

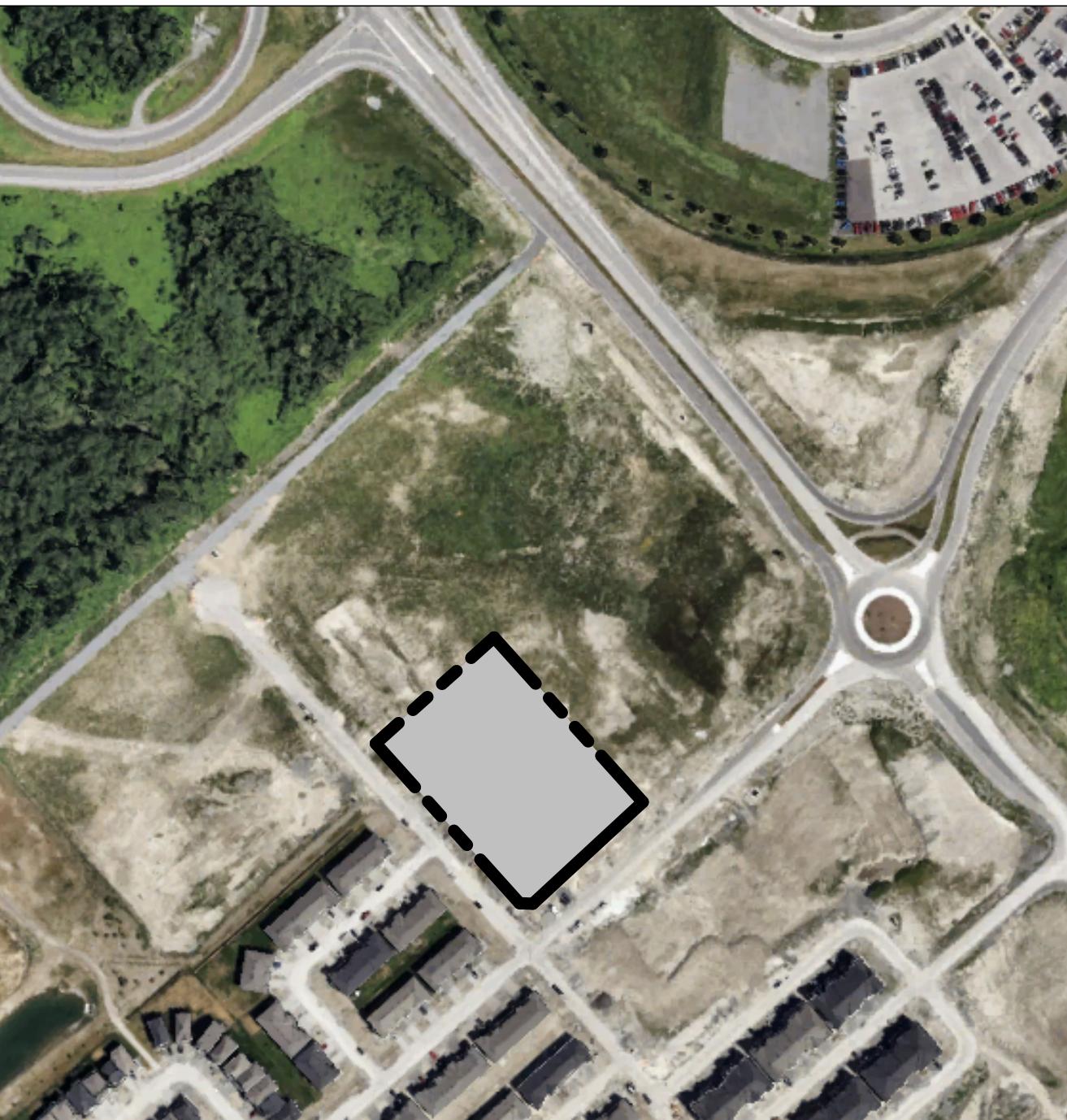
LIST OF DRAWINGS

A0.00 COVER PAGE
 A1.00 SITE PLAN
 A1.01 SURFACE & UNDERGROUND PARKING PLAN
 A1.02 BIKE PARKING & STORAGE
 A1.03 FIRE + EMERGENCY ACCESS PLAN
 A1.04 WASTE + RECYCLING PLAN
 A1.05 R.O.W. CONSTRUCTION AREA - PRELIMINARY
 A1.06 SITE ACCESSORIES
 A1.07 SITE ACCESSORIES
 A1.08 SURROUNDING AREA PERSPECTIVE
 A1.09 SITE PERSPECTIVES
 A2.00 PARKADE FLOOR PLAN
 A2.01 FIRST FLOOR PLAN
 A2.02 SECOND FLOOR PLAN
 A2.03 THIRD FLOOR PLAN
 A2.04 FOURTH FLOOR PLAN
 A2.05 FIFTH FLOOR PLAN
 A2.06 SIXTH FLOOR PLAN
 A2.07 ROOF PLAN
 A3.00 ELEVATION - COLOUR
 A3.01 ELEVATION - COLOUR

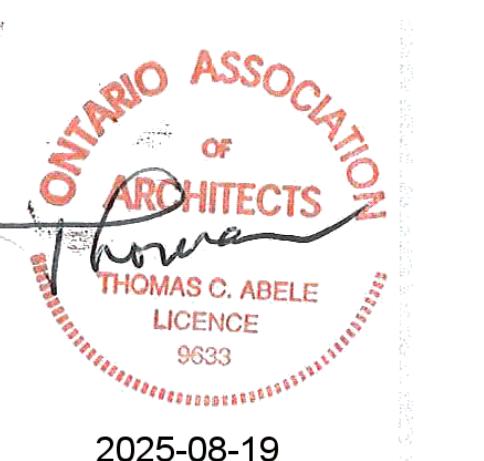
PALLADIUM TERRACE

425 CULDAFF RD
OTTAWA, ON

VICINITY MAP



VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION



2025-08-19

PROJECT TEAM:

APPLICANT:



BROADSTREET
PROPERTIES LTD.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca

CONSTRUCTION:



SEYMOUR PACIFIC
DEVELOPMENTS LTD.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.seymourpacific.ca

STRUCTURAL
ENGINEERING:

BEACH ROCKE
ENGINEERING LTD.
1050 St. Mary's Road.
Winnipeg, MB R2M 3S9
204-255-7251

CIVIL ENGINEERING:

NOVATECH
240 Michael Cowpland Drive
Suite 200, Ottawa, ON
K2M 1P6
613.254.9643

LANDSCAPE ARCHITECT:

STUDIO RED LANDSCAPE
ARCHITECTURE INC.
76 Chamberlain Ave.
Ottawa, ON K1S 1V9
613-866-4551

MECHANICAL & ELECTRICAL
ENGINEERING:

ENGLOBE
202 - 13167 146 Street
Edmonton, AB
T5L 4S8
780-801-6100

ARCHITECT:

ABEARCHITECTURE
Thomas Abele, Architect OAA
2001 – 1755 Haro Street
Vancouver, B.C. V6G 1H2
604-682-6818

SITE INFORMATION			
PROJECT DESCRIPTION	1 - MULTIFAMILY RESIDENTIAL APARTMENT (6 STOREY)		
TOTAL UNITS	177 UNITS		
ROOF TYPE	GABLE ROOF		
CIVIC ADDRESS	425 CULDAFF RD.		
MUNICIPALITY	CITY OF OTTAWA		
ZONING	GM		
LEGAL DESCRIPTION	PART BLOCK 242, PLAN 4M1687, PART 1 AND 2 ON 4R35406; SUBJECT TO AN EASEMENT IN GROSS OVER PART 4, 4R34110 AS IN OC2424260; CITY OF OTTAWA		
LOT AREA	9,728.16 m ²	2.40 ACRES	0.973 HECTARES
BUILDING AREA	16,335.42	m ²	
DENSITY	74.2 DU/ACRE		
FLOOR SPACE INDEX (FSI)	1.68		

ZONING SUMMARY			
	REQUIRED	PROPOSED	
MAX. BUILDING HEIGHT	18.0 m	18.0 m	
MIN. FRONT YARD S.B.	3.0 m	7.0 m	m
MIN. REAR YARD S.B.	7.5 m	7.5 m	m
MIN. INTERIOR SIDE YARD S.B.	3.0 m	3.0 m	m
MIN. CORNER SIDE YARD S.B.	3.0 m	3.0 m	m
MIN. LOT AREA	No minimum	m ²	-
MIN. LOT WIDTH	No minimum	m	-

VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	177	212	177
VISITORS	0.2 / UNIT	177	35	35
TOTAL PARKING STALLS		247	212 *	
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%	MAX 107	90	
ACCESSIBLE TYPE A		3	3	
ACCESSIBLE TYPE B		4	4	

* SUBJECT TO VARIANCE

BUILDING INFORMATION				
BUILDING	STOREYS	UNIT COUNT	FOOTPRINT	GROSS BUILDING AREA
A	6	177	2722.57 m ²	16,335.42 m ²

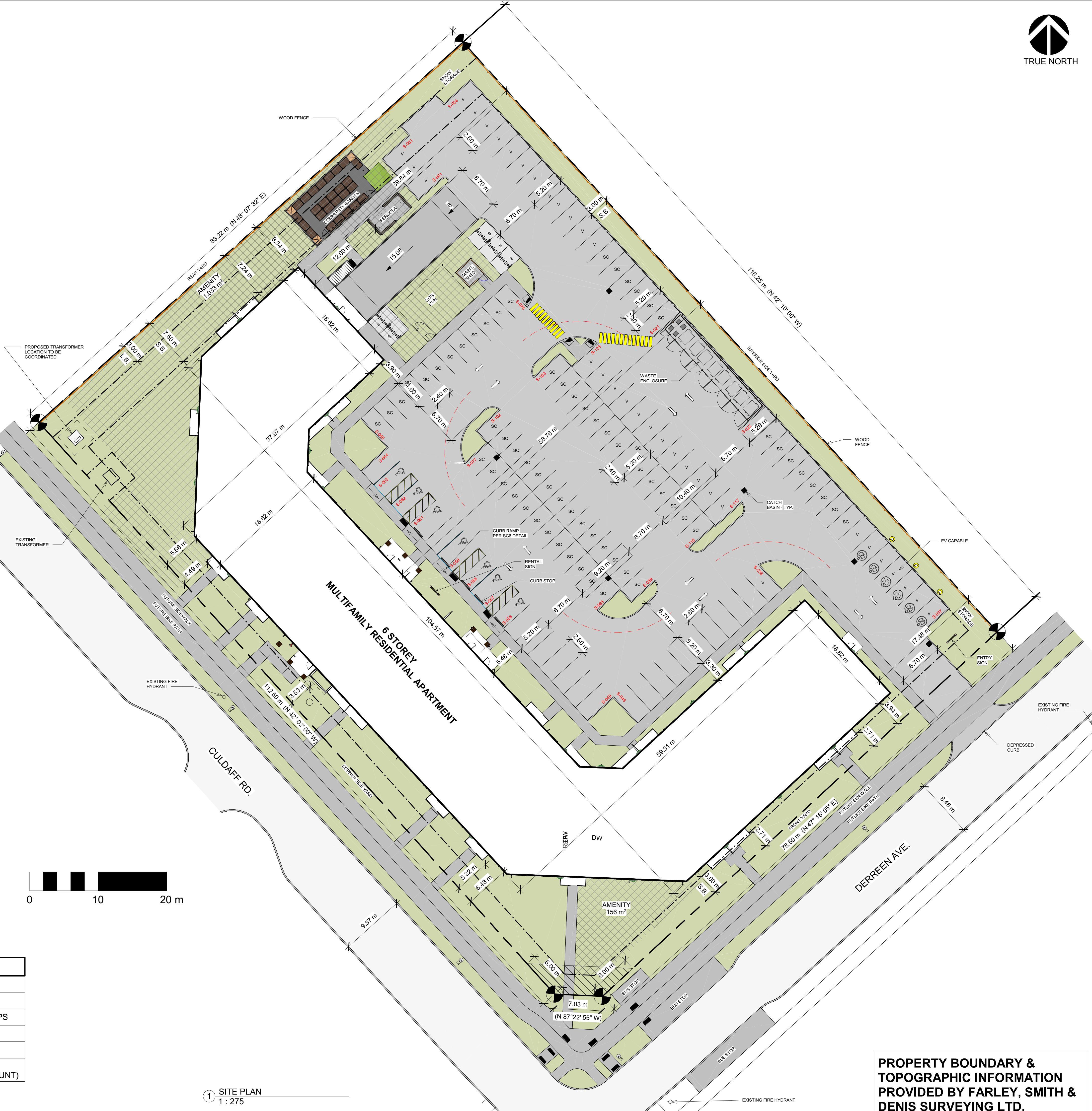
UNIT BREAKDOWN	
BUILDING A	
TOTAL PER BUILDING	
STUDIO	24
1 BED / 1 BATH	24
2 BED / 1 BATH	6
2 BED / 2 BATH	87
3 BED / 2 BATH	36
TOTAL	177 UNITS

LANDSCAPE			
	REQUIRED	PROPOSED	
PERCENTAGE OF LOT AREA	35%		
m ²	3387 m ²		

BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE		89	108	
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68

AMENITY			
	RATE	REQUIRED	PROPOSED
TOTAL AMENITY SPACE	6m ² / DU	1062 m²	1331.35 m²
COMMUNITY AMENITY AREA (50% MIN OF TOTAL)		531 m ²	1331.35 m ²

LEGEND			
PROPERTY LINE	x-x-x	CHAINLINK FENCE	
SETBACK LINE		LANDSCAPE AREA	
BUILDING OUTLINE		CROSSWALK 1.5 X .45 STRIPS	
FIRE HYDRANT		SIDEWALK LETDOWN	
EV CAPABLE CHARGER		ACCESSIBLE PARKING	
WOODEN FENCE		BIKE PARKING (NUMBER REPRESENTS COUNT)	



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SITE MAP:

PROJECT STATUS:
DEVELOPMENT PERMIT
Revision Schedule

No. Description Revision Date

A ISSUED FOR D.P. OCT 15, 2024

B RE-ISSUED FOR D.P. FEB 14, 2025

C RE-ISSUED FOR D.P.P. - 1 JUN 02, 2025

D RE-ISSUED FOR D.P.P. - 2 AUG 14, 2025

SEAL: ABELEARCHITECTURE
THOMAS C. ABELE, ARQUITECT, OAA, T-694-682-618



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PROJECT NAME: PALLADIUM TERRACE

PROJECT NUMBER: VP 2402

ADDRESS: 425 CULDAFF RD OTTAWA, ON

DRAWING TITLE: SITE PLAN

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

SCALE: As indicated

DRAWING #: A1.00

REV #: D

VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	177	212	177
VISITORS	0.2 / UNIT	177	35	35
TOTAL PARKING STALLS			247	212 *
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%		MAX 107	90
ACCESSIBLE TYPE A			3	3
ACCESSIBLE TYPE B			4	4

* SUBJECT TO VARIANCE

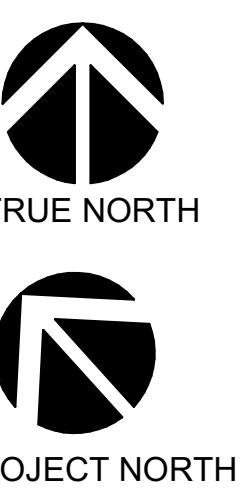
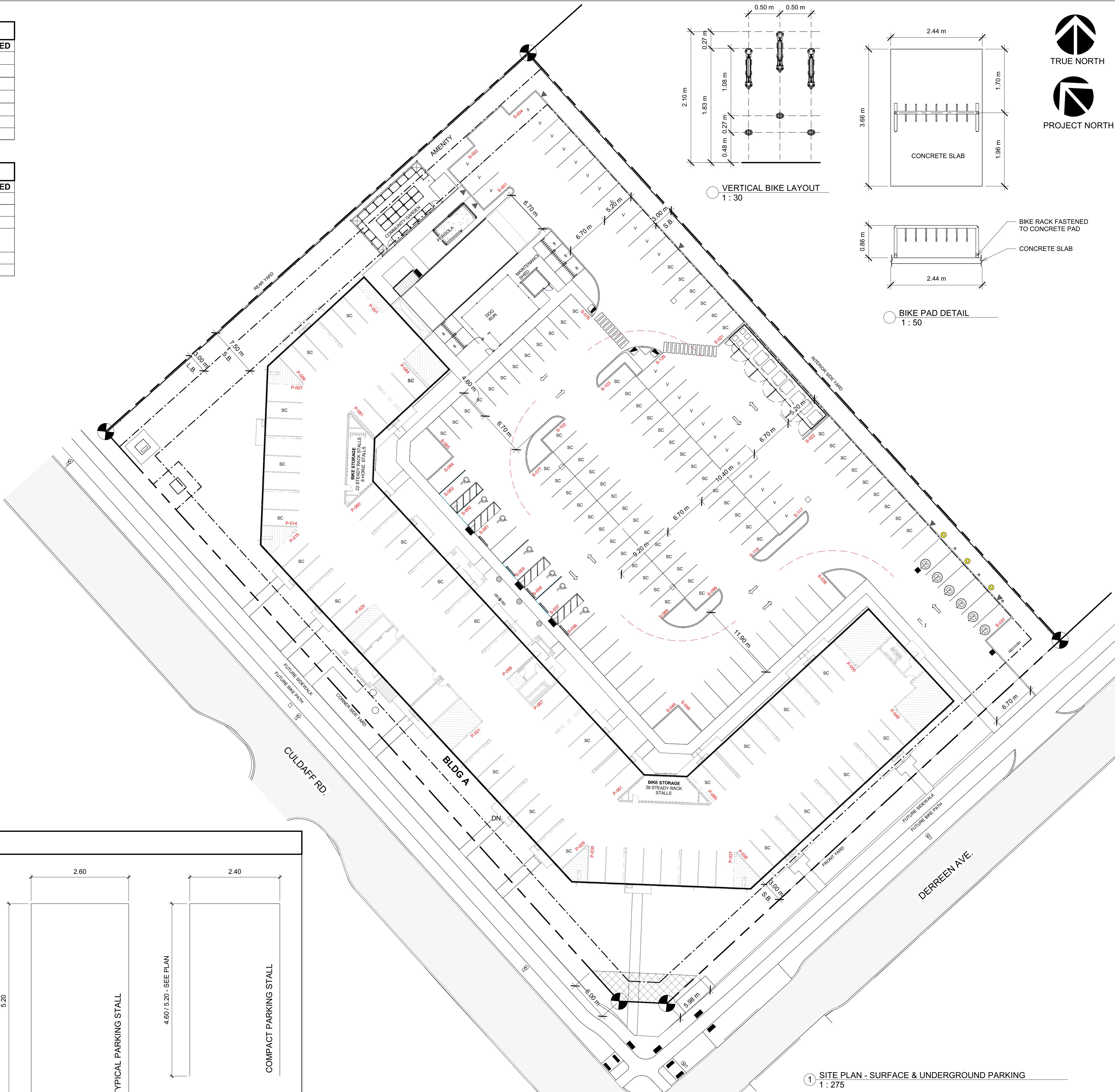
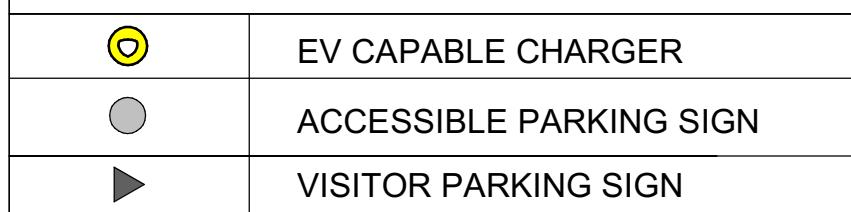
BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE			89	108
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68

PARKING KEY NOTES:

LETTER

SC = SMALL CAR
V = VISITOR

UNLESS NOTED ALL OTHER STALL ARE TYPICAL



The logo for Broadstreet Properties. It features a large, stylized, blocky letter 'B' on the left. To the right of the 'B', the word 'BROADSTREET' is written in a large, bold, sans-serif font. Below 'BROADSTREET', the words 'PROPERTIES LTD.' are written in a slightly smaller, bold, sans-serif font.



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Scheme

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL: ABELEARCHITECTURE



2025-08-19

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EFFICIENCY, PROGRESS, WORKMANSHIP
AND QUALITY TOWARD DEFICIENCY-FREE

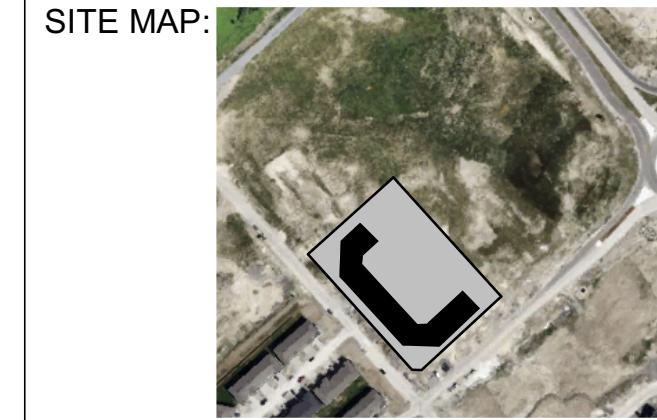
PROJECT NAME:
PALLADIUM TERRACE

VP 2402

DRAWING TITLE:
SURFACE & UNDERGROUND PARKING

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

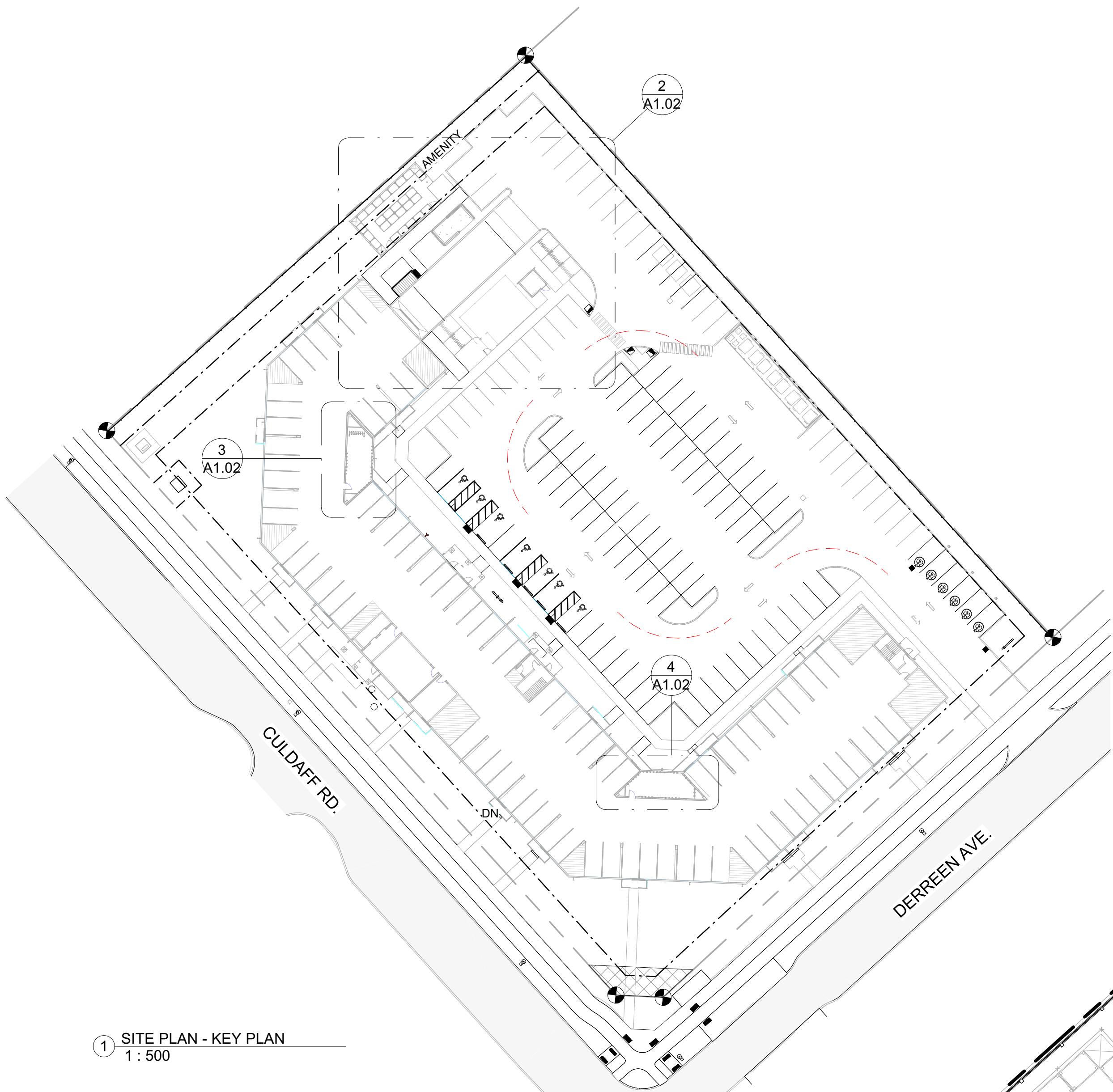
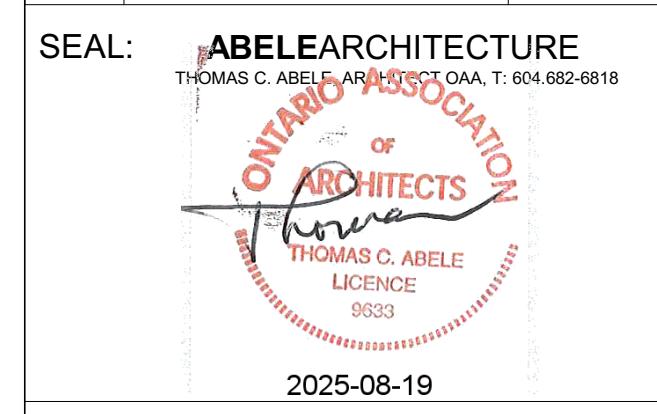
SCALE: As indicated
DRAWING #: A1.01 REV #: 



