPOSED WOOD PRIVACY FENCE 1.8m HT
 - EXISTING WOOD PRIVACY FENCE 1.8m HT (BY OTHERS)
 - 4.5m TREE SETBACK FROM THE BUILDING, PER GEOTECH REPORT
- GENERAL**
- Read and interpret this drawing/ drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
 - The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction. Protect and assume responsibility for all existing utilities regardless of being shown on the drawings.
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 - Do not scale drawings. Work to dimensions only.
 - Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
 - Reinstate all areas and items damaged or disturbed, beyond the Limit of Work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant. Unless otherwise noted, Contractor is to reinstate all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.
- CONSTRUCTION**
- All general site information and conditions are compiled from Consultant field notes and plans provided by the Owner and are supplied for information purposes only. It is the responsibility of the Contractor to verify the accuracy of all the information obtained from this plan.
 - Together with all Subcontractors involved, the Contractor is to examine all surfaces or conditions relating to the work, in order to determine the acceptability of such surfaces or conditions for the work to commence. Notify the Contract Administrator in writing of conditions which could be detrimental to installation and do not commence work until instructed by the Contract Administrator. The commencement of work implies Contractor acceptance of the conditions.
 - Contractor to check and report any discrepancies before commencing work. No responsibility is borne by the Consultant for subsurface conditions.
 - Contractor to check and verify all dimensions and quantities on site and report any errors or omissions to the Consultant.
 - Contractor is responsible for all fees arising from the completion of works conveyed by these drawings, details, and specifications.
 - Carry out all construction in accordance with the most current provincial and municipal standards and specifications.
 - Contractor to coordinate all access and protect the public and users of the site with appropriate control fence and supervision throughout the construction period, to the satisfaction of the Consultant.
 - Contract Administrator is to approve access point(s) prior to mobilization.
 - A Contractor flagman is required to direct all deliveries of machinery or materials to the site.
 - Contractor to coordinate and schedule all work with other trades and contractors. Contractor is to notify Contract Administrator of any schedule difficulties.
 - Contractor responsible for the removal and off-site disposal of all materials as required to facilitate new construction. Store all items and materials identified by the Consultant for salvage at a location on site as identified by the Consultant. Excavate and remove from site any contaminated material. Dispose all contaminated material at a licensed landfill facility.
 - Maintain site in a clean and orderly state for the duration of construction; perform all work in accordance with the Occupational Health and Safety Act. Remove all excess materials, packaging, and debris from the site.
 - Contractor is responsible to take all necessary measures to control dust on the project site and to the satisfaction of the Contract Administrator.
 - Contractor is responsible for all layout for construction purposes.
 - Contractor is to protect all iron bars. Replace any disturbed bars by Owner at the Contractor expense.
 - The Contractor is to notify the Contract Administrator upon completion of the required works to schedule an inspection for acceptance.

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c/o Sherrin Barrer at Metric Homes
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Phone: (613) 301-7792

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Planning:
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SCALE: 1:200

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SCALE	FOR REVIEW ONLY
1:200	TCB
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LEGAL DESCRIPTION:
Block 123, Plan 4M-1616, Ottawa

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SPB DEVELOPMENTS INC.
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4829 ABBOTT STREET EAST, KANATA

DRAWING NAME:
LANDSCAPE DETAILS,
CANOPY COVERAGE AND SOIL
AVAILABILITY CALCULATIONS

PROJECT NO: 110037
REV: REV # 6
DRAWING NO: 110037-B123-L2