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A1.06	SITE ACCESSORIES
A1.07	SITE ACCESSORIES
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A3.00	ELEVATION - COLOUR
A3.01	ELEVATION - COLOUR

PALLADIUM TERRACE

425 CULDAFF RD

OTTAWA, ON

VICINITY MAP




VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION



PROJECT TEAM:

APPLICANT:




BROADSTREET

PROPERTIES' LTD.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca

CONSTRUCTION:



SEYMOUR PACIFIC

DEVELOPMENTS LTD.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.seymourpacific.ca

STRUCTURAL
ENGINEERING:

BEACH ROCKE

ENGINEERING LTD.

1050 St. Mary's Road.
Winnipeg, MB R2M 3S9
204-255-7251

CIVIL ENGINEERING:

NOVATECH

240 Michael Cowpland Drive
Suite 200, Ottawa, ON
K2M 1P6
613.254.9643

LANDSCAPE ARCHITECT:

STUDIO RED LANDSCAPE

ARCHITECTURE INC.

76 Chamberlain Ave.
Ottawa, ON K1S 1V9
613-866-4551

MECHANICAL & ELECTRICAL
ENGINEERING:

ENGLOBE

202 - 13167 146 Street
Edmonton, AB
T5L 4S8
780-801-6100

ARCHITECT:

ABELEARCHITECTURE

Thomas Abele, Architect OAA
2001 – 1755 Haro Street
Vancouver, B.C. V6G 1H2
604-682-6818

SITE INFORMATION			
PROJECT DESCRIPTION	1 - MULTIFAMILY RESIDENTIAL APARTMENT (6 STOREY)		
TOTAL UNITS	177 UNITS		
ROOF TYPE	GABLE ROOF		
CIVIC ADDRESS	425 CULDAFF RD.		
MUNICIPALITY	CITY OF OTTAWA		
ZONING	GM		
LEGAL DESCRIPTION	PART BLOCK 242, PLAN 4M1687, PART 1 AND 2 ON 4R35406; SUBJECT TO AN EASEMENT IN GROSS OVER PART 4, 4R34110 AS IN OC2424260; CITY OF OTTAWA		
LOT AREA	9,728.16 m ²	2.40 ACRES	0.973 HECTARES
BUILDING AREA	16,335.42	m ²	
DENSITY	74.2 DU/ACRE		
FLOOR SPACE INDEX (FSI)	1.68		

ZONING SUMMARY				
	REQUIRED		PROPOSED	
MAX. BUILDING HEIGHT	18.0 m		18.0 m	
MIN. FRONT YARD S.B.	3.0	m	7.0	m
MIN. REAR YARD S.B.	7.5	m	7.5	m
MIN. INTERIOR SIDE YARD S.B.	3.0	m	3.0	m
MIN. CORNER SIDE YARD S.B.	3.0	m	3.0	m
MIN. LOT AREA	No minimum	m ²	-	m ²
MIN. LOT WIDTH	No minimum	m	-	m

VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	177	212	177
VISITORS	0.2 / UNIT	177	35	35
TOTAL PARKING STALLS			247	212 *
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%		MAX 107	90
ACCESSIBLE TYPE A			3	3
ACCESSIBLE TYPE B			4	4

* SUBJECT TO VARIANCE

BUILDING INFORMATION				
BUILDING	STOREYS	UNIT COUNT	FOOTPRINT	GROSS BUILDING AREA
A	6	177	2722.57 m ²	16,335.42 m ²

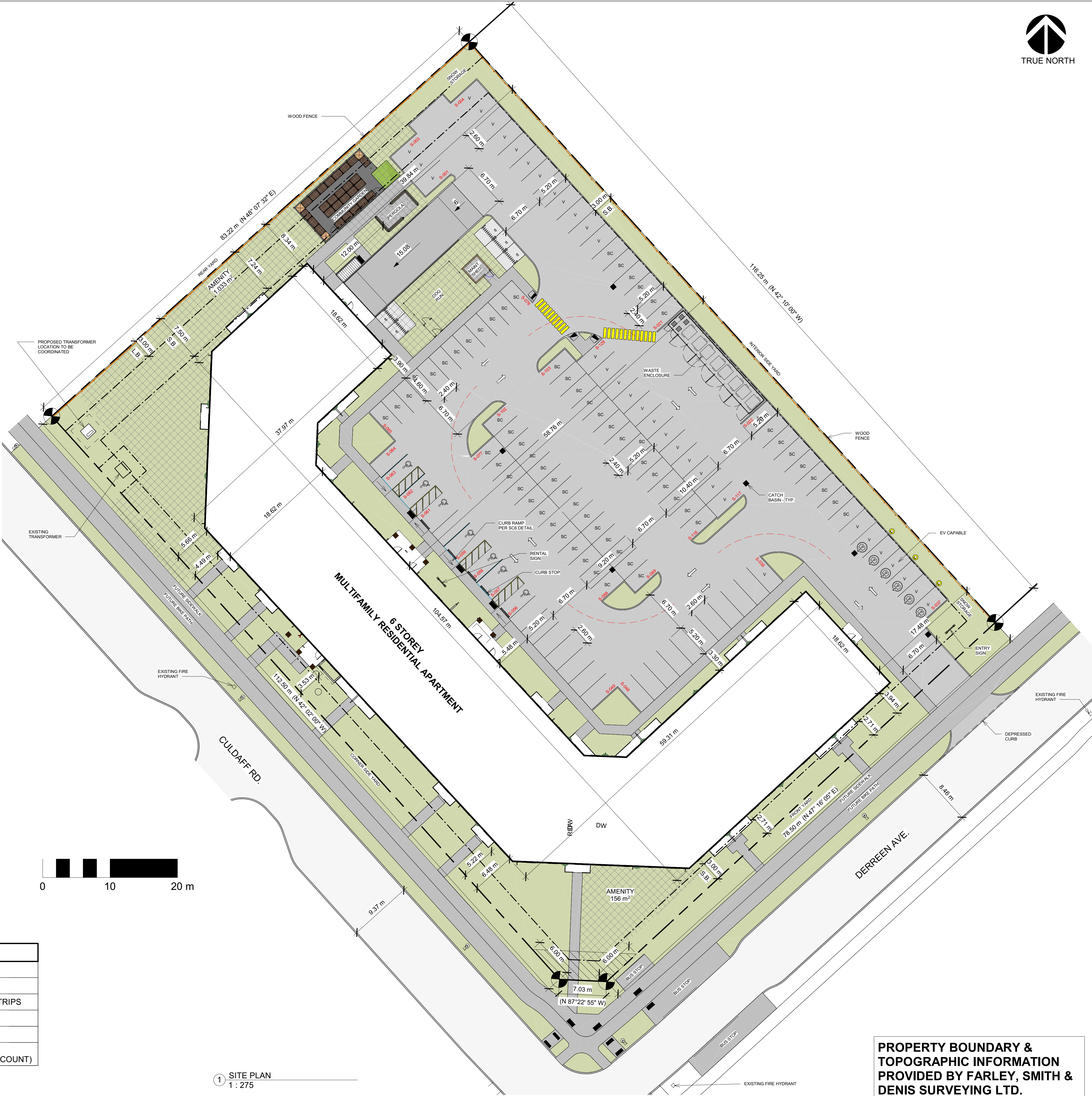
UNIT BREAKDOWN		
	BUILDING A	
TOTAL PER BUILDING	177	
		%
STUDIO	24	13%
1 BED / 1 BATH	24	13%
2 BED / 1 BATH	6	3%
2 BED / 2 BATH	87	51%
3 BED / 2 BATH	36	20%
TOTAL	177 UNITS	

LANDSCAPE		
	REQUIRED	PROPOSED
PERCENTAGE OF LOT AREA		35%
m ²		3387 m ²

BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE			89	108
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68

AMENITY			
	RATE	REQUIRED	PROPOSED
TOTAL AMENITY SPACE	6m ² / DU	1062 m ²	1331.35 m ²
COMMUNITY AMENITY AREA (50% MIN OF TOTAL)		531 m ²	1331.35 m ²

LEGEND			
---	PROPERTY LINE	×-×-×	CHAINLINK FENCE
-.-.-	SETBACK LINE		LANDSCAPE AREA
---	BUILDING OUTLINE		CROSSWALK 1.5 X .45 STRIPS
●	FIRE HYDRANT		SIDEWALK LETDOWN
⦿	EV CAPABLE CHARGER		ACCESSIBLE PARKING
---	WOODEN FENCE		BIKE PARKING (NUMBER REPRESENTS COUNT)

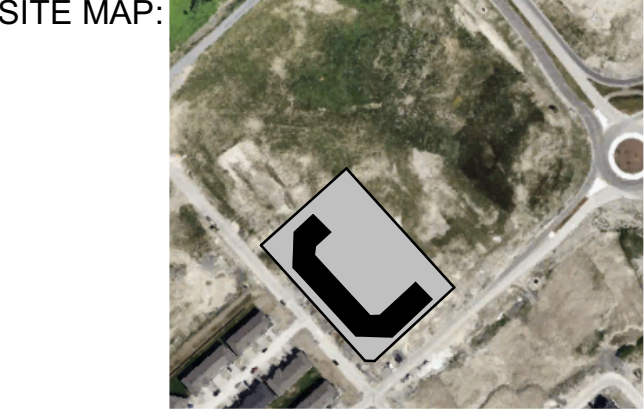


1 SITE PLAN
1 : 275



BROADSTREET
PROPERTIES LTD.

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PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE ARCHITECTS
LICENCE 9553
2025-08-19

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SITE PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: **A1.00**



PROPERTY BOUNDARY &
TOPOGRAPHIC INFORMATION
PROVIDED BY FARLEY, SMITH &
DENIS SURVEYING LTD.

VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	177	212	177
VISITORS	0.2 / UNIT	177	35	35
TOTAL PARKING STALLS			247	212 *
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%		MAX 107	90
ACCESSIBLE TYPE A			3	3
ACCESSIBLE TYPE B			4	4

* SUBJECT TO VARIANCE

BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE			89	108
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68

PARKING KEY NOTES:

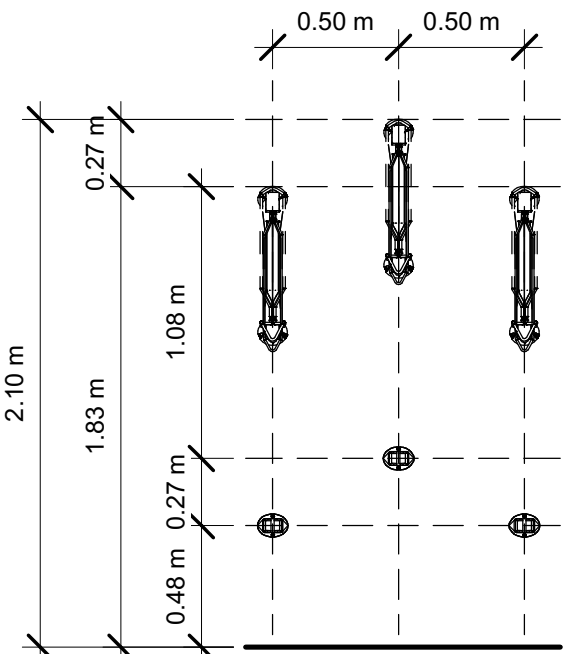
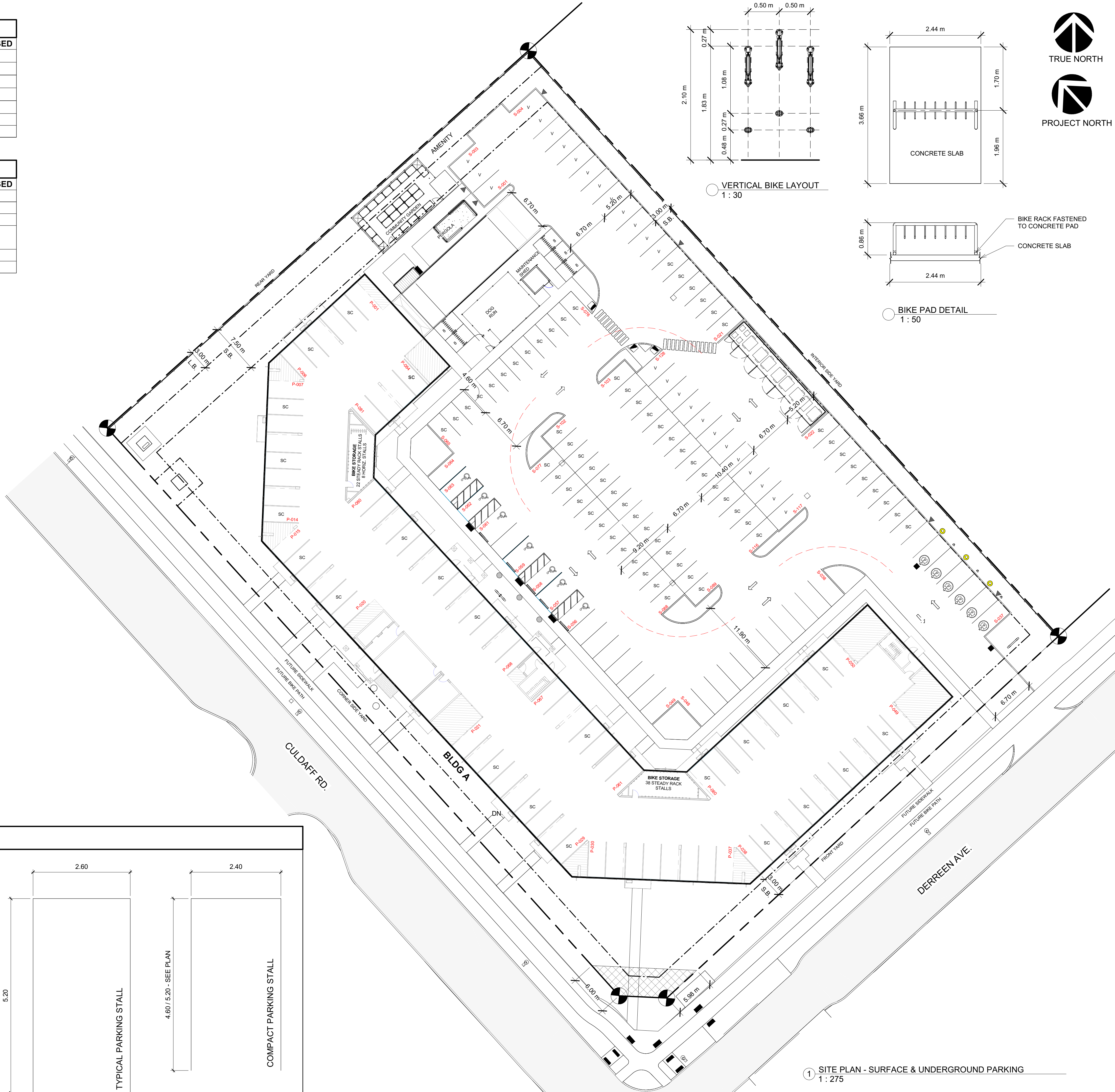
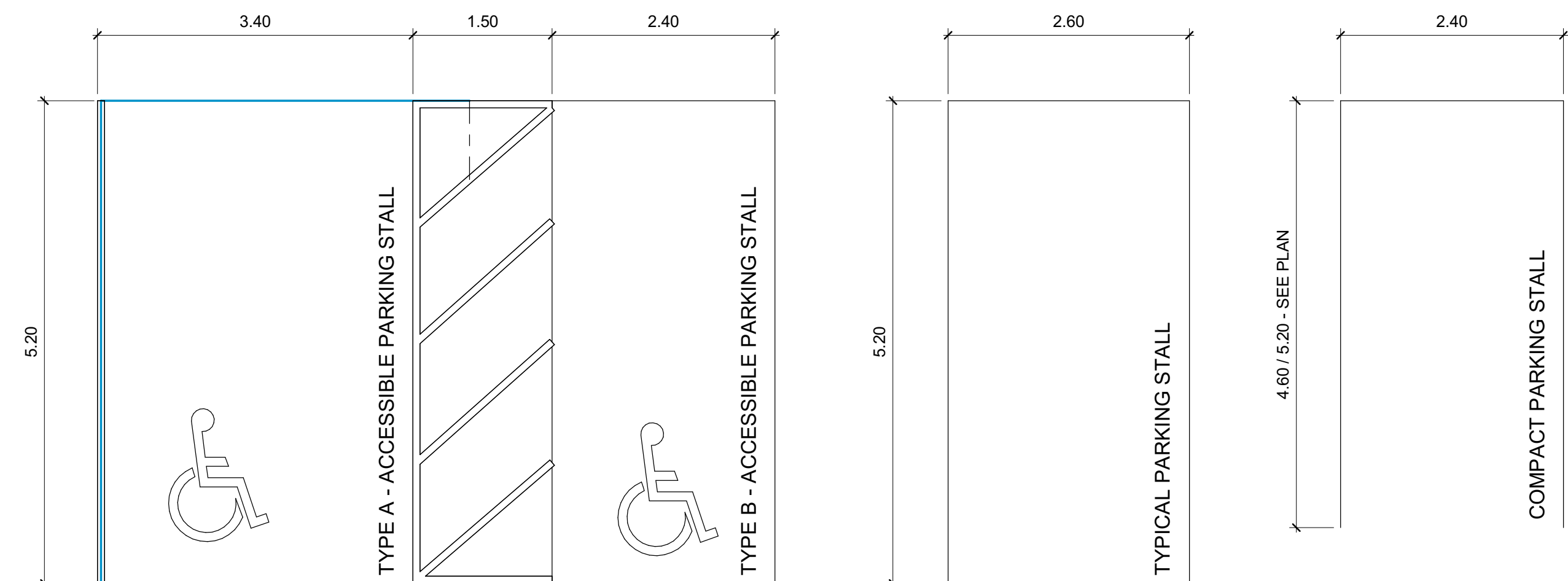
LETTER:

SC = SMALL CAR
V = VISITOR

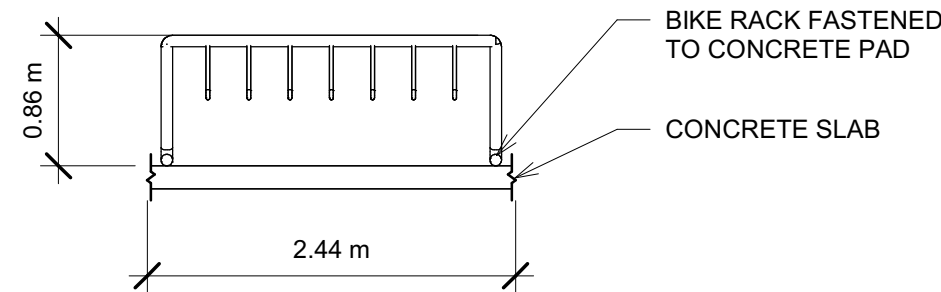
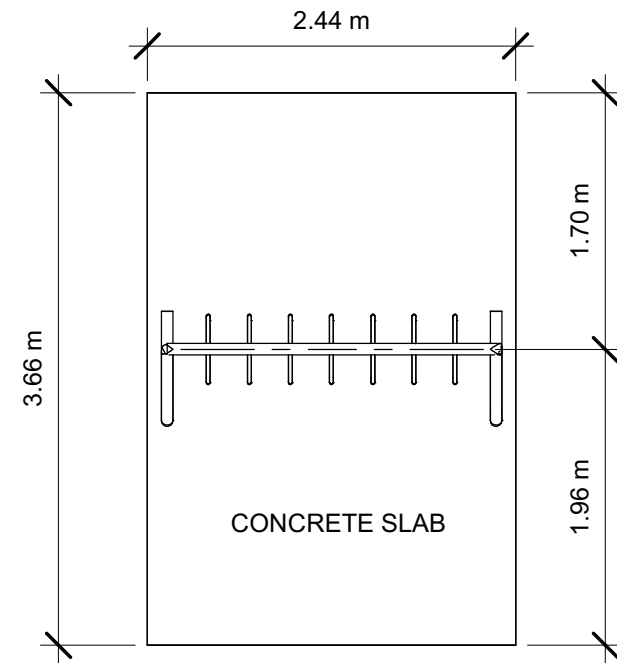
UNLESS NOTED ALL OTHER STALL ARE TYPICAL

	EV CAPABLE CHARGER
	ACCESSIBLE PARKING SIGN
	VISITOR PARKING SIGN

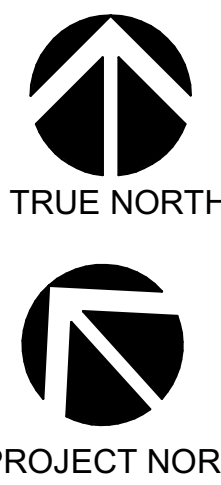
TYPICAL STALL DIMENSIONS



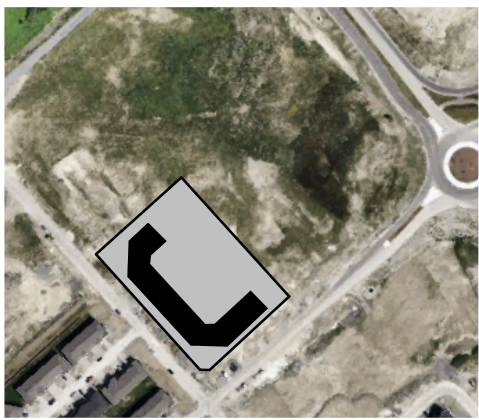
VERTICAL BIKE LAYOUT
1 : 30



BIKE PAD DETAIL
1 : 50



SITE MAP:



PROJECT STATUS:

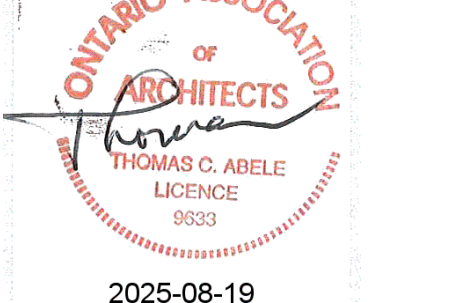
DEVELOPMENT PERMIT

Revision Schedule

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SEAL:

ABELEARCHITECTURE
THOMAS C. ABELE ARCHITECT



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

SURFACE & UNDERGROUND PARKING
PLAN

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

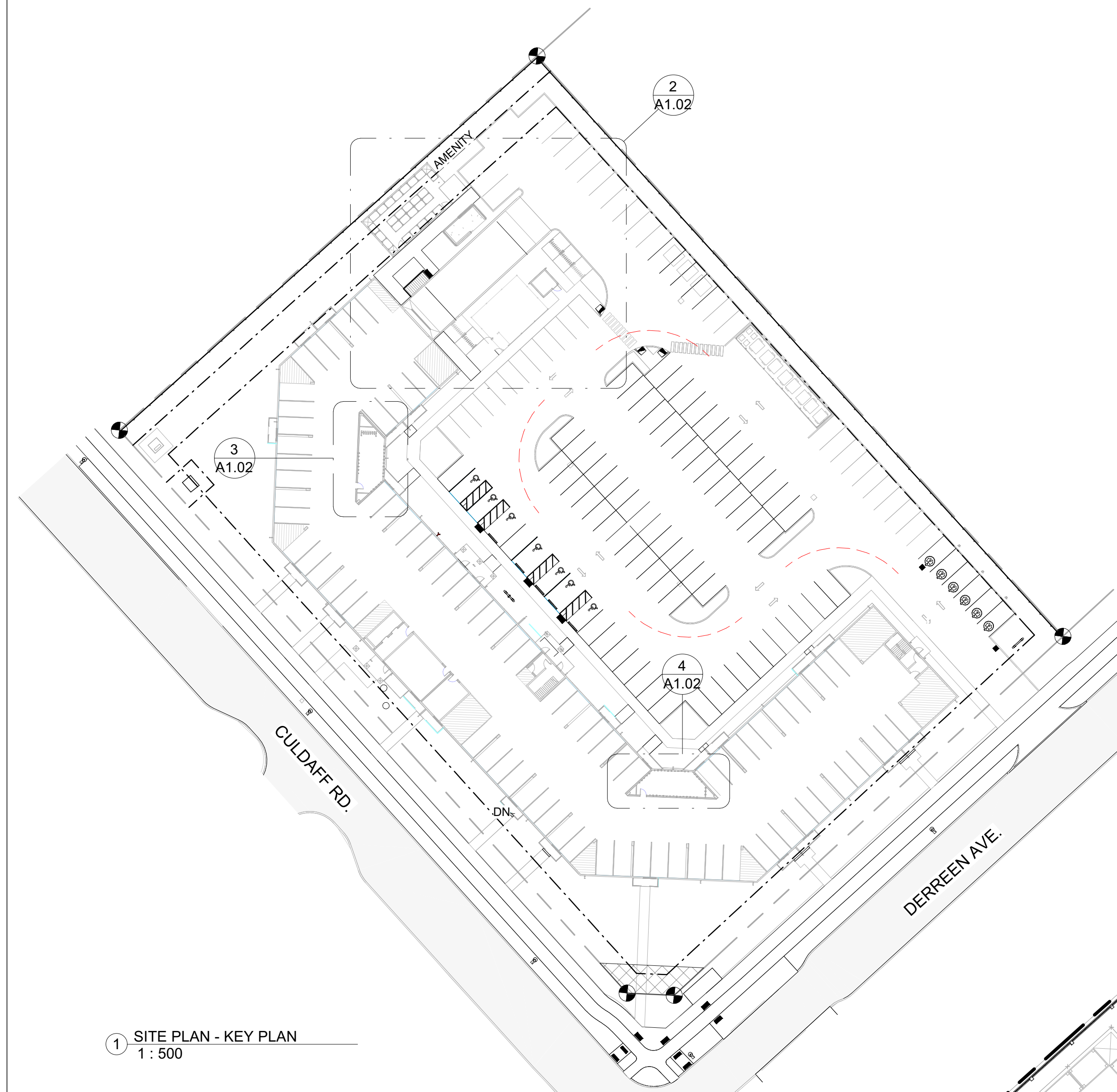
SCALE: As indicated

DRAWING #:

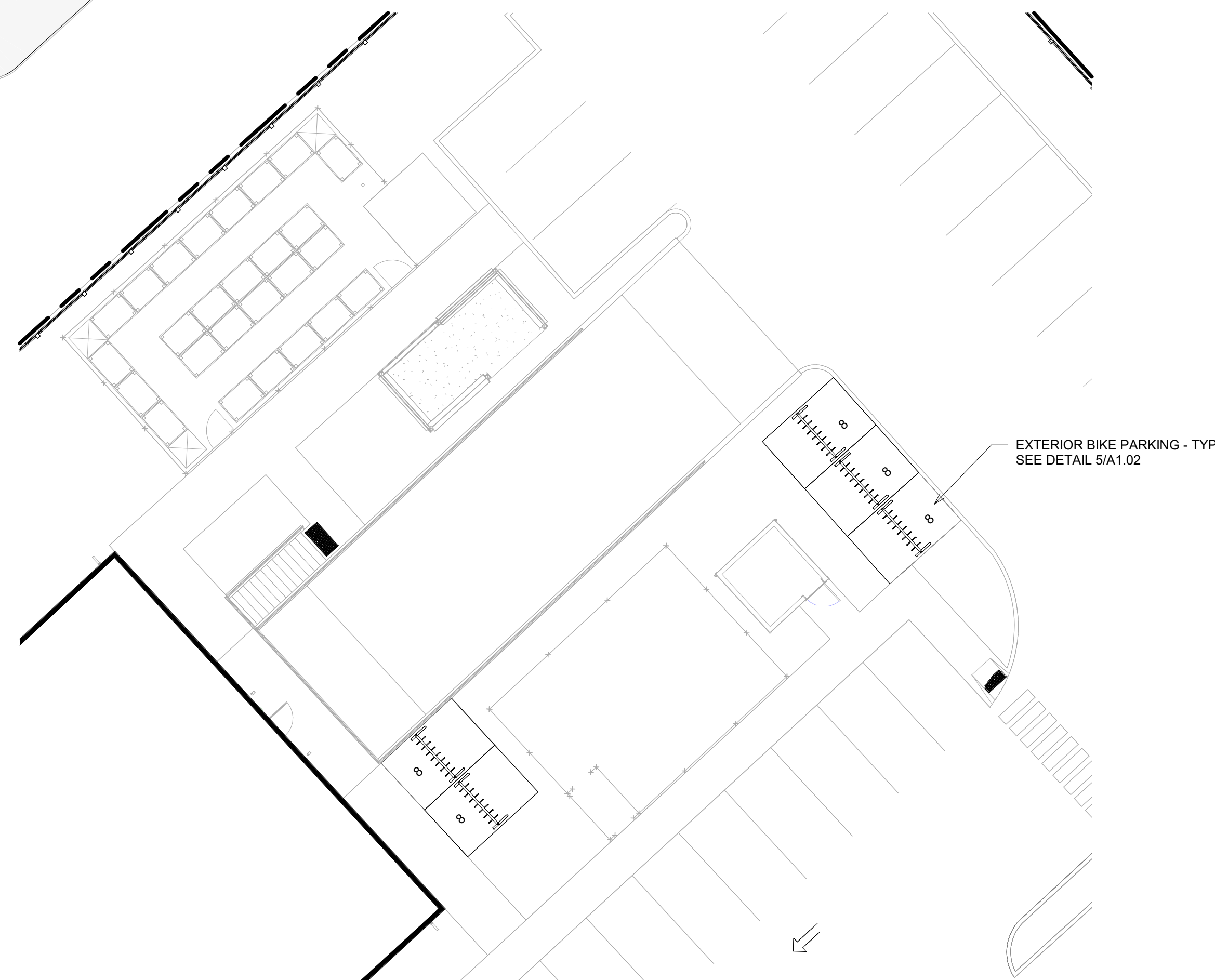
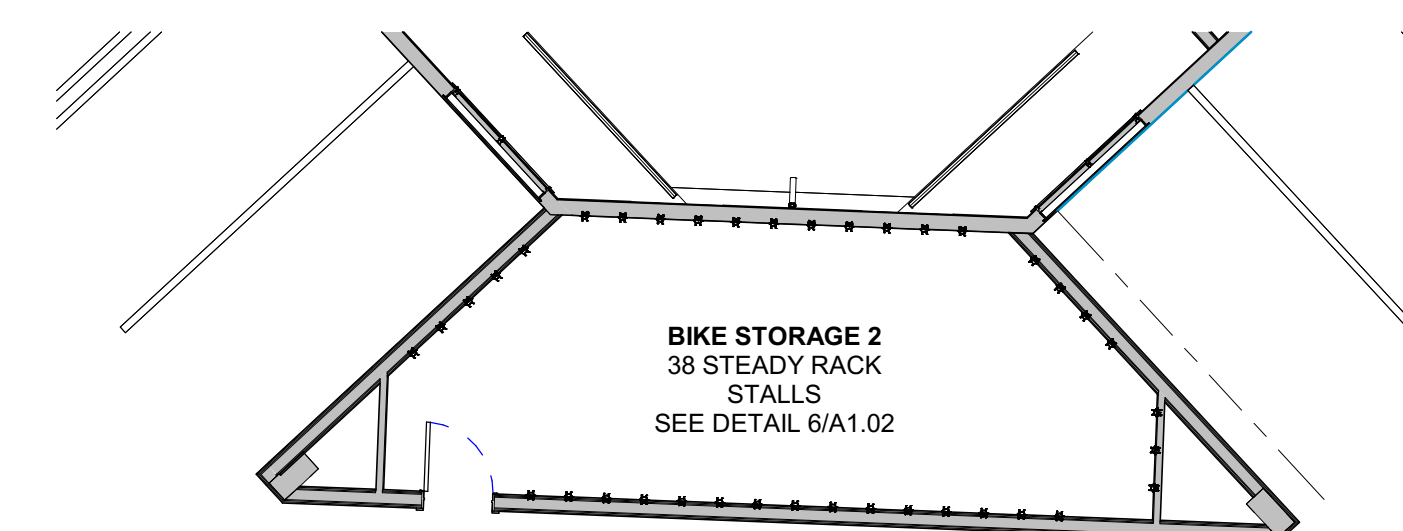
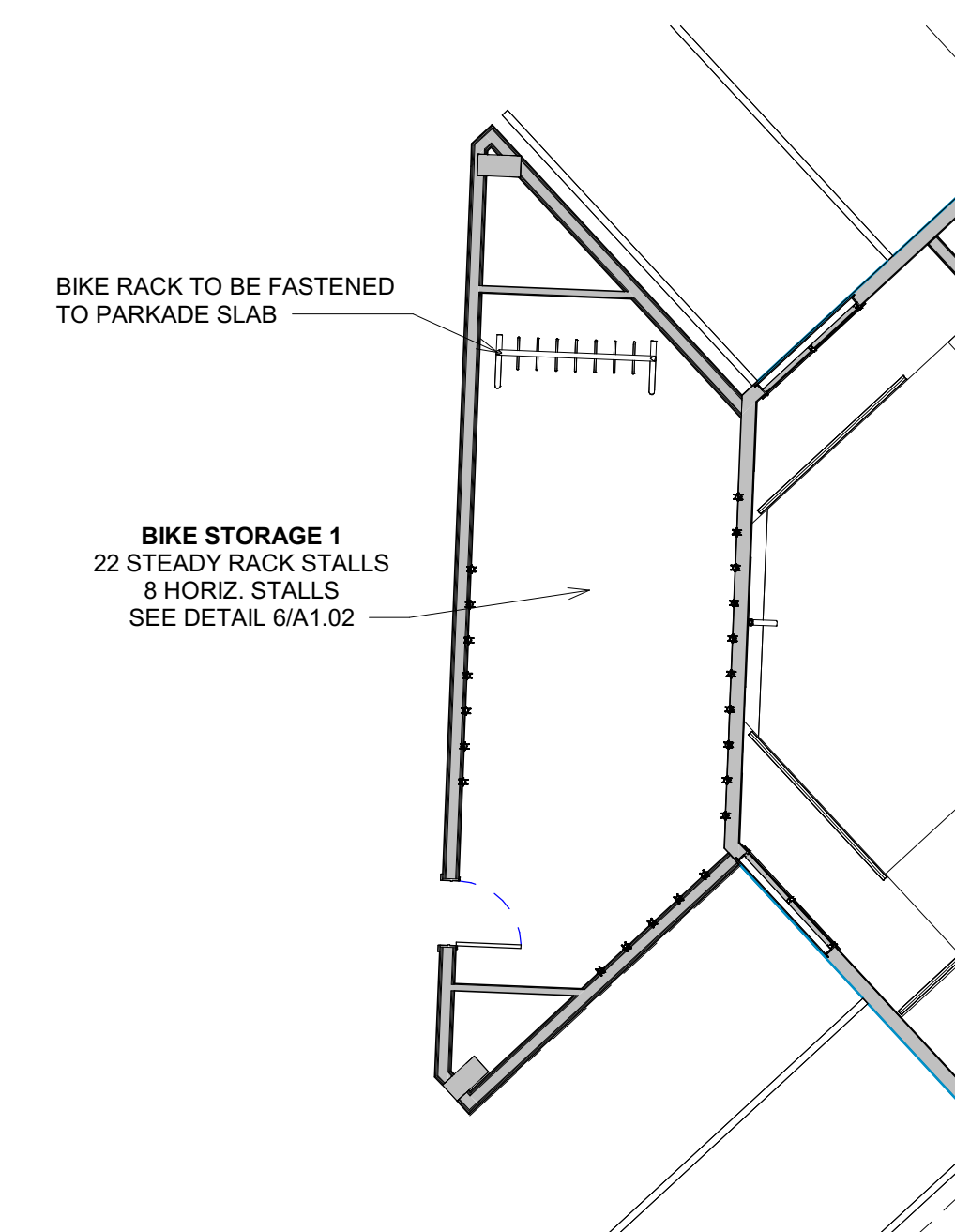
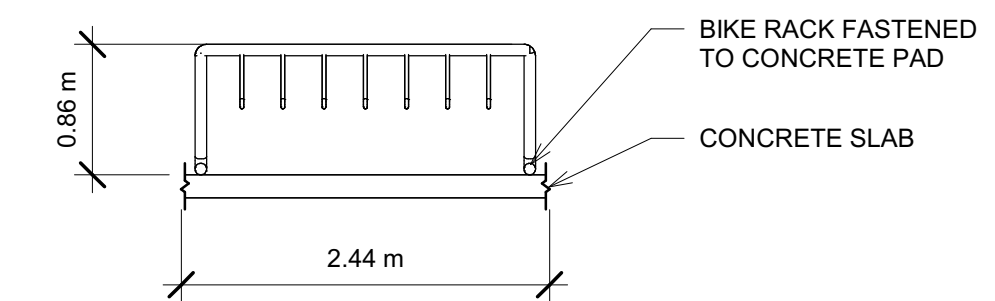
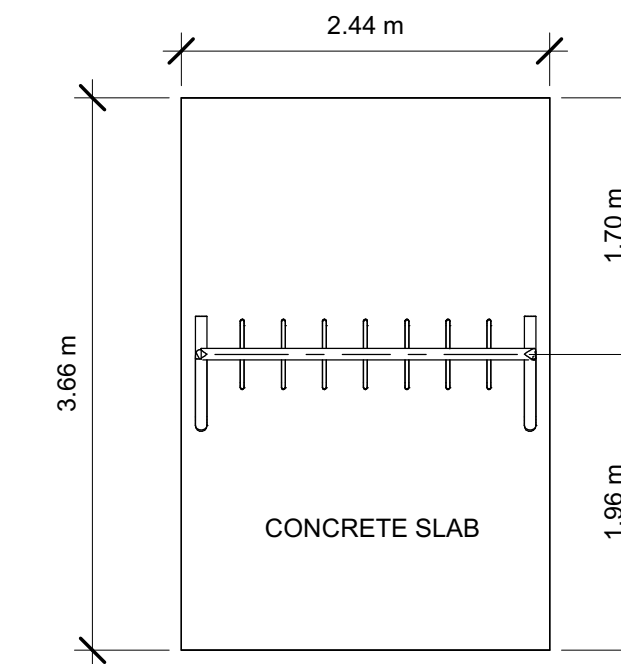
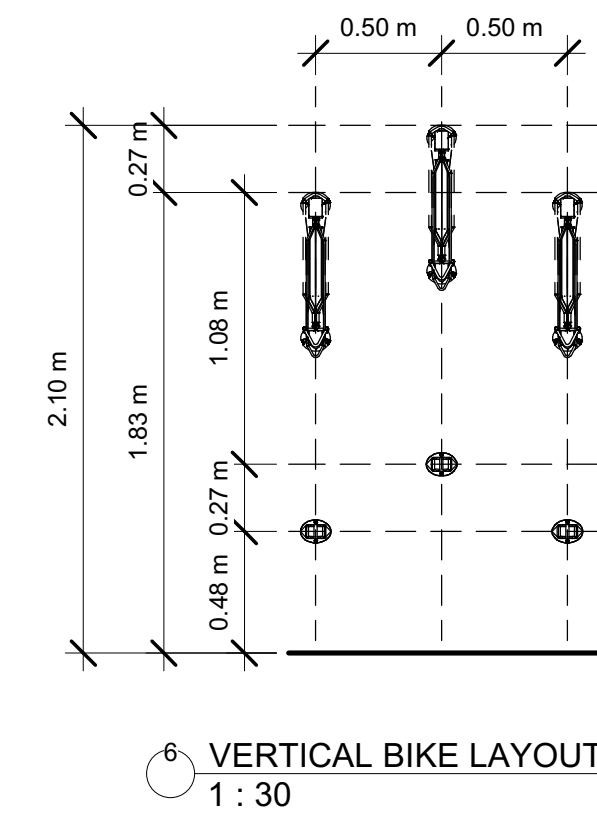
A1.01

REV #:

D



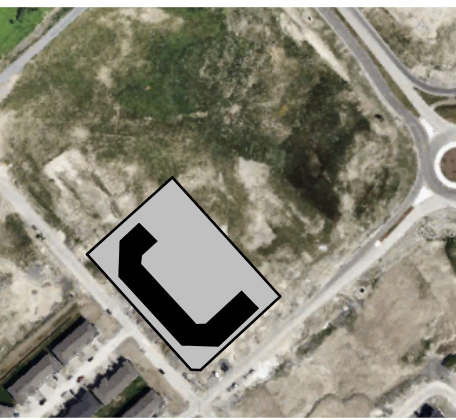
BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE			89	108
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68



**INFORMATION ON THIS SHEET
PROVIDED FOR SITE PLAN
CONTROL APPROVAL ONLY**



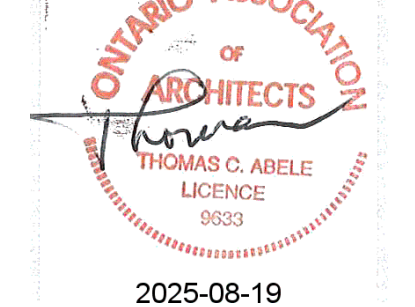
100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca



PROJECT STATUS:
DEVELOPMENT PERMIT

[illegible]

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABELE, ARCHITECT OAA, T: 604.682-6818



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PROJECT NAME:	PALLADIUM TERRACE
---------------	-------------------

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
BIKE PARKING & STORAGE


DRAWN BY:	NG
CHECKED BY:	TH
DATE:	AUG 14, 2025
SCALE:	As indicated
DRAWING #:	REV #:

A1.02





SITE MAP:

An aerial photograph of a residential area. A specific lot is highlighted with a thick black outline. The lot is roughly rectangular with an irregular shape, featuring a large, dark, L-shaped area that appears to be a building or a large tree. The surrounding area includes other lots, some with trees and grass, and a road with a roundabout on the right side.[illegible]