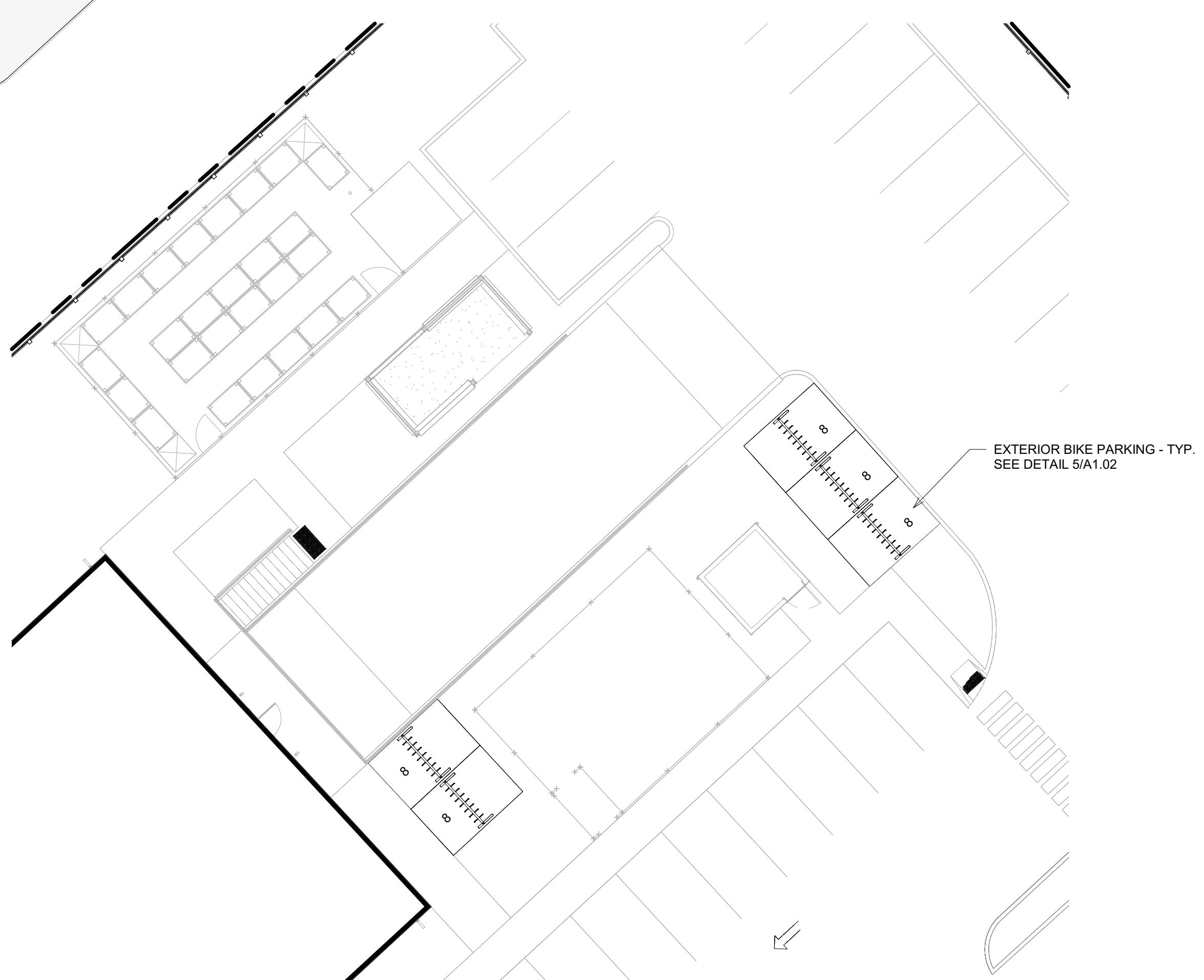
PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule

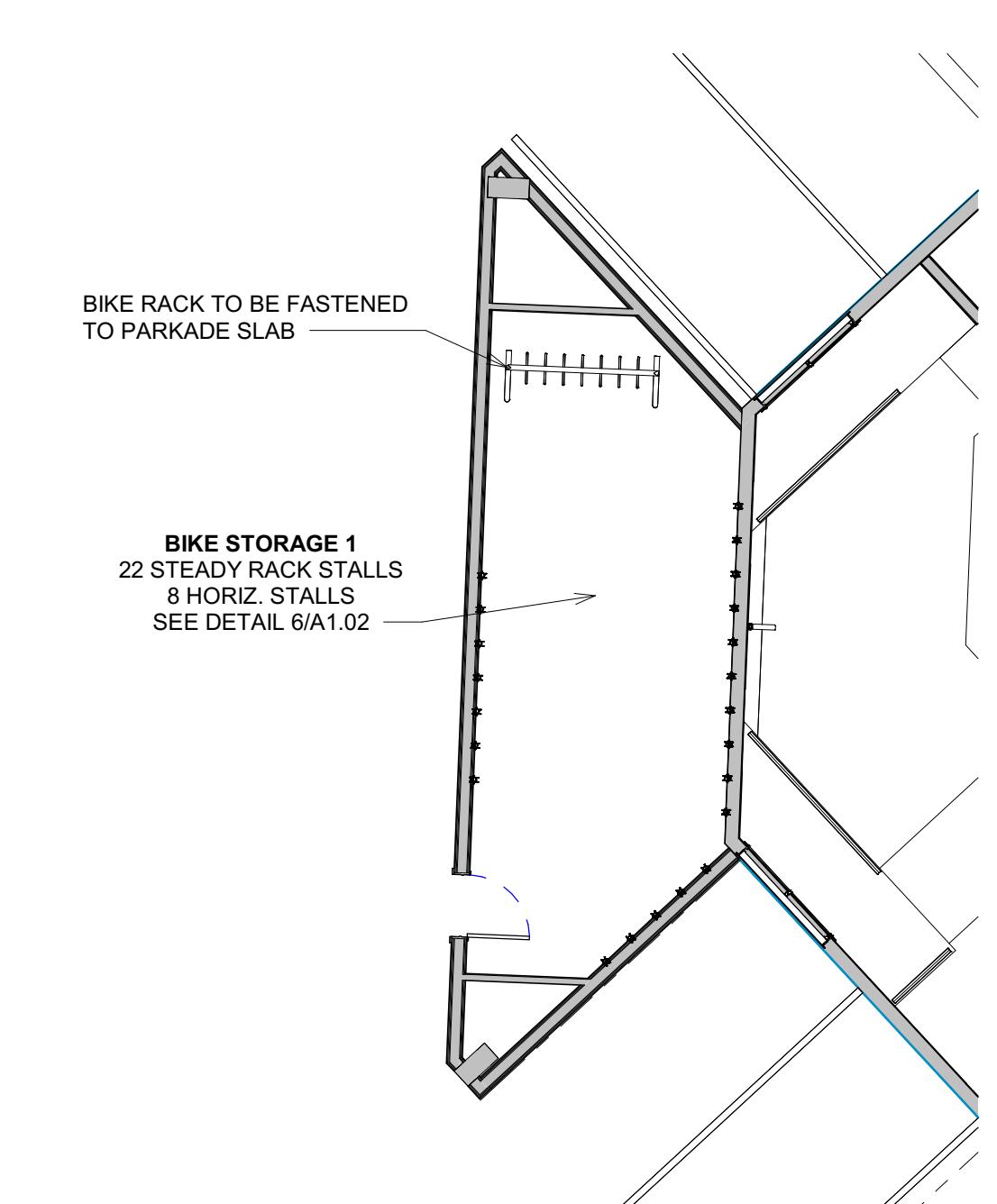