2025-08-19

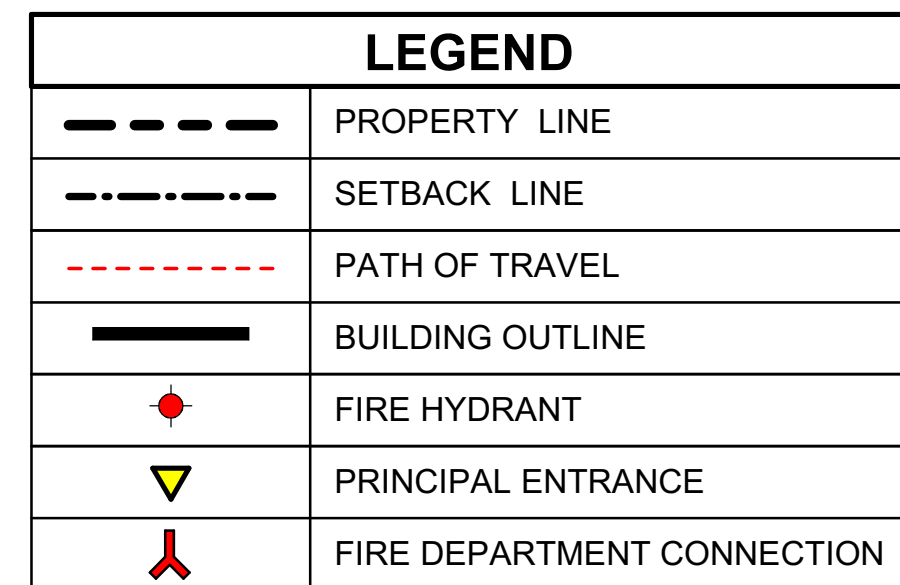
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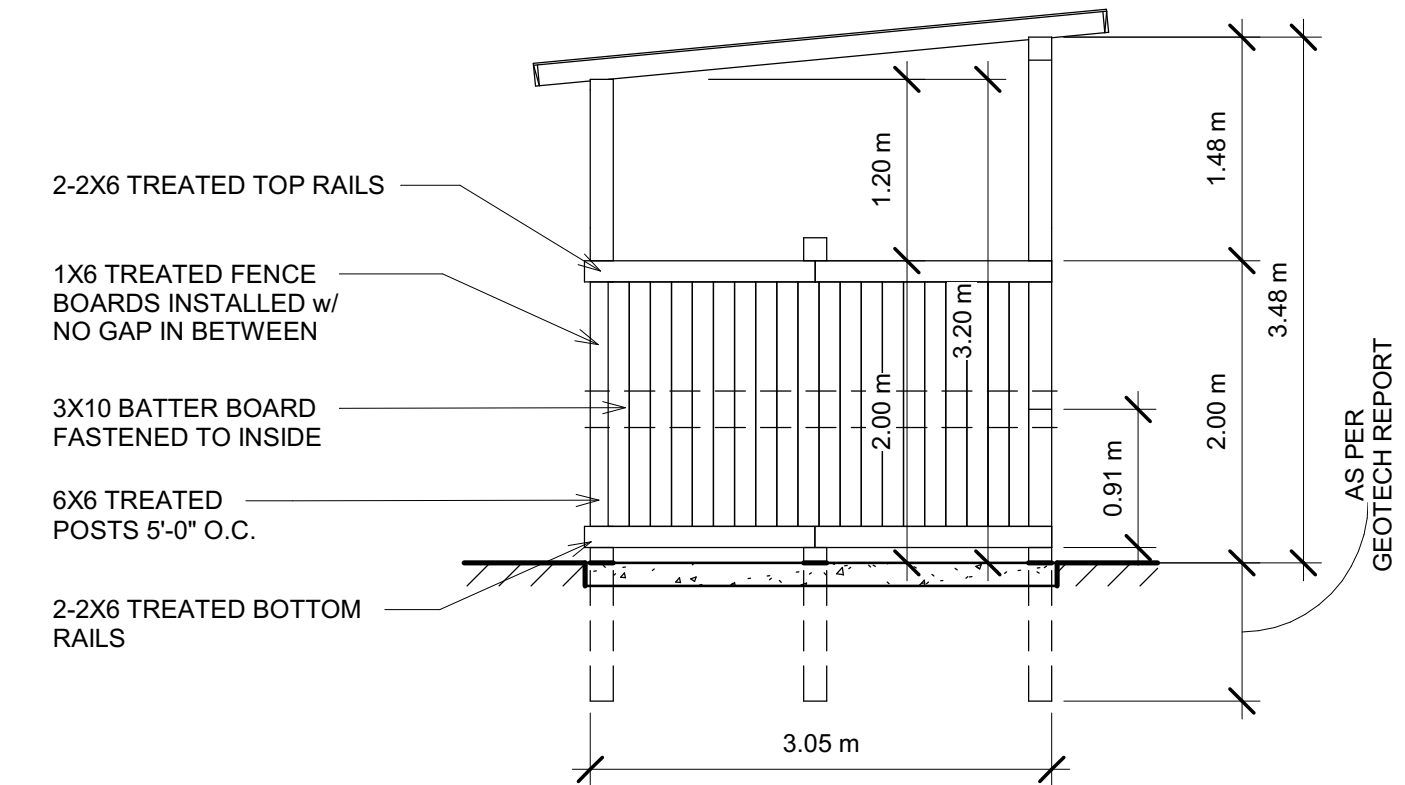
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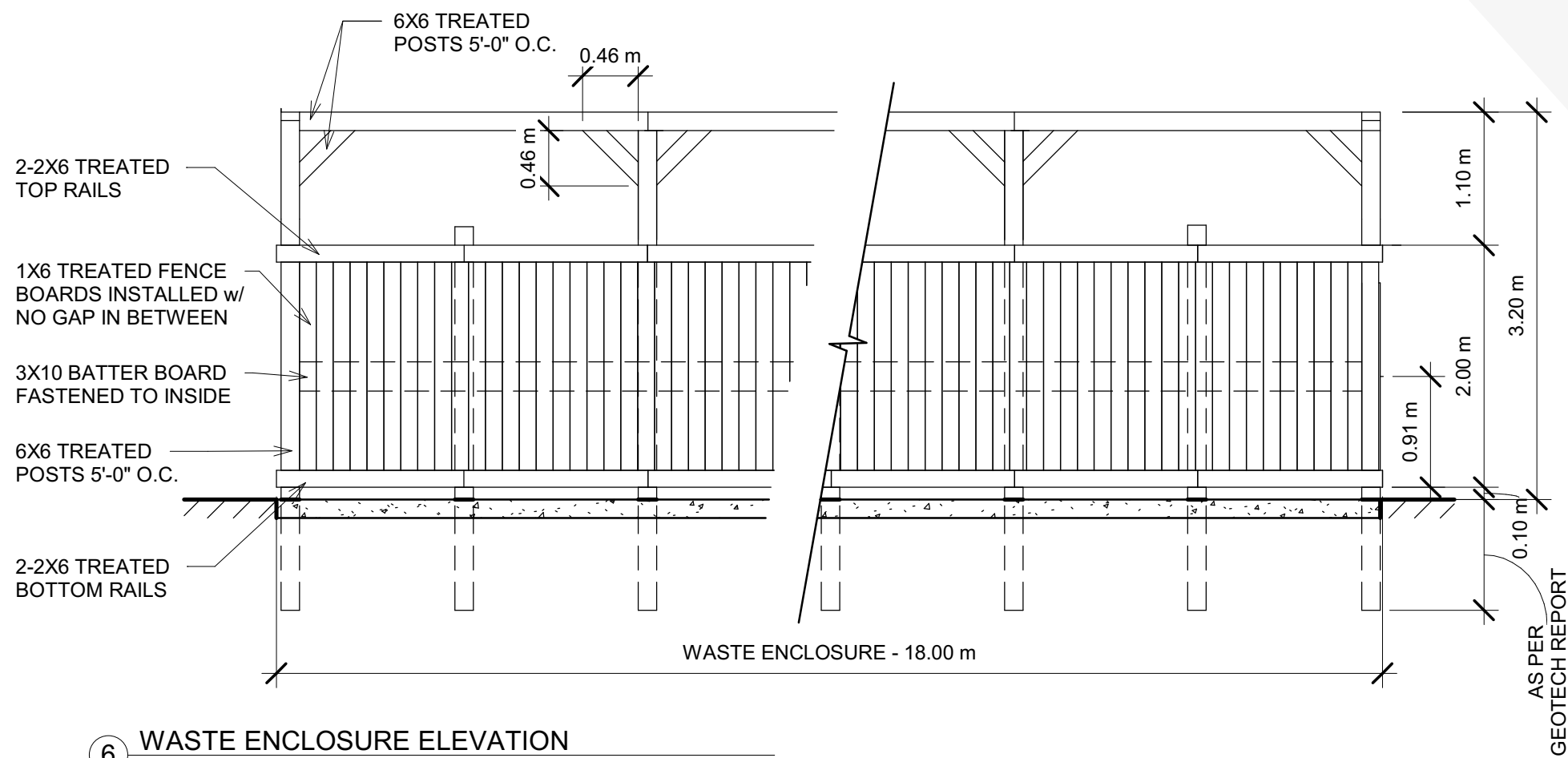
① FIRE + EMERGENCY ACCESS PLAN
1 : 275

WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	19.3 y³	20 y³
GMP	3 y³	4 y³
FIBRE	6.7 y³	8 y³
ORGANICS	870 L	960 L

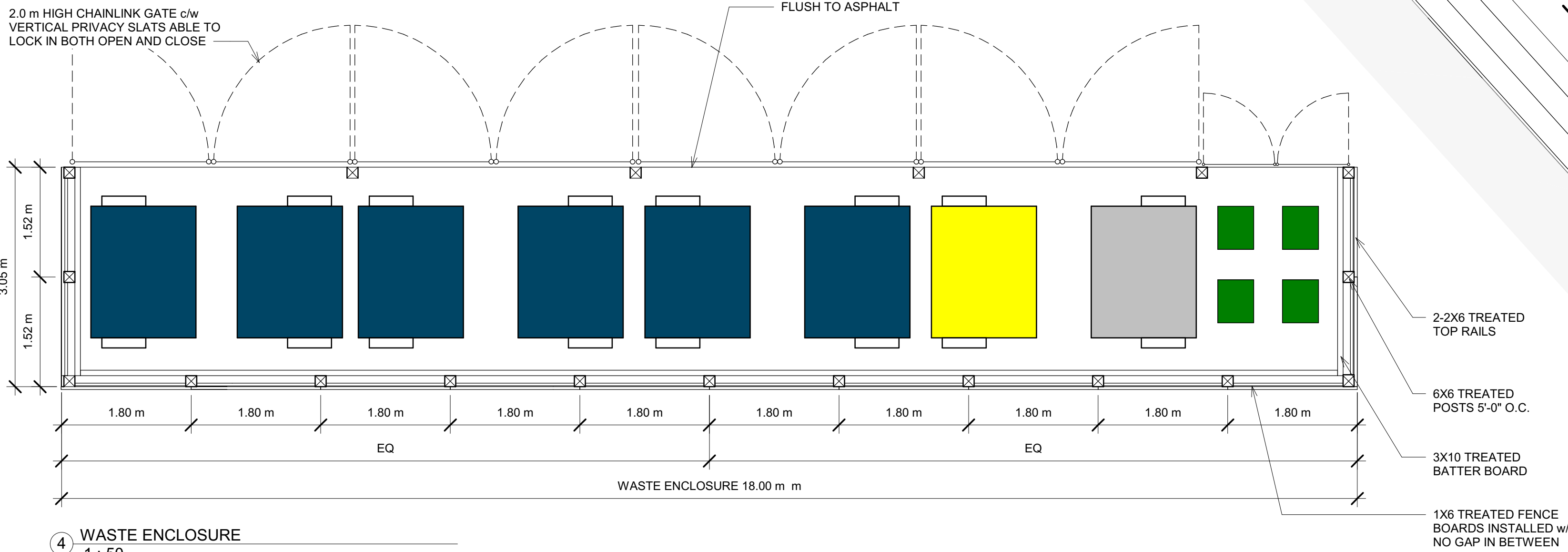
LEGEND	
<div></div>	GARBAGE CANS (NUMBER REPRESENTS Y³)
<div></div>	FIBRE CANS (NUMBER REPRESENTS Y³)
<div></div>	GMP CANS (NUMBER REPRESENTS Y³)
<div></div>	240 L ORGANIC CANS



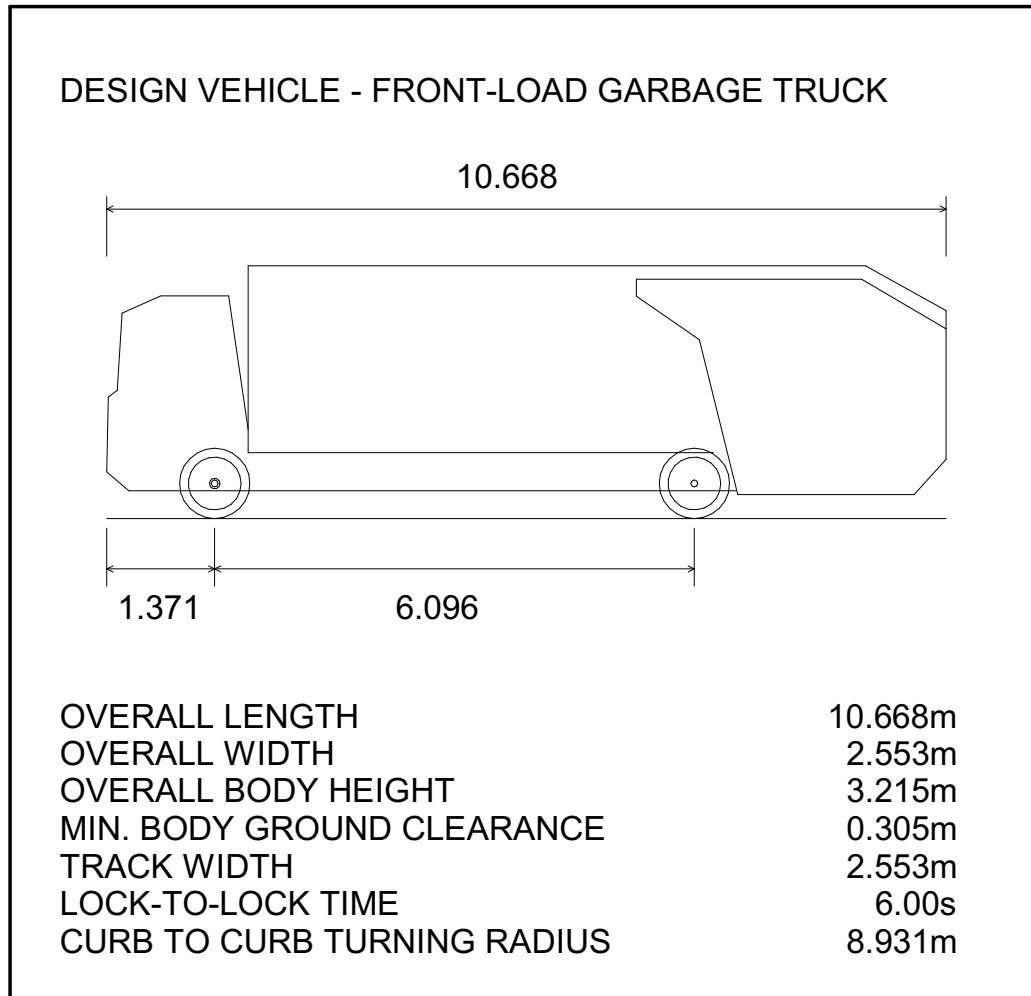
5 WASTE ENCLOSURE SIDE ELEVATION
1 : 50



6 WASTE ENCLOSURE ELEVATION
1 : 50



4 WASTE ENCLOSURE
1 : 50



NTS

WASTE ENCLOSURE

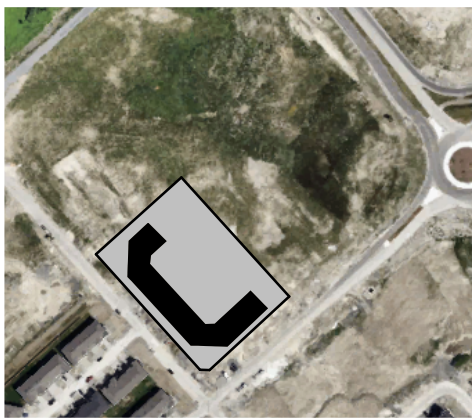
DERREEN AVE.

1 WASTE + RECYCLING PLAN
1 : 275



100 St Anns, Campbell River, B.C.
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SITE MAP:



PROJECT STATUS:

DEVELOPMENT PERMIT

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SEAL: ABELARCHITECTURE

THOMAS C. ABEL ARCHITECT

THOMAS C. ABEL ARCHITECT

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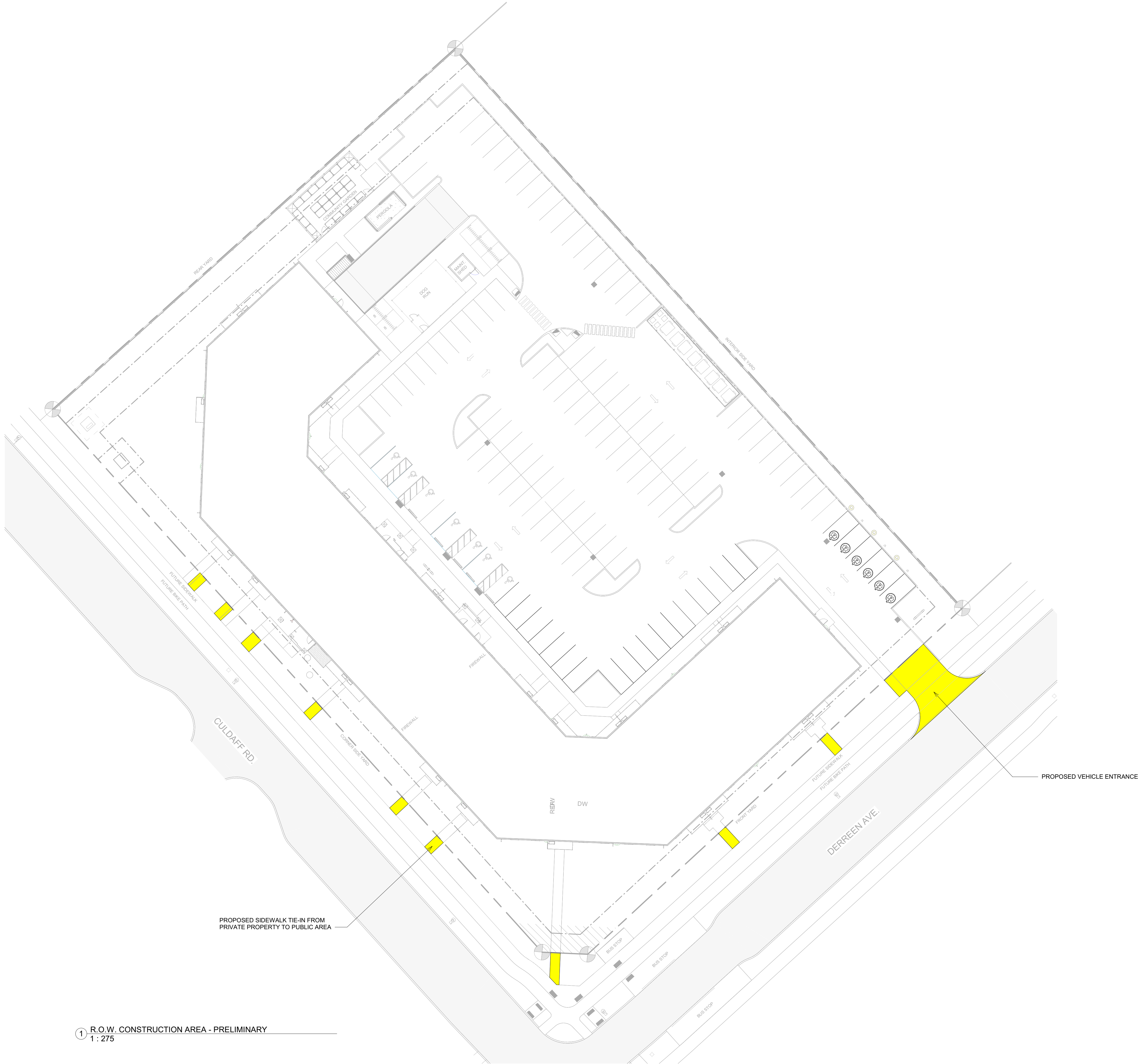
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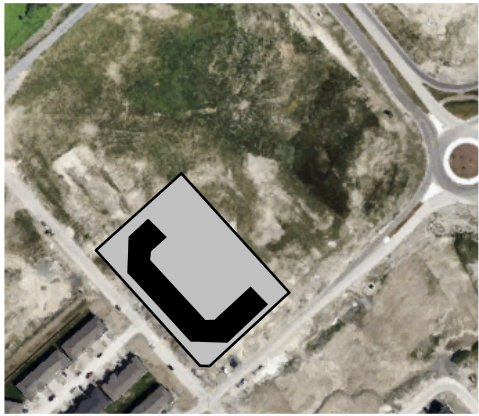
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1 R.O.W. CONSTRUCTION AREA - PRELIMINARY
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SITE MAP:



PROJECT STATUS:

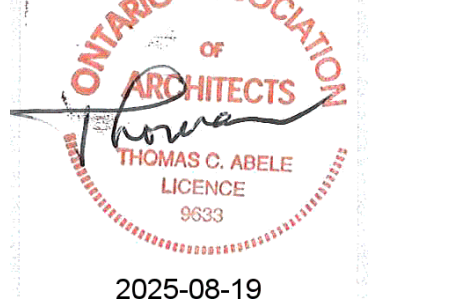
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL:

ABELEARCHITECTURE
THOMAS C. ABELE ARCHITECT ASSOCIATES, T: 604-682-6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

R.O.W. CONSTRUCTION AREA -
PRELIMINARY

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

SCALE: As indicated

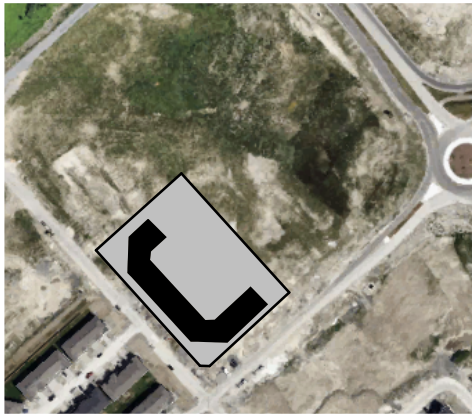
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A1.05

REV #:

D

SITE MAP:



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL:

ABELEARCHITECTURE
THOMAS C. ABELE ARCHITECT, O.A.A. T: 604-882-8818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

SCALE: As indicated

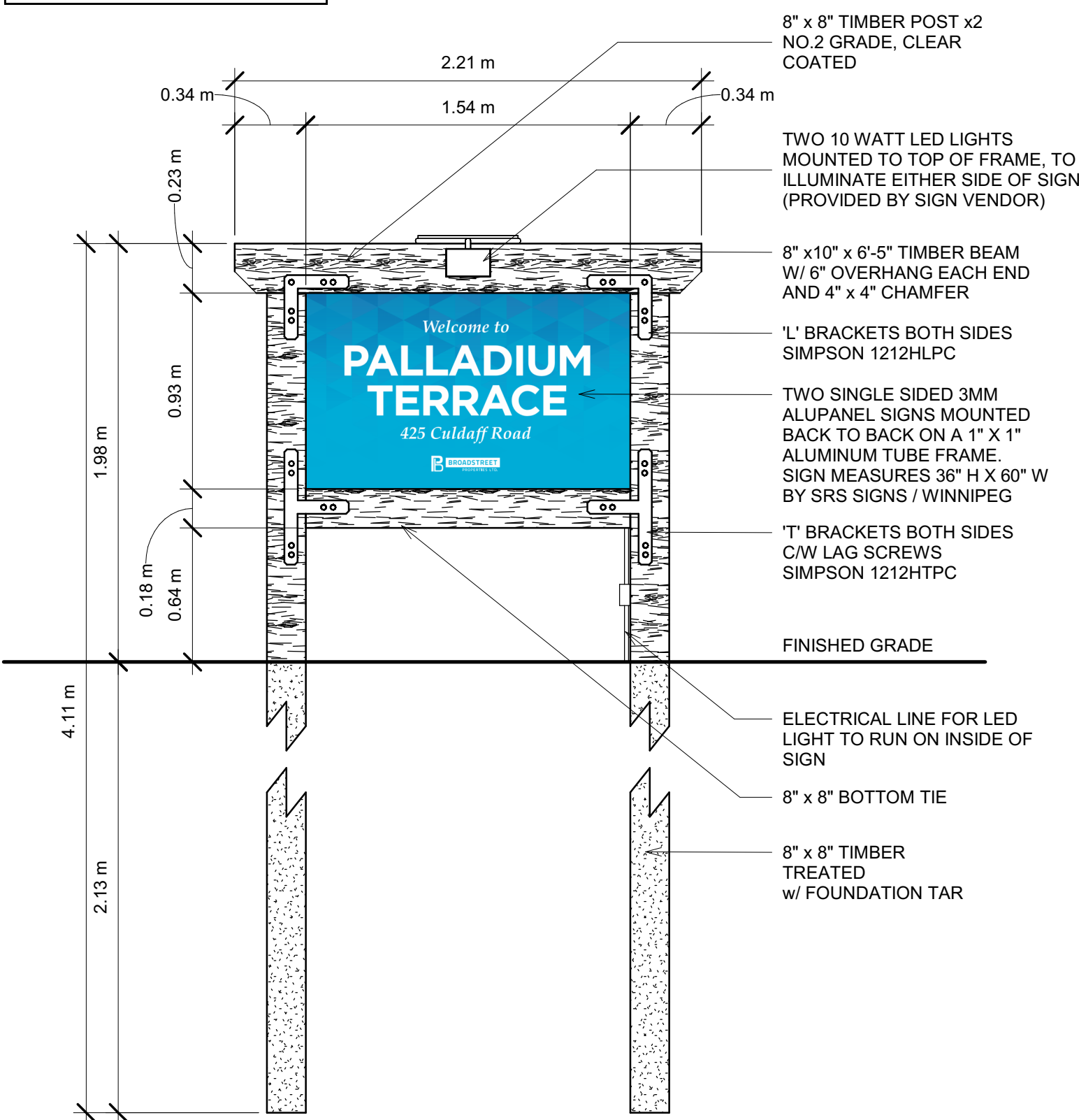
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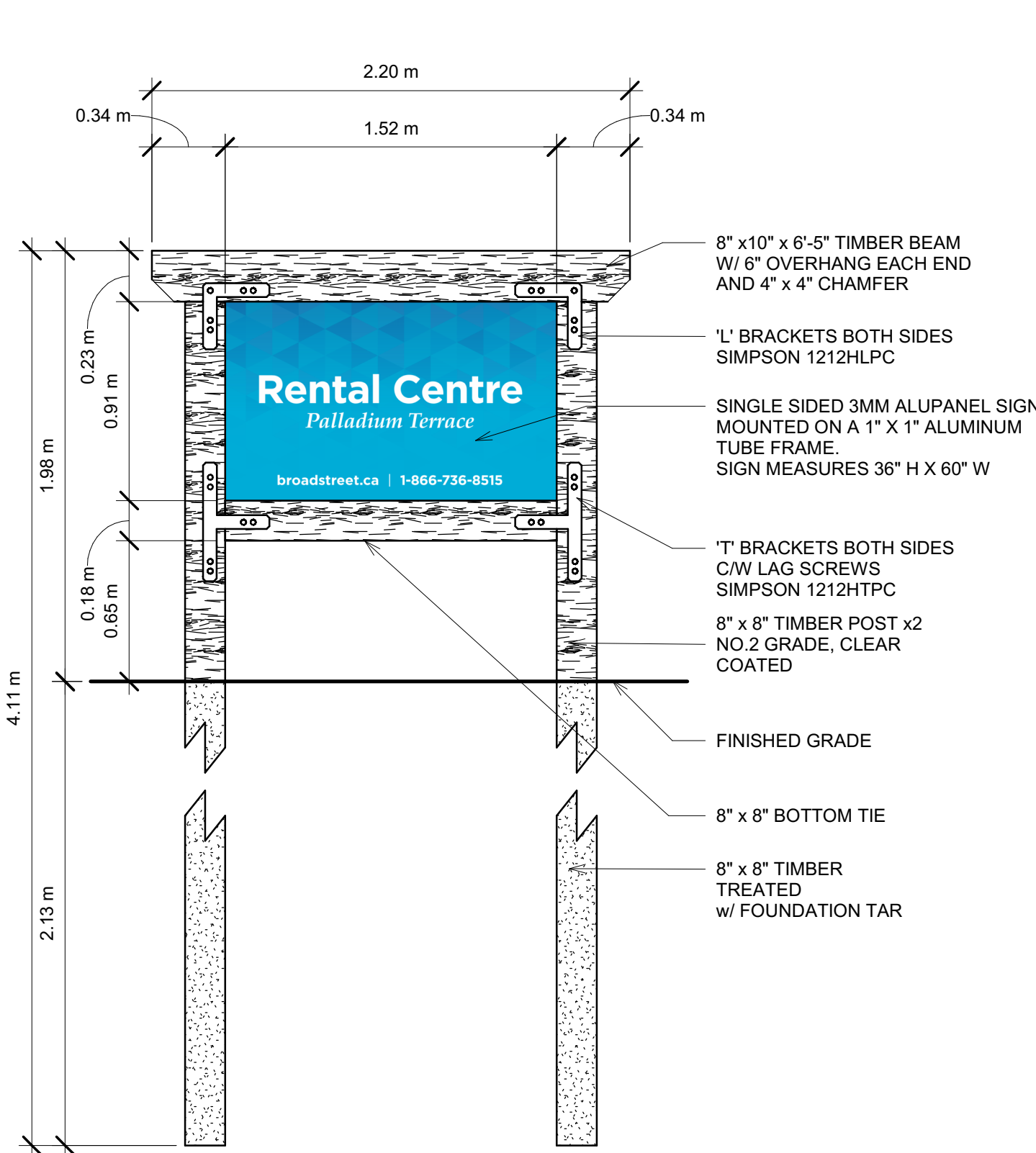
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WITH NATURAL CEDAR SUNFAST

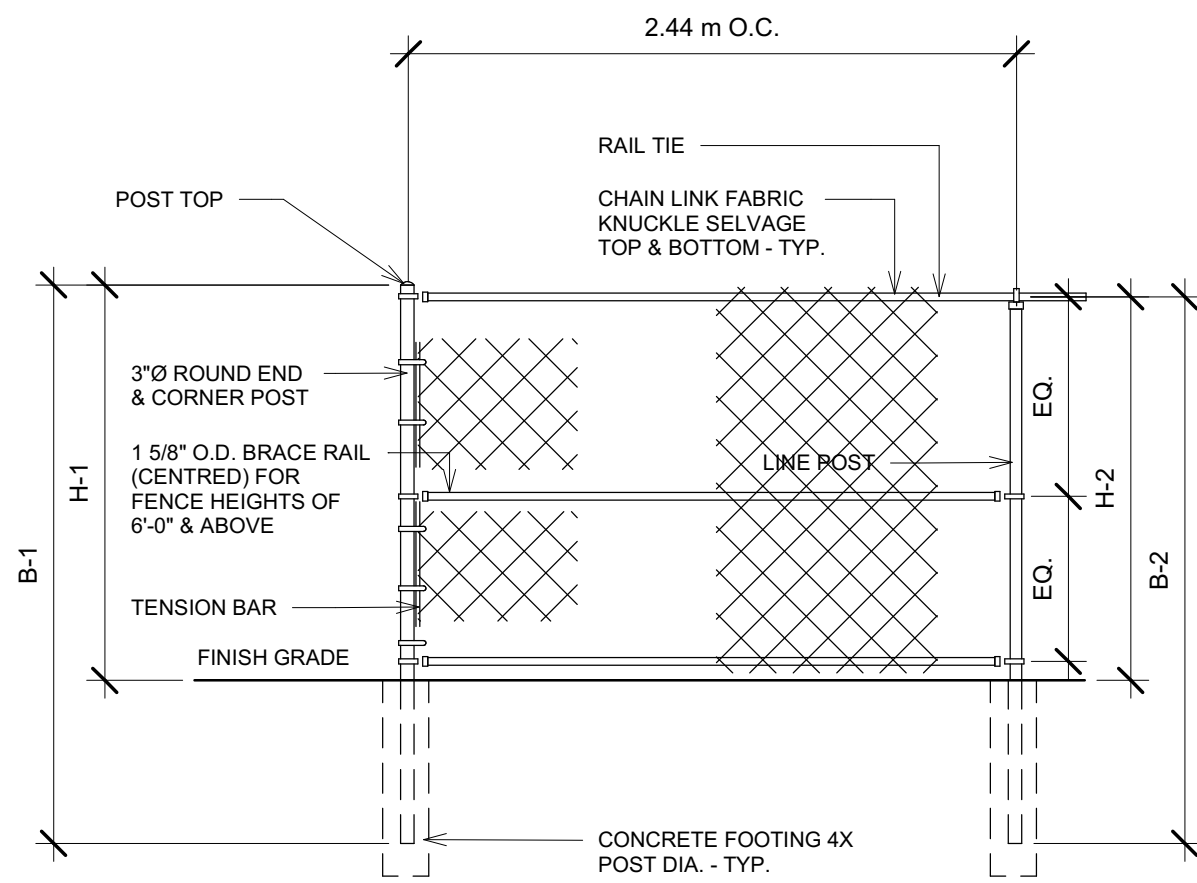


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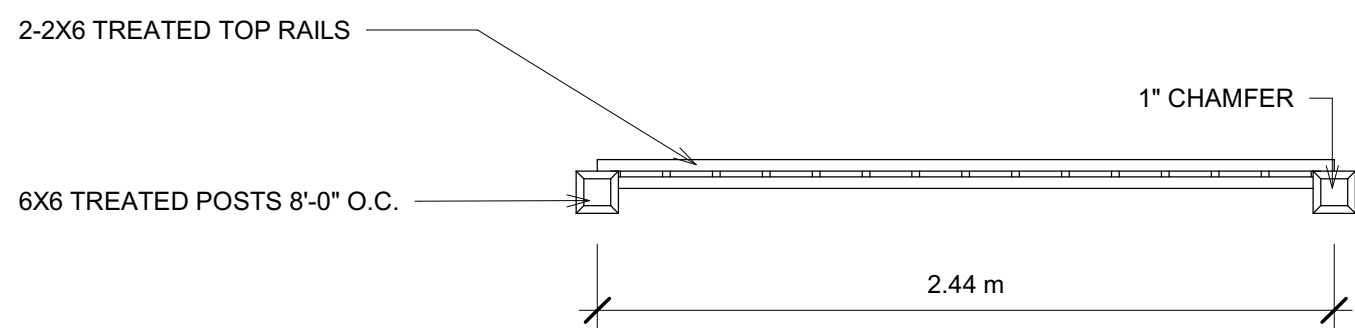
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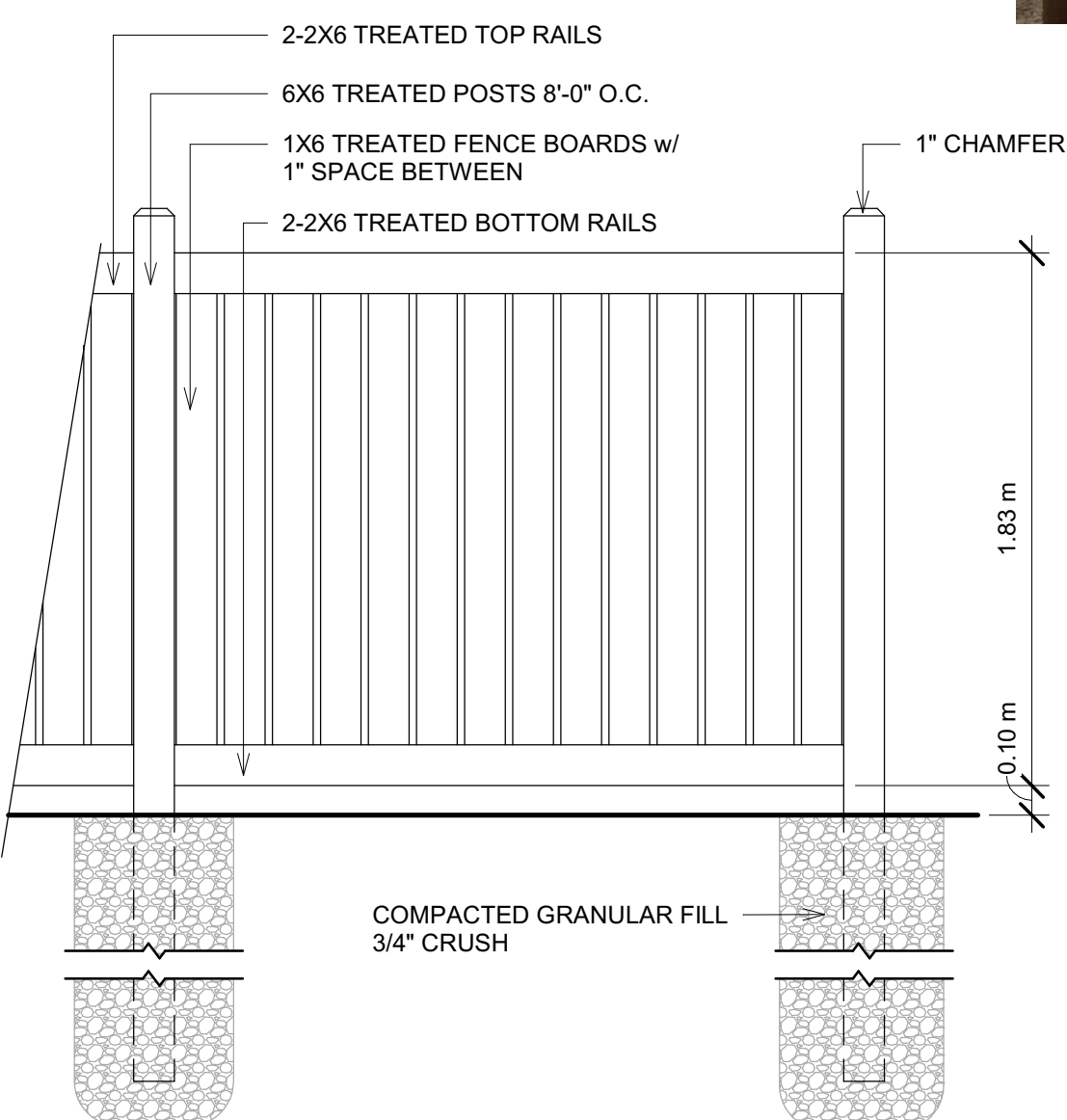
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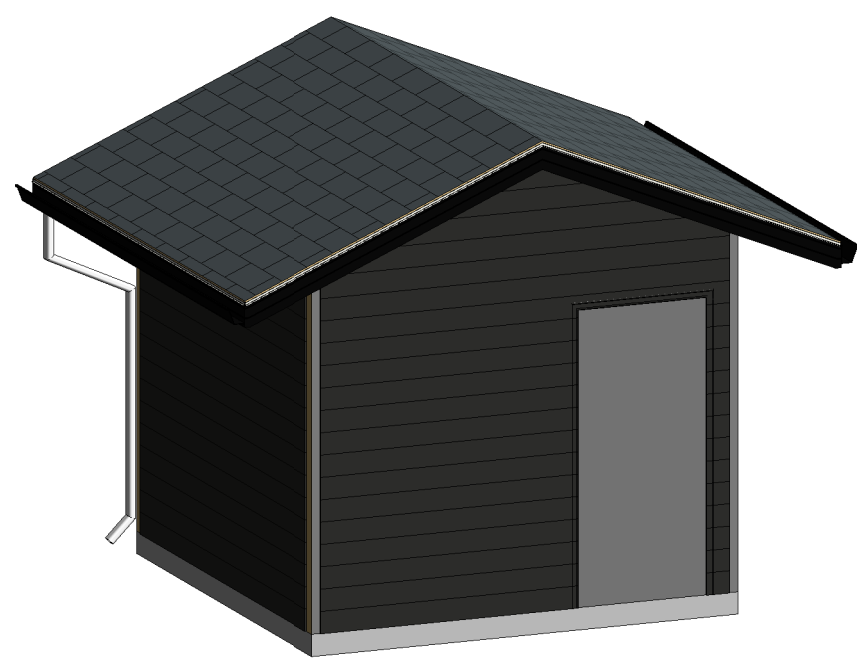
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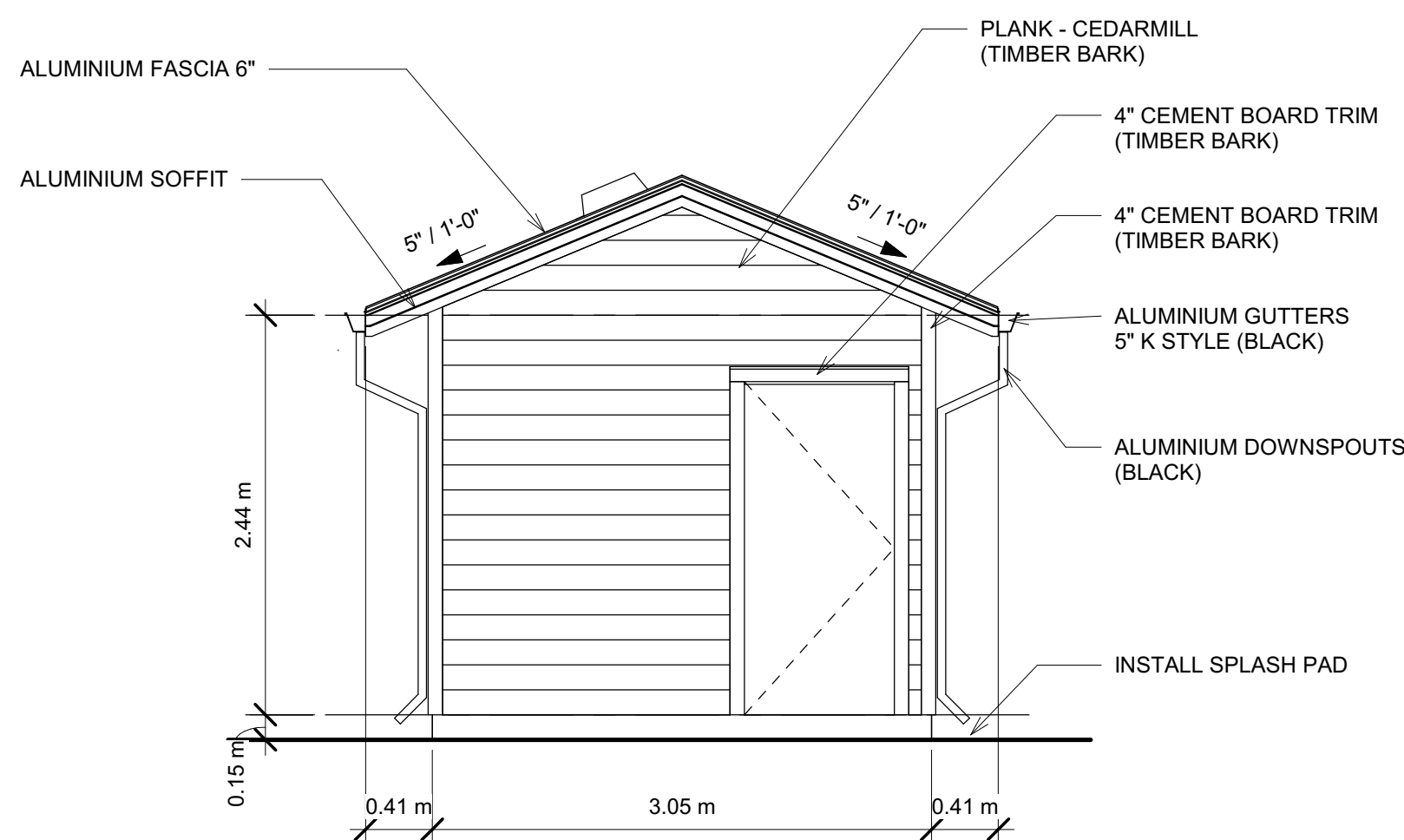
4 SITE FENCE PLAN DETAIL
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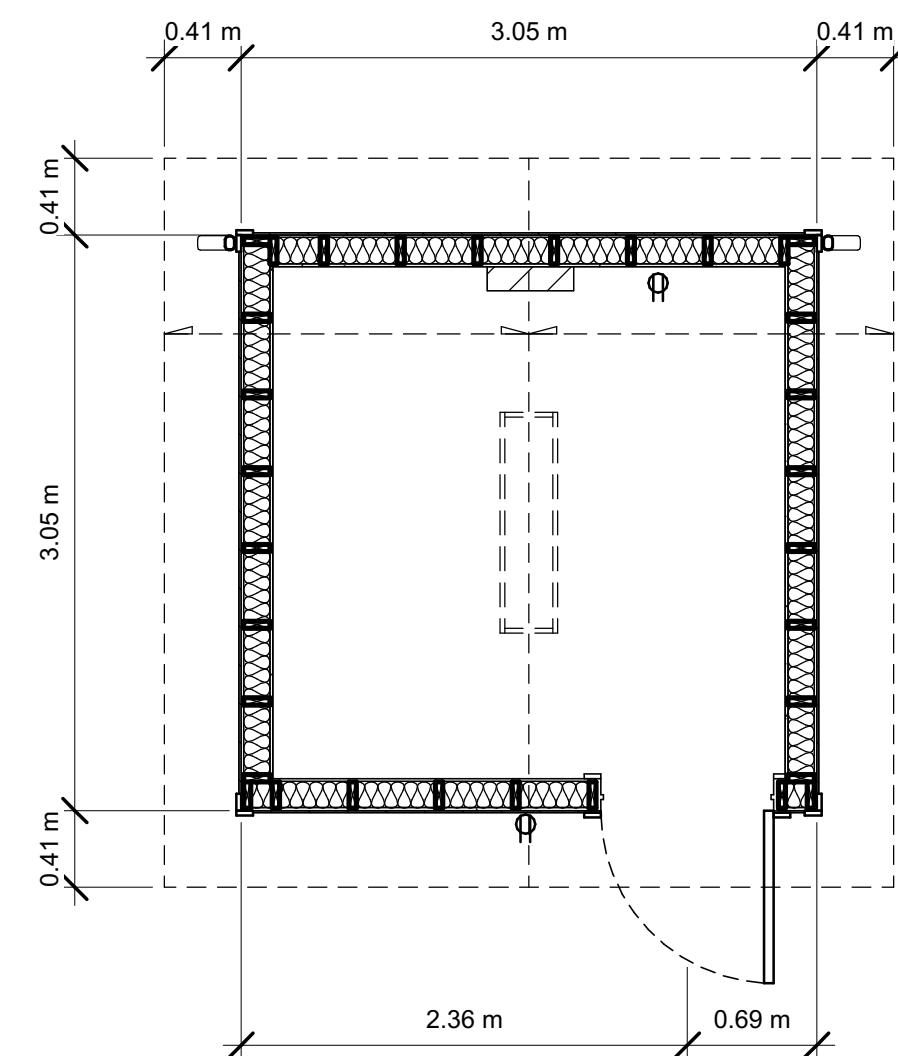
5 SITE FENCE ELEVATION DETAIL
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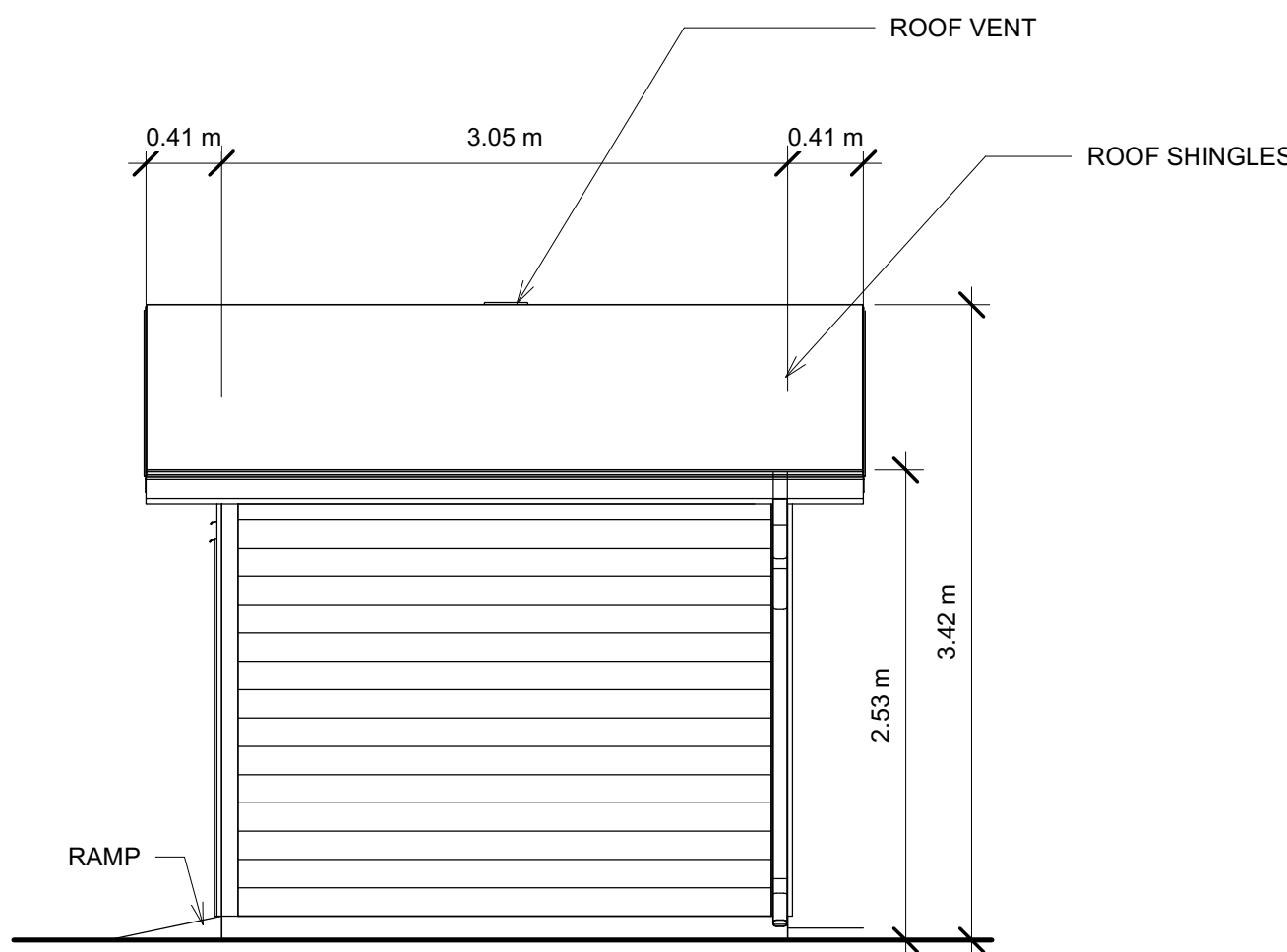
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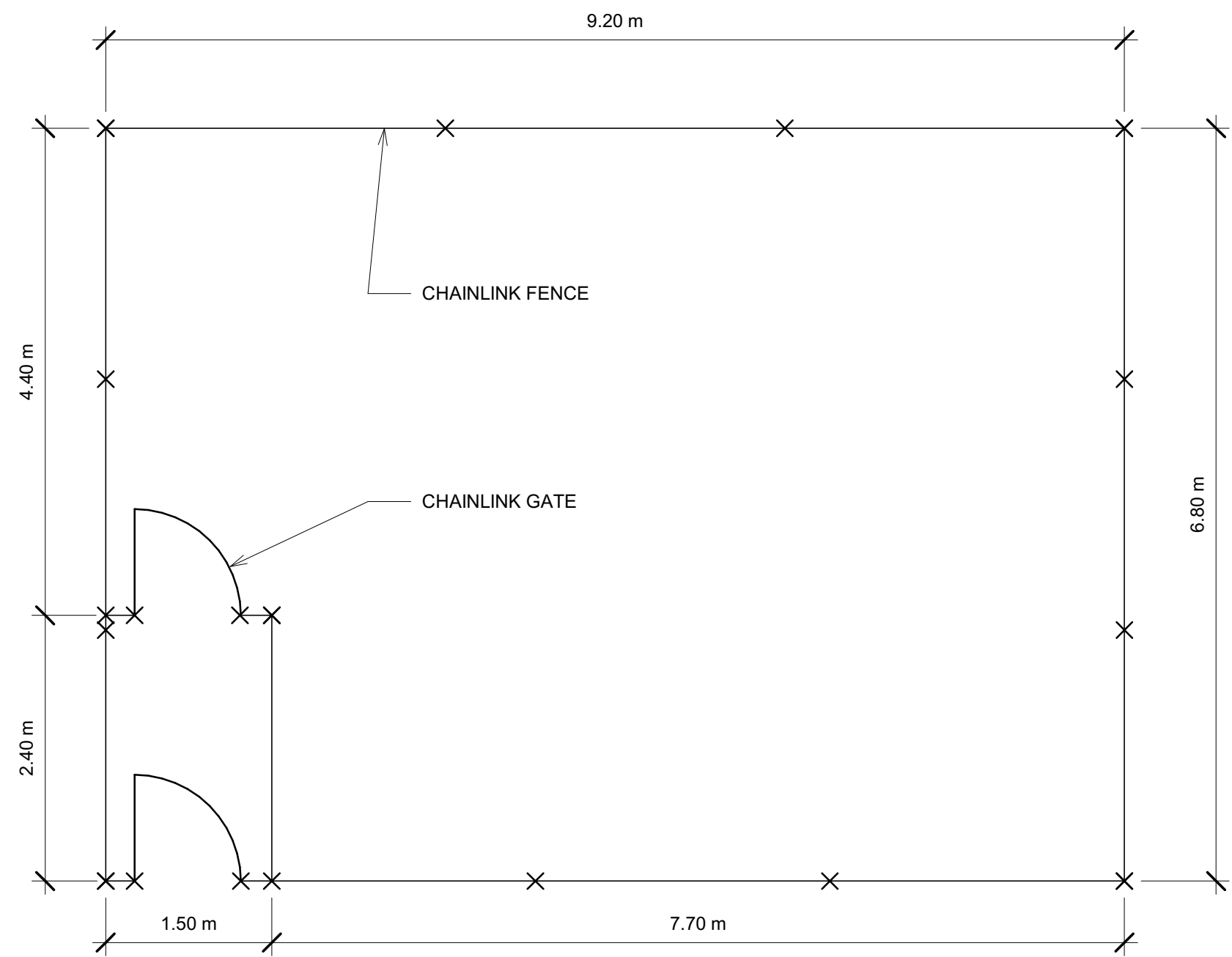
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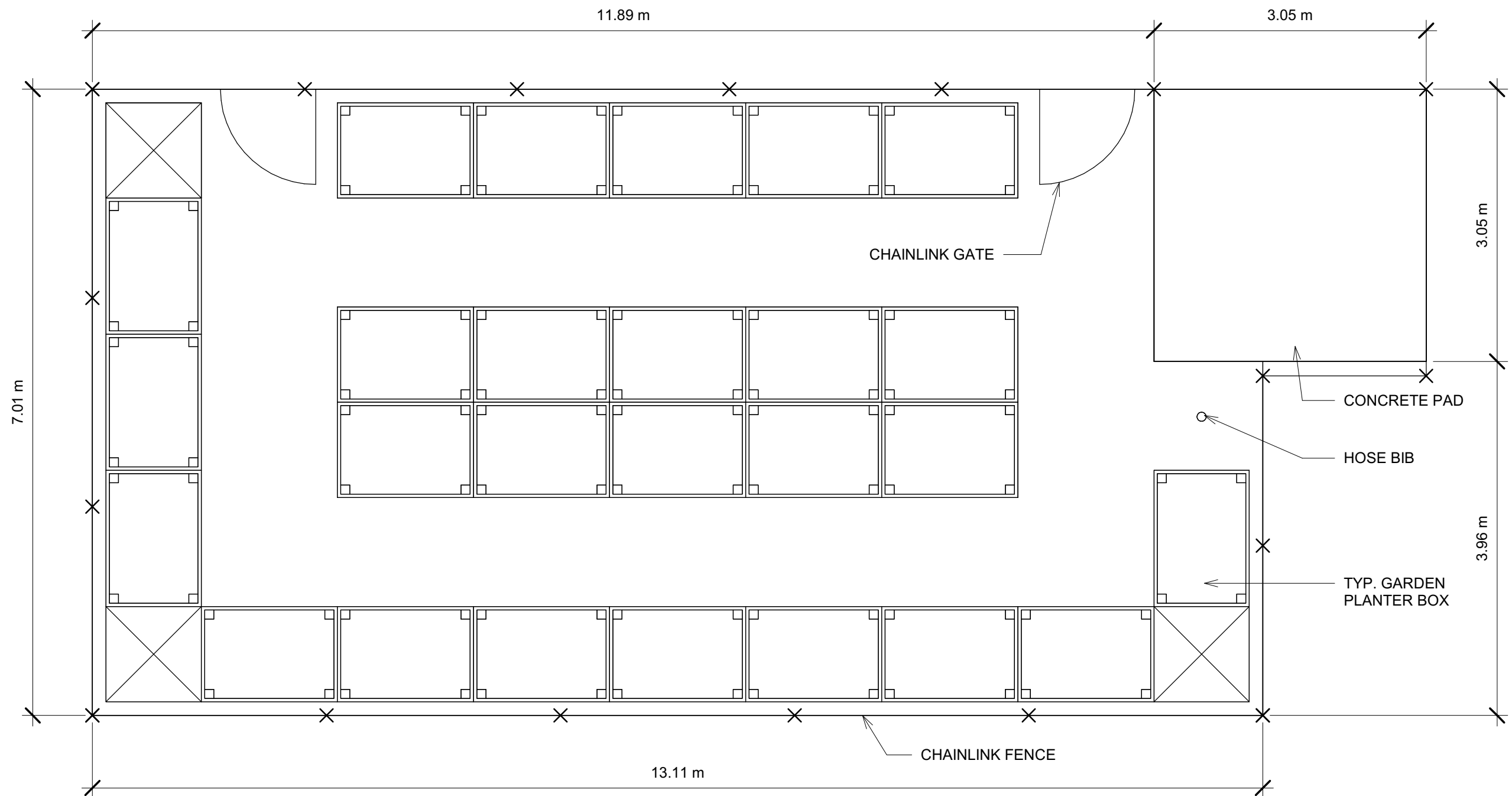
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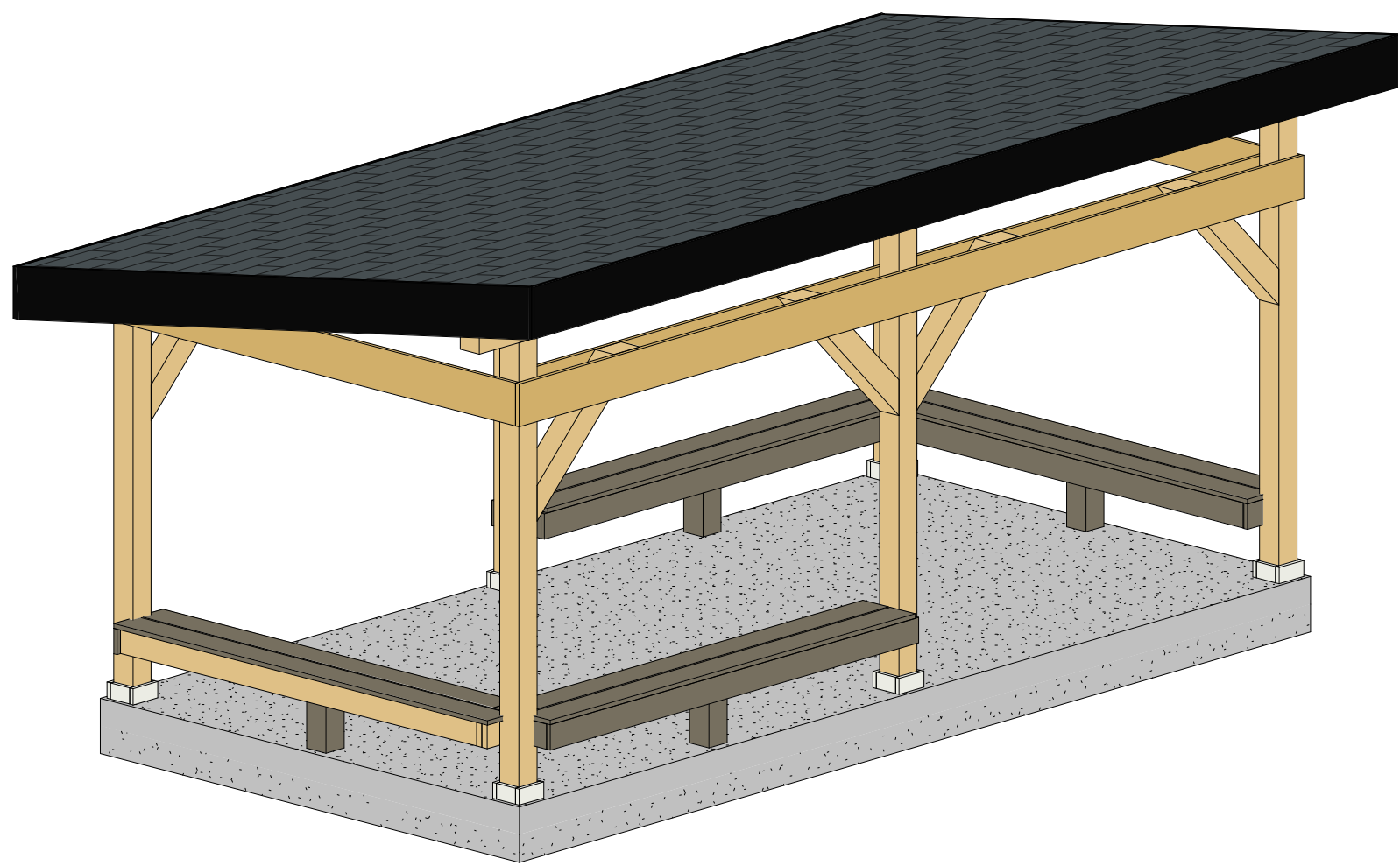
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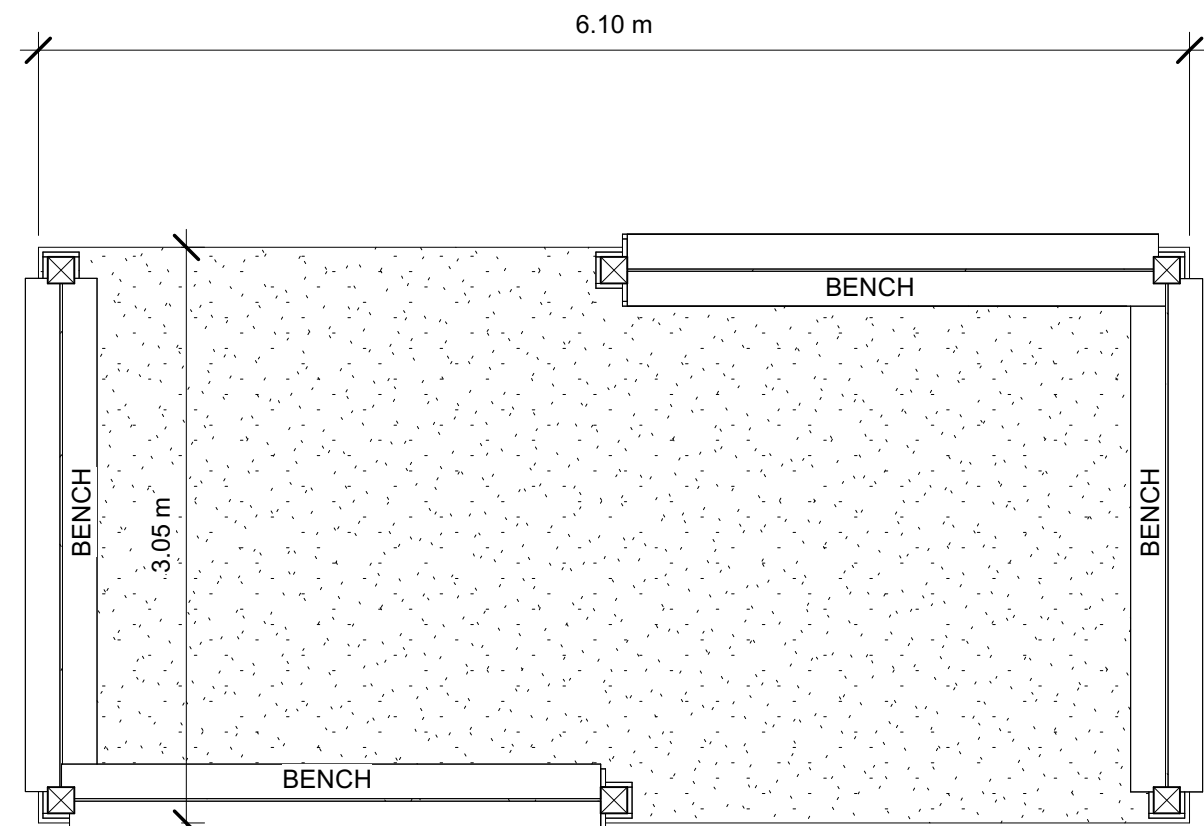
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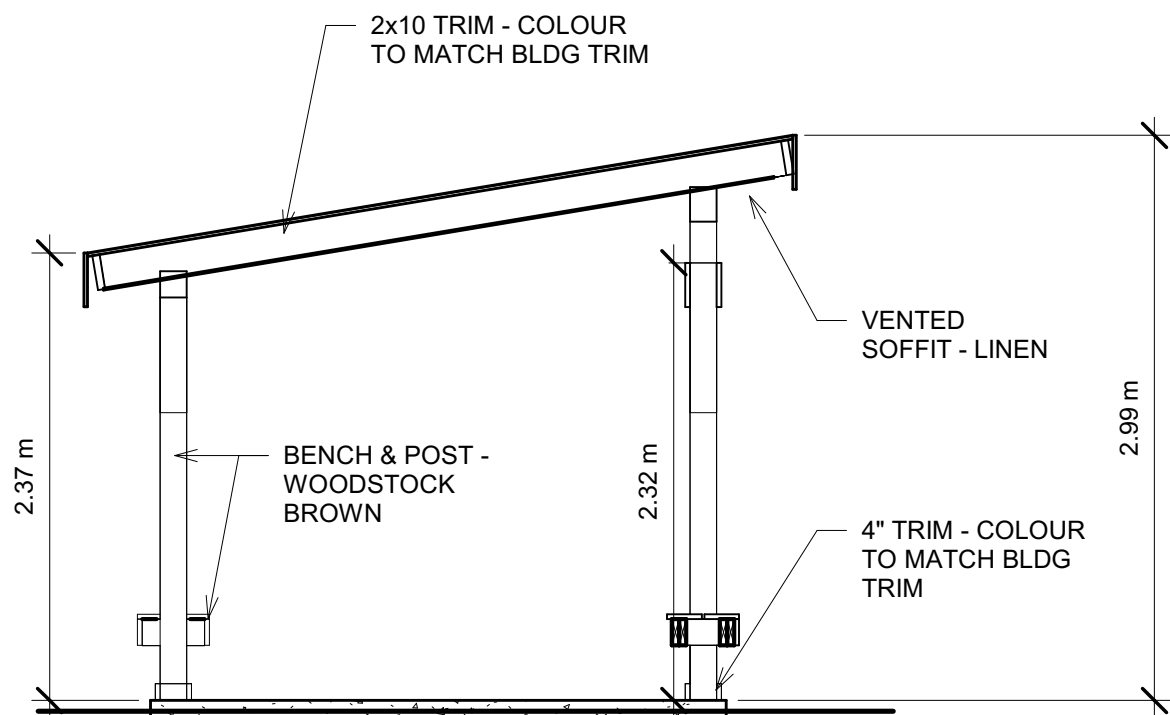
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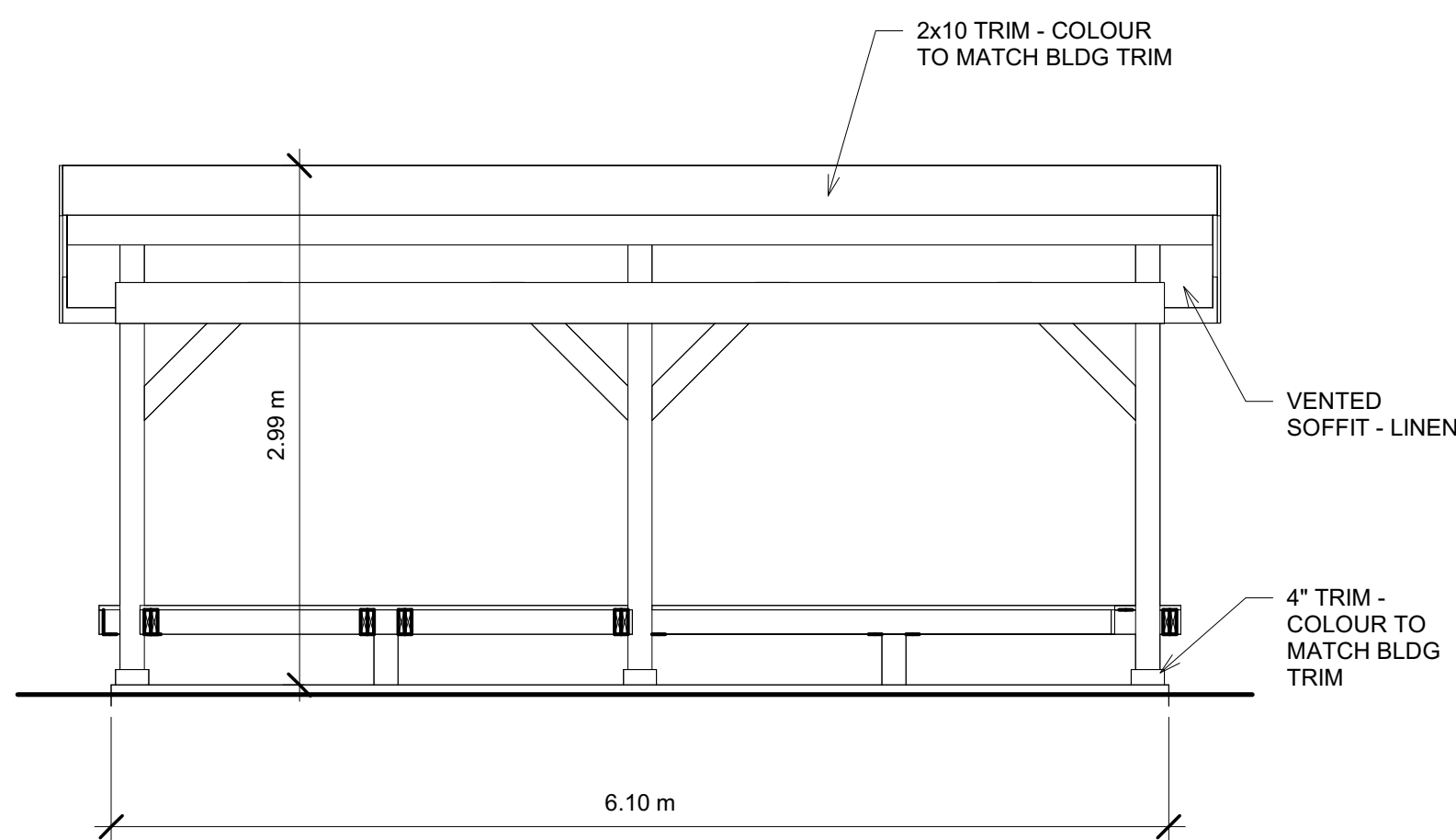
2 PERGOLA - ISO



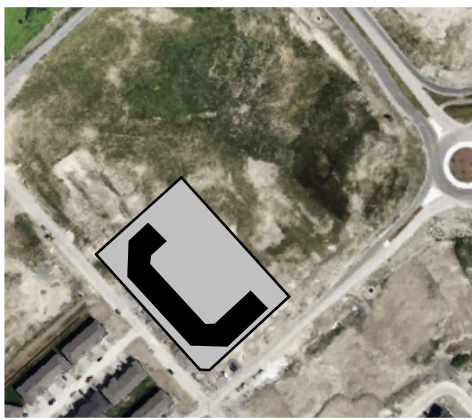
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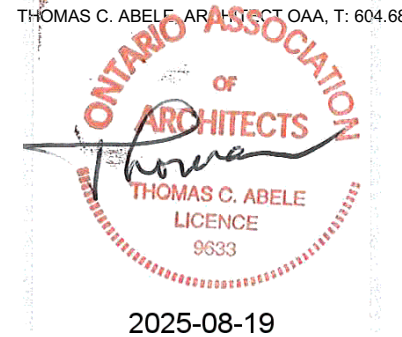
4 END ELEVATION
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5 FRONT ELEVATION
1 : 40



No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

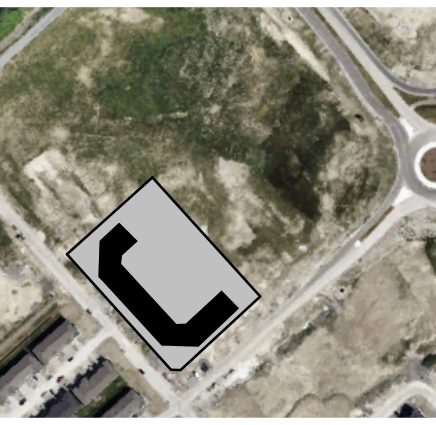
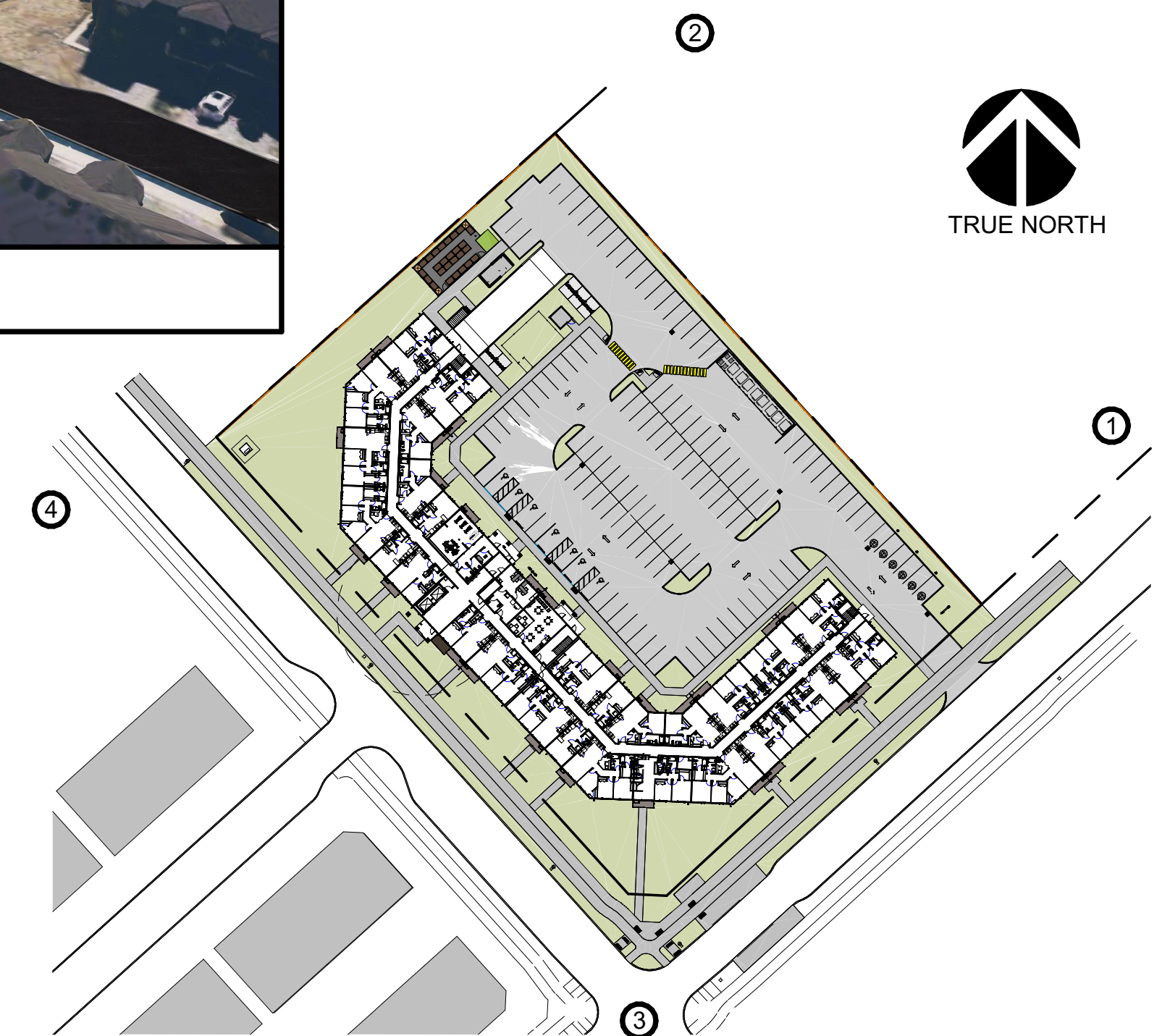


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PROJECT STATUS:

DEVELOPMENT PERMIT

No.	Description	Revision Date
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D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL: **ABE**LEARCHITECTURE
THOMAS C. ABE, ARCHITECT OAA, T: 604.682-6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

SURROUNDING AREA PERSPECTIVE

DRAWN BY: NG

CHECKED BY: TH

DATE:	AUG 14, 2025
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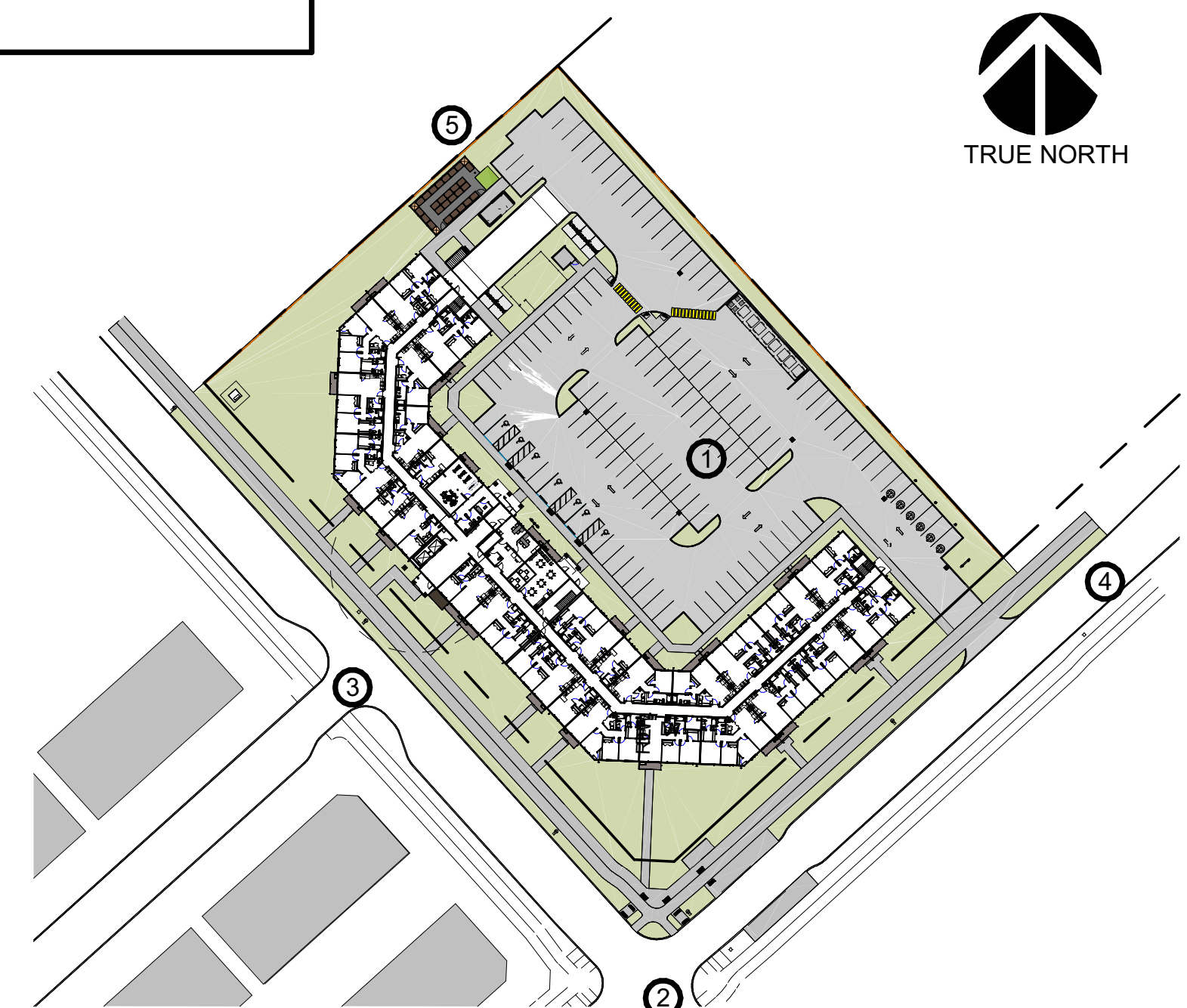
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DRAWING #:

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REV #:

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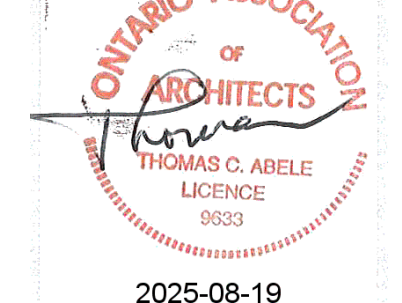




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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

PARKADE FLOOR PLAN

DRAWN BY:	NG
CHECKED BY:	TH
DATE:	AUG 14, 2025
SCALE:	As indicated

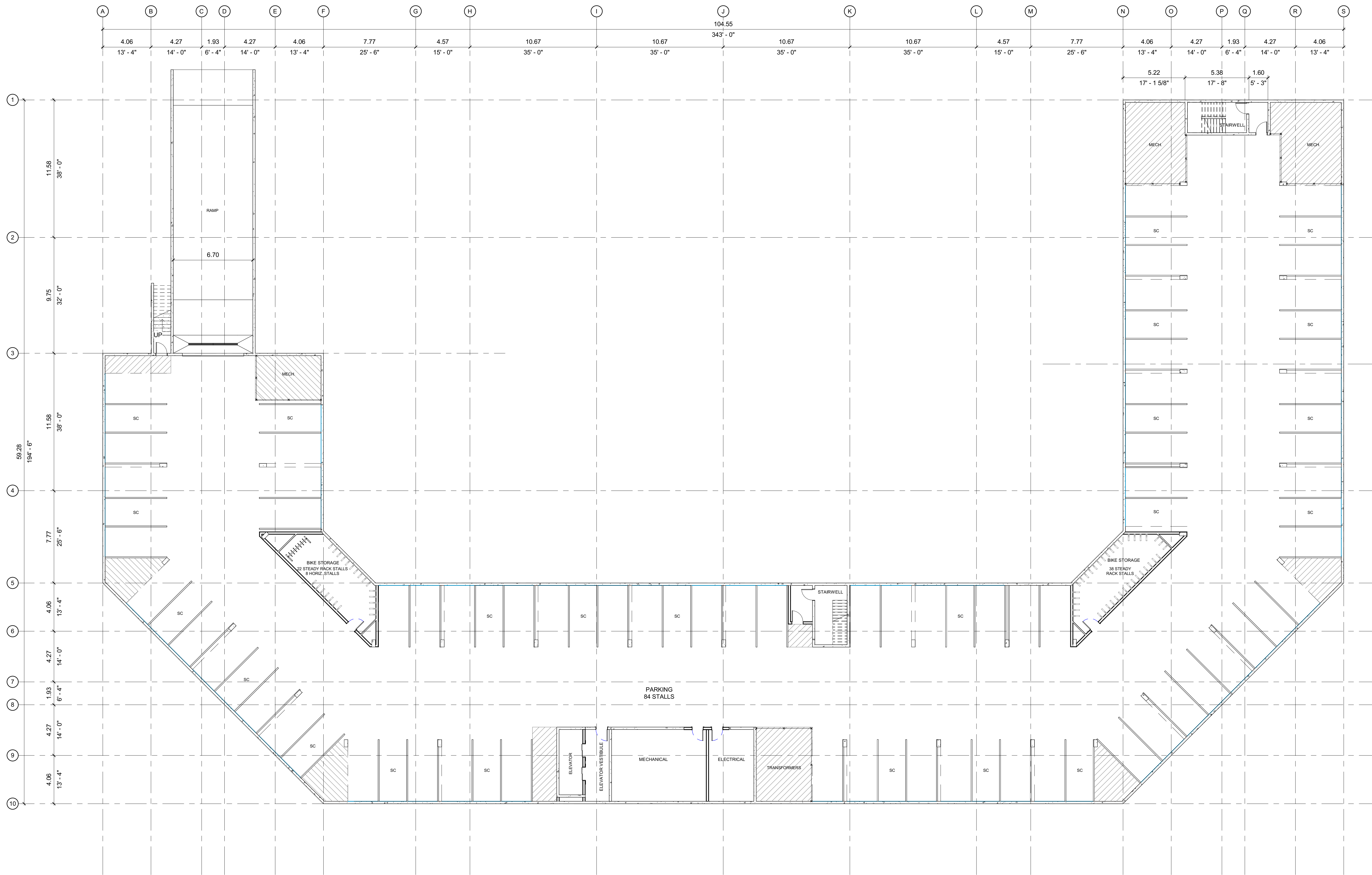
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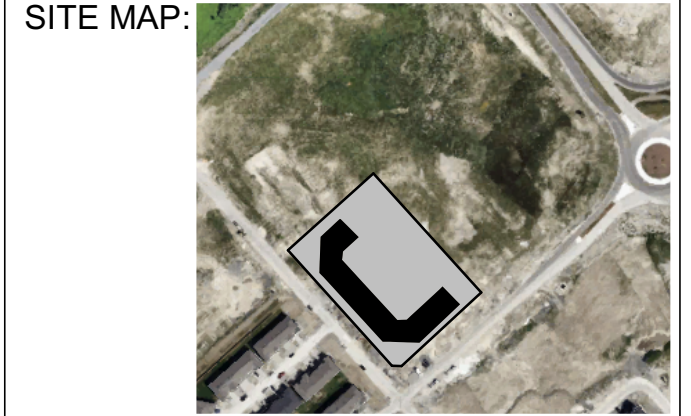
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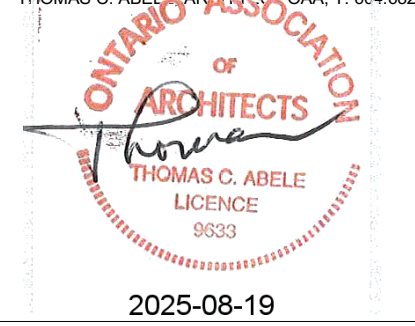
① PARKADE FLOOR PLAN
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PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
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SEAL: **ABELEARCHITECTURE**
THOMAS C. ABEL ARCHITECT ASSOCIATES
T: 604-882-8818



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PROJECT NAME:
PALLADIUM TERRACE

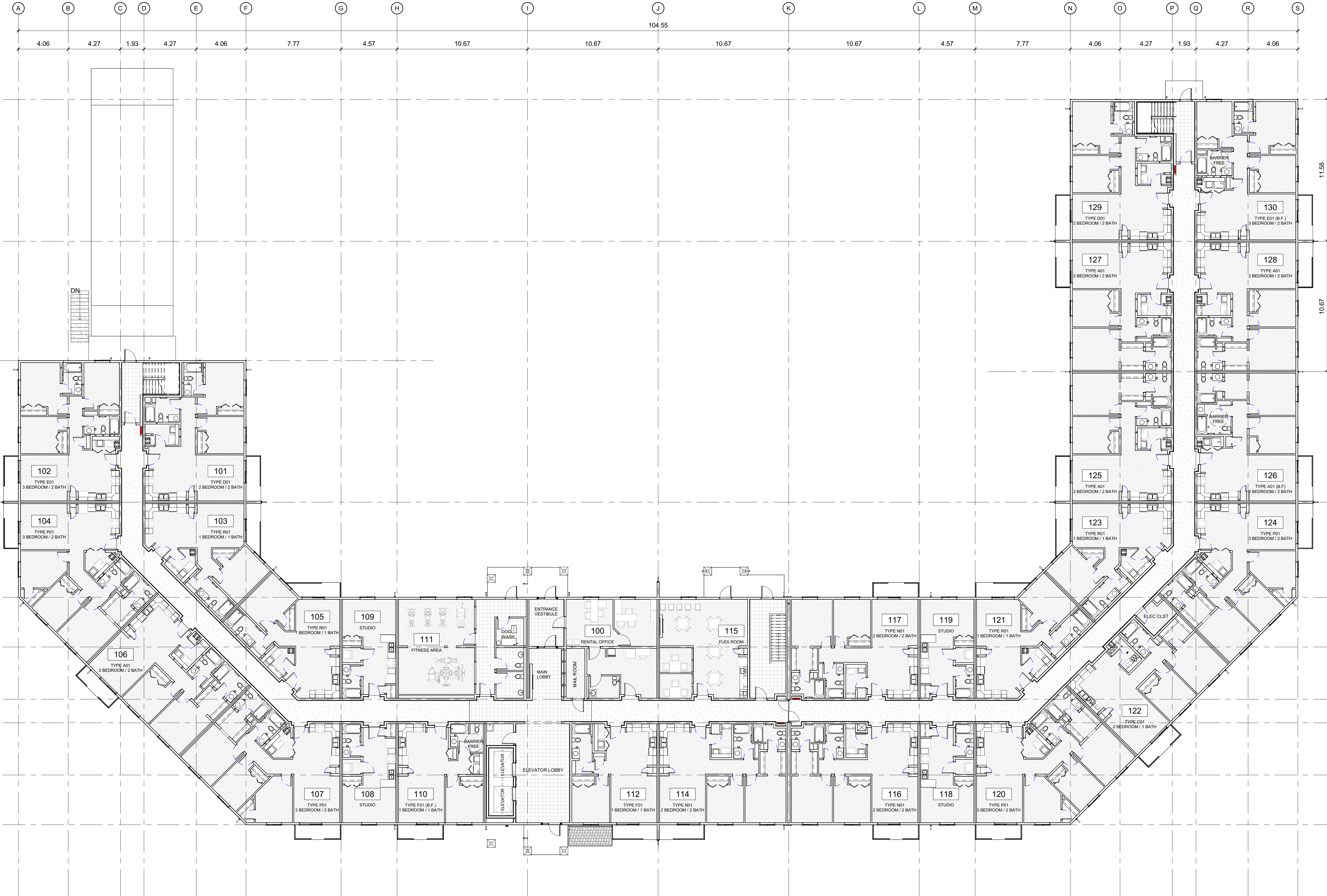
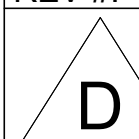
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
FIRST FLOOR PLAN

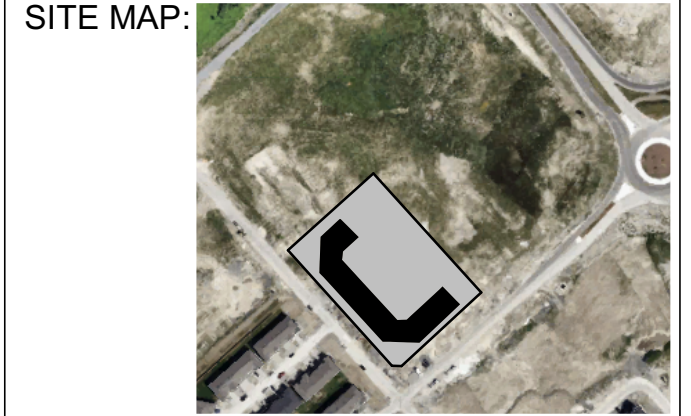
DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: **A2.01**
REV #:



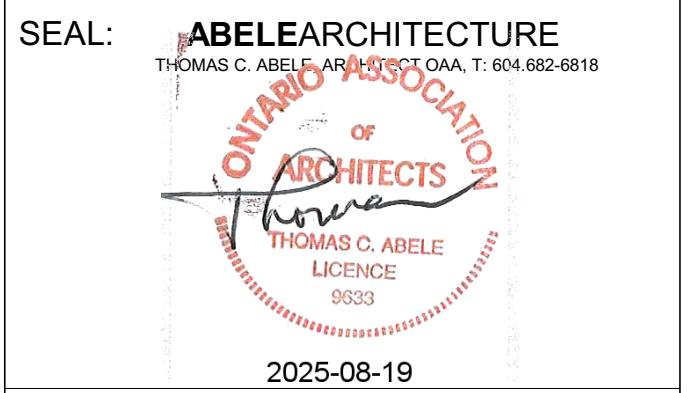
1 FIRST FLOOR PLAN
1 : 150

TOTAL FLOOR AREA = 2737.68 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1384.84 m²
RIGHT SIDE FLOOR AREA = 1384.84 m²



PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025



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PROJECT NAME:
PALLADIUM TERRACE

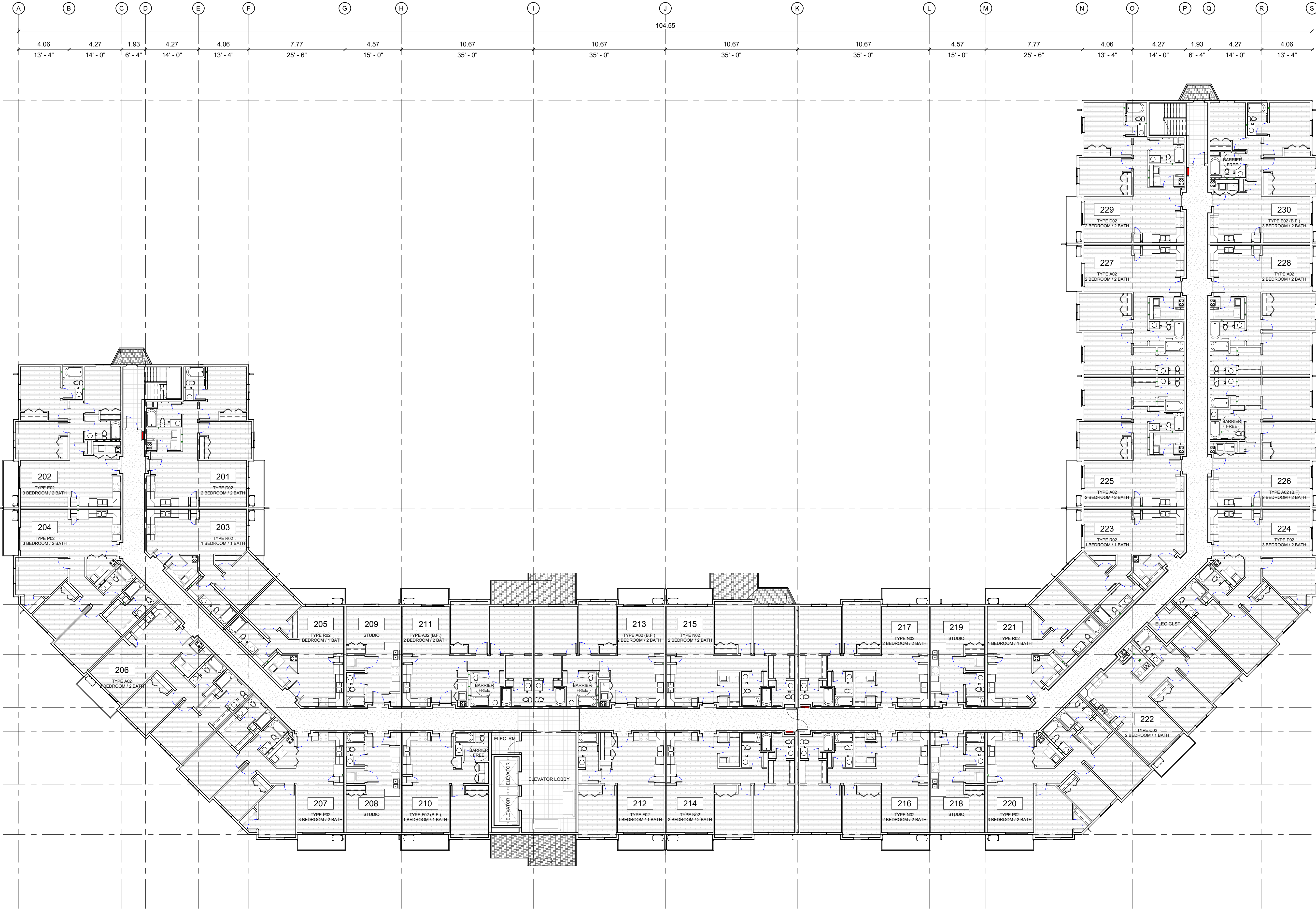
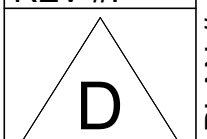
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SECOND FLOOR PLAN

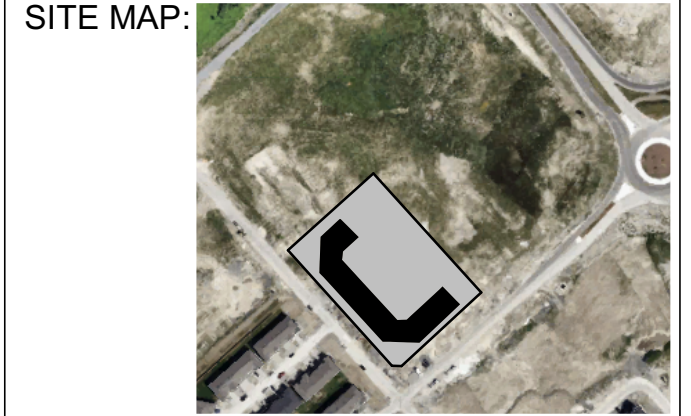
DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: **A2.02**
REV #:



① SECOND FLOOR PLAN
1 : 150

TOTAL FLOOR AREA = 2774.61 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²



PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL: **ABELEARCHITECTURE**
THOMAS C. ABEL ARCHITECT ASSOCIATES
ARCHITECTS
THOMAS C. ABEL
LICENCE
9553
2025-08-19

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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

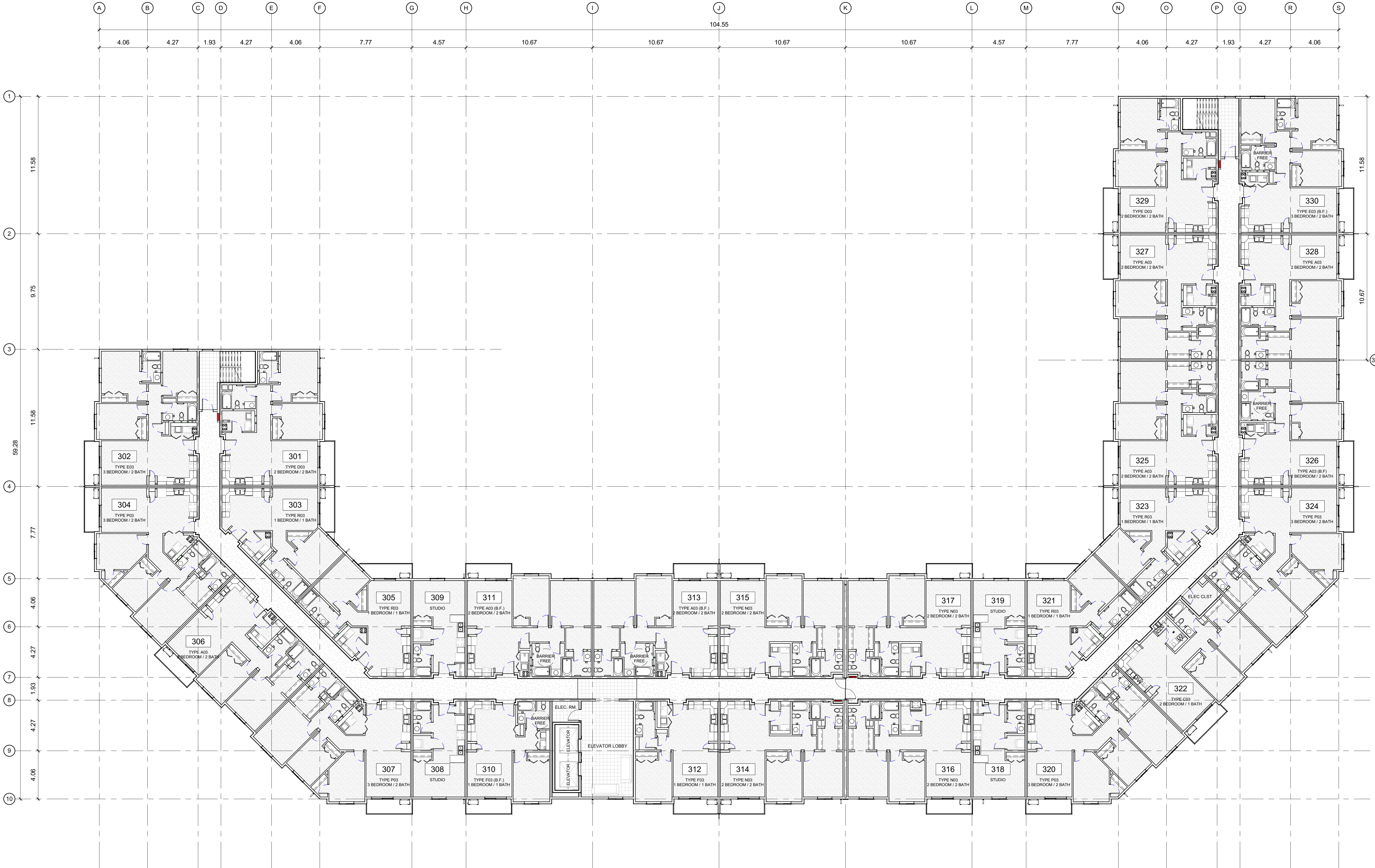
ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
THIRD FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #:
A2.03

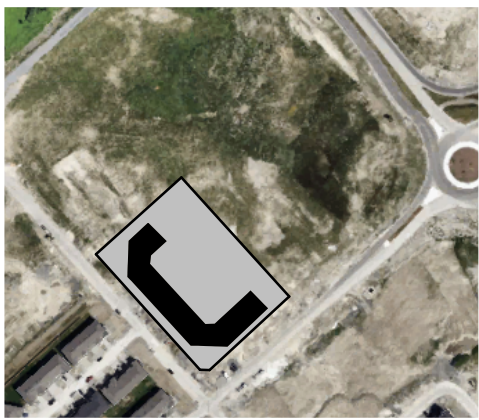
REV #:
D



1 THIRD FLOOR PLAN
1: 150

TOTAL FLOOR AREA = 2774.61 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²

SITE MAP:



PROJECT STATUS:

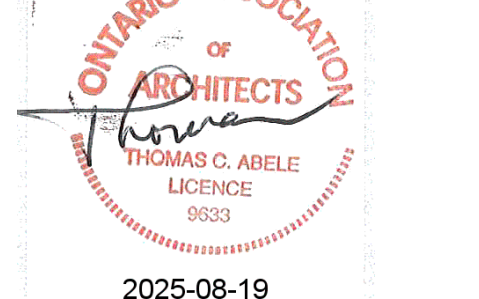
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL:

ABELEARCHITECTURE
THOMAS C. ABELE ARCHITECT ASSOCIATION
T: 604-682-8818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

FOURTH FLOOR PLAN

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

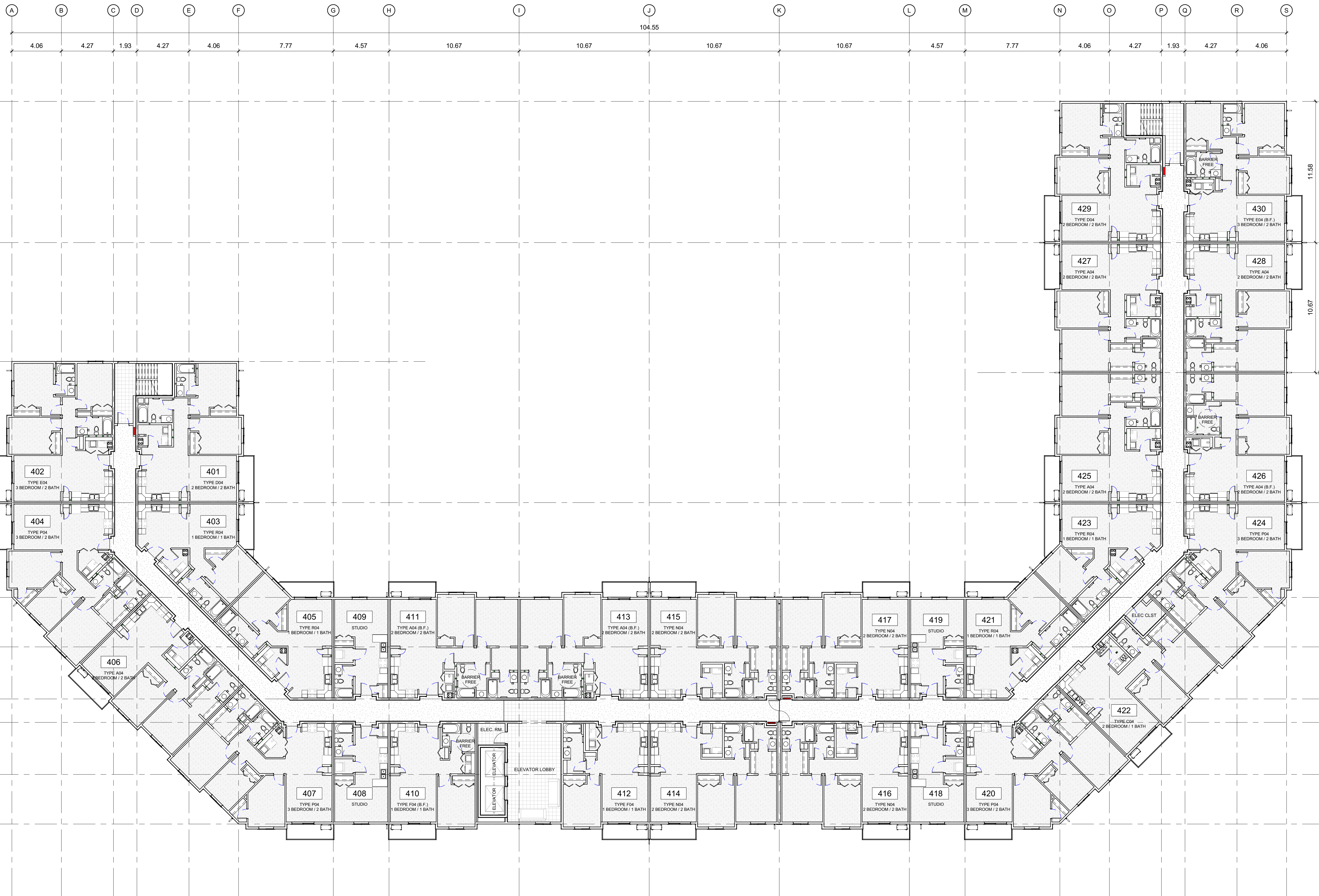
SCALE: As indicated

DRAWING #:

A2.04

REV #:

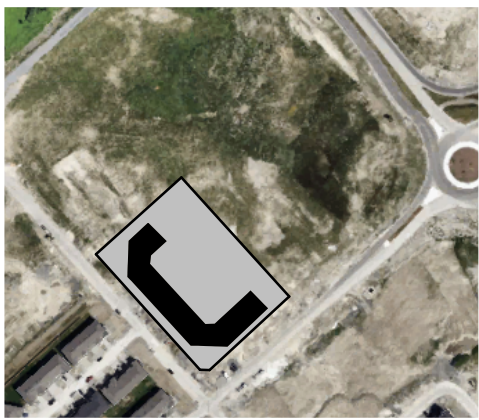
D



① FOURTH FLOOR PLAN
1 : 150

TOTAL FLOOR AREA = 2774.61 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²

SITE MAP:



PROJECT STATUS:

DEVELOPMENT PERMIT

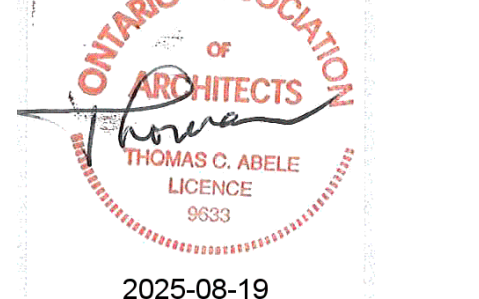
Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL:

ABELEARCHITECTURE

THOMAS C. ABELE ARCHITECT ASSOCIATION, T: 604-682-8818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

FIFTH FLOOR PLAN

DRAWN BY:

NG

CHECKED BY:

TH

DATE:

AUG 14, 2025

SCALE:

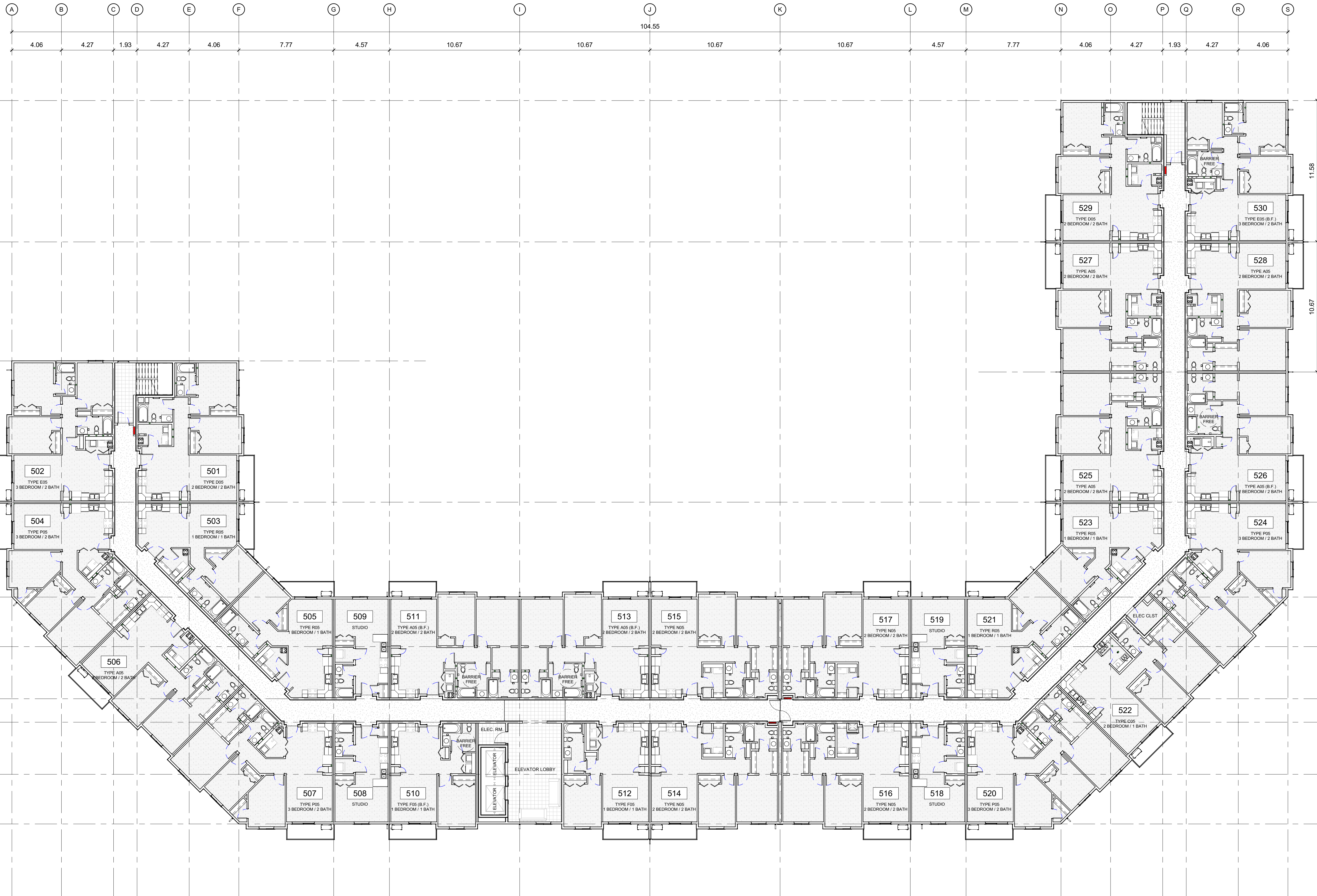
As indicated

DRAWING #:

REV #:

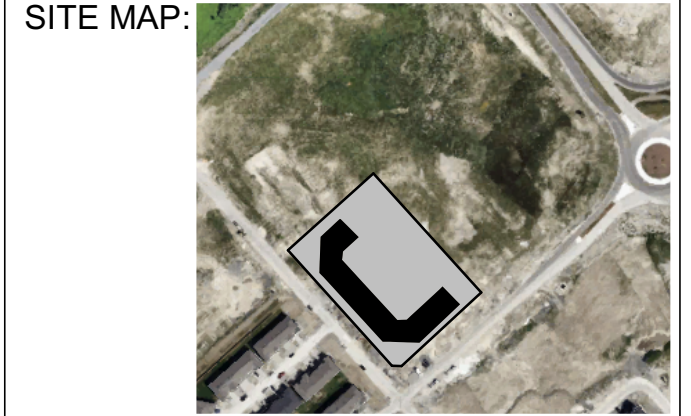
A2.05

D



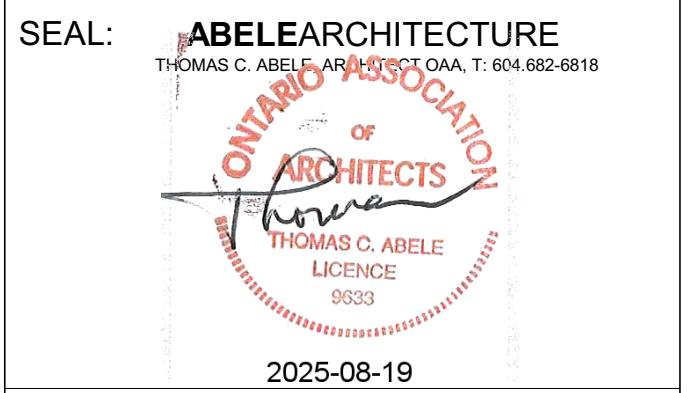
1 FIFTH FLOOR PLAN
1 : 150

TOTAL FLOOR AREA = 2774.61 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²



PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025



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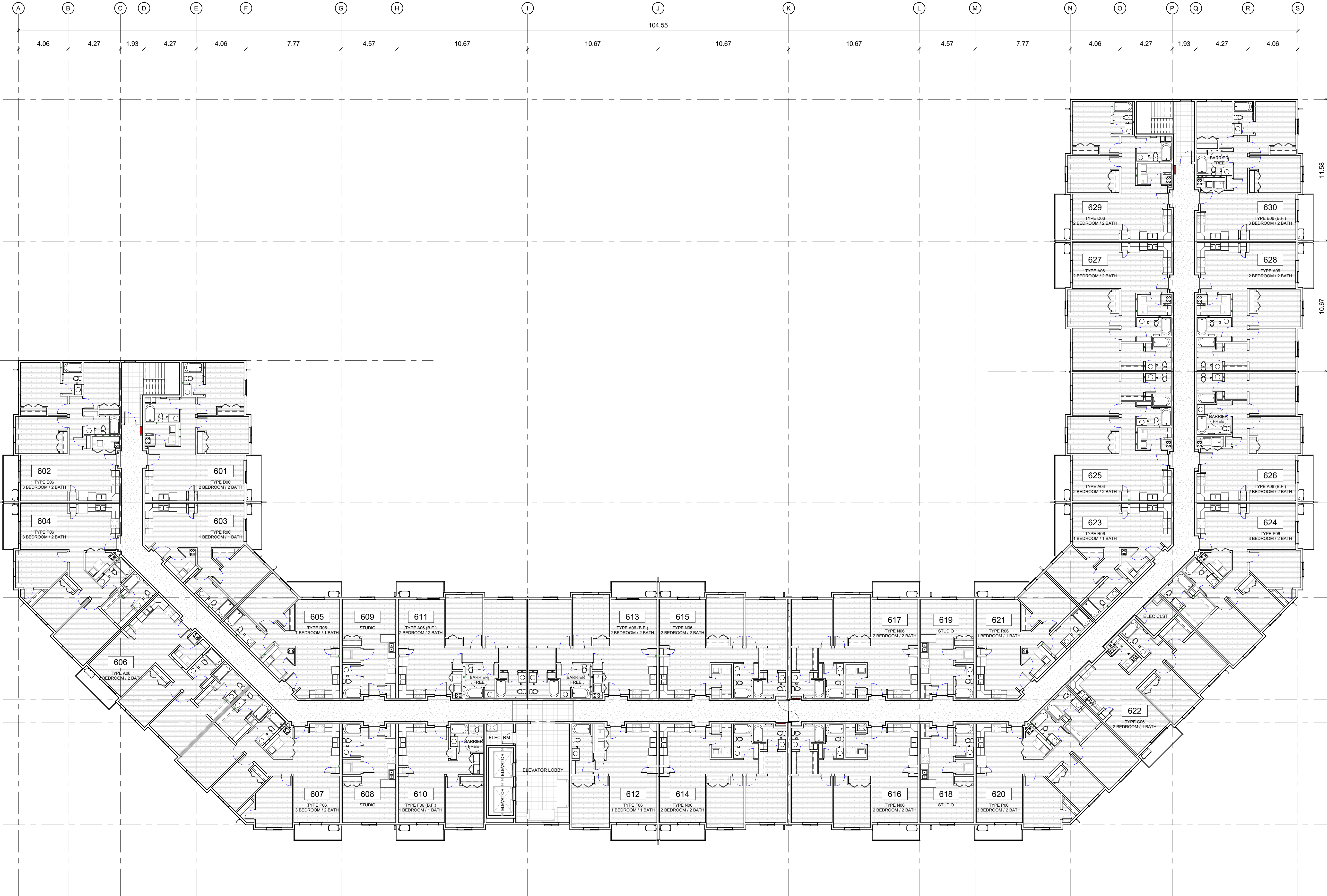
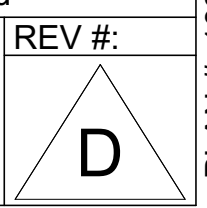
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SIXTH FLOOR PLAN

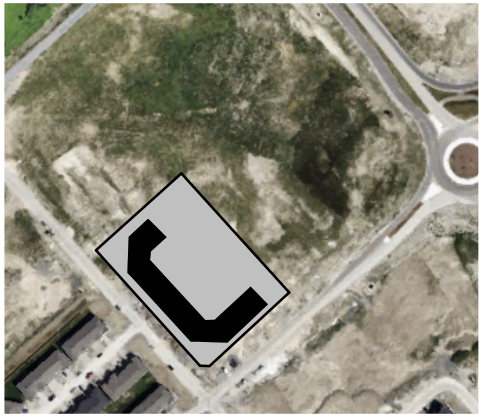
DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #:



① SIXTH FLOOR PLAN
1 : 150

TOTAL FLOOR AREA = 2774.61 m²
FIREWALL FLOOR AREA BREAKDOWN
LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²

SITE MAP:



PROJECT STATUS:

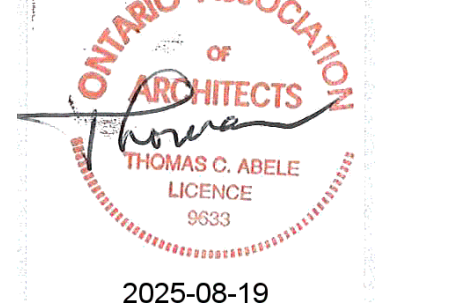
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL:

ABELEARCHITECTURE
THOMAS G. ABELE ARCHITECT ASSOCIATES
T: 604-682-6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

ROOF PLAN

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

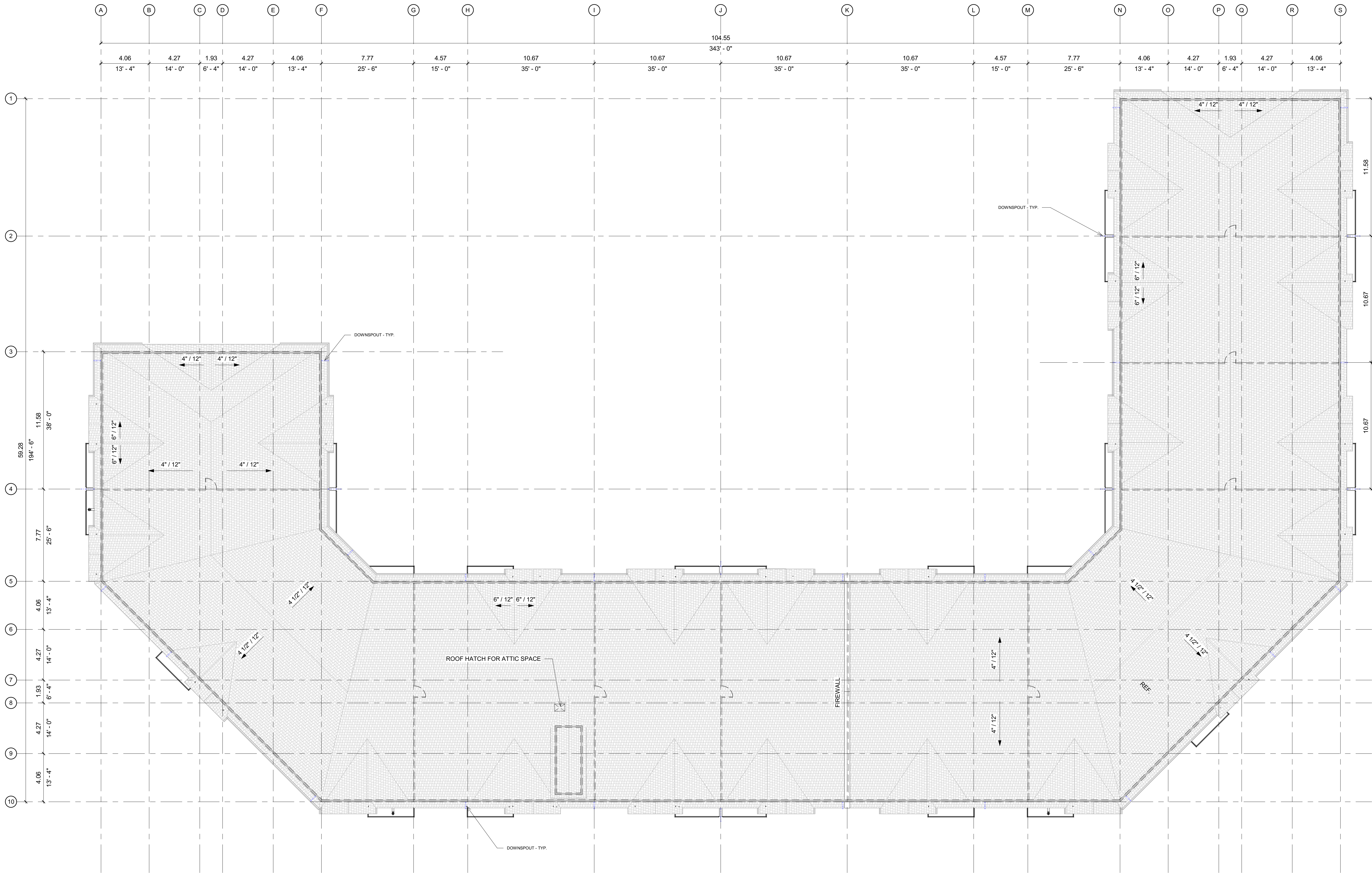
SCALE: As indicated

DRAWING #:

A2.07

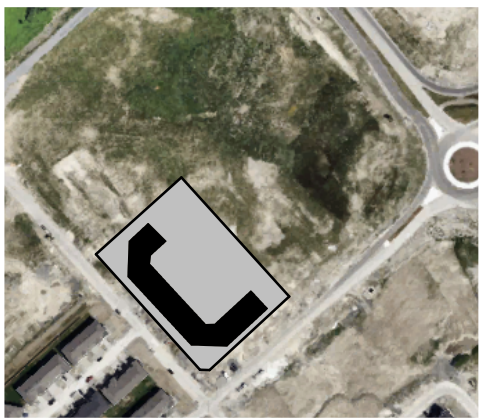
REV #:

D



1 ROOF PLAN
1 : 150

SITE MAP:



PROJECT STATUS:

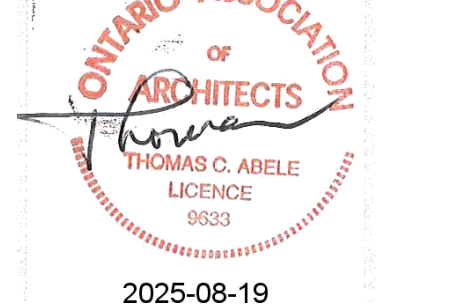
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL: ABELARCHITECTURE

THOMAS G. ABLE ARCHITECT



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

ELEVATION - COLOUR

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

SCALE: As indicated

DRAWING #:

A3.00

REV #:

D



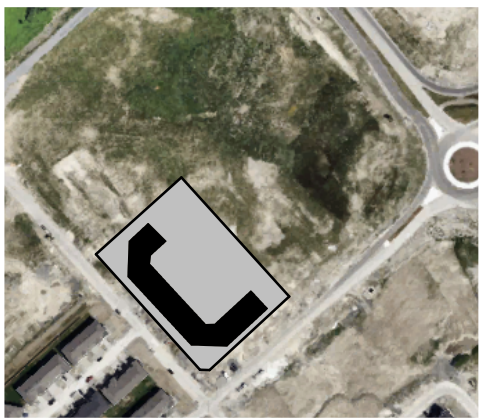
1 EAST
1 : 150



2 NORTH
1 : 150

1	PLANK - CEDARMILL (IRON GREY)	8	EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED
2	PLANK - CEDARMILL (TIMBER BARK)	9	CULTURED STONE - TBC
3	PANEL - SMOOTH (NAVAJO BEIGE)	10	LED WALL SCONCE
4	TRIM - SMOOTH (ARTIC WHITE)	11	WINDOW - SLIDER - WHITE
5	TIMBER - STAIN TBD	12	WINDOW - FIXED - WHITE
6	ALUMINUM RAILING - WELDED SYSTEM - BLACK	13	PATIO DOOR - SLIDER - WHITE
7	3 PANEL CLASSIC SOFFIT - WHITE	14	ENTRY DOOR - SWING - ALUMINUM

SITE MAP:



PROJECT STATUS:

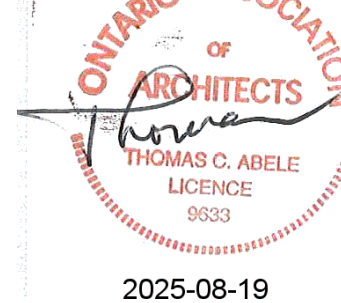
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
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SEAL:

ABELEARCHITECTURE
THOMAS G. ABELE ARCHITECT ASSOCIATES, T: 604-682-6818



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PROJECT NAME:

PALLADIUM TERRACE

PROJECT NUMBER:

VP 2402

ADDRESS:

425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:

ELEVATION - COLOUR

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

SCALE: As indicated

DRAWING #:

A3.01

REV #:

D



① WEST
1 : 150



② SOUTH
1 : 150

	1 PLANK - CEDARMILL (IRON GREY)		8 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED
	2 PLANK - CEDARMILL (TIMBER BARK)		9 CULTURED STONE - TBC
	3 PANEL - SMOOTH (NAVAJO BEIGE)		10 LED WALL SCONCE
	4 TRIM - SMOOTH (ARTIC WHITE)		11 WINDOW - SLIDER - WHITE
	5 TIMBER - STAIN TBD		12 WINDOW - FIXED - WHITE
	6 ALUMINUM RAILING - WELDED SYSTEM - BLACK		13 PATIO DOOR - SLIDER - WHITE
	7 3 PANEL CLASSIC SOFFIT - WHITE		14 ENTRY DOOR - SWING - ALUMINUM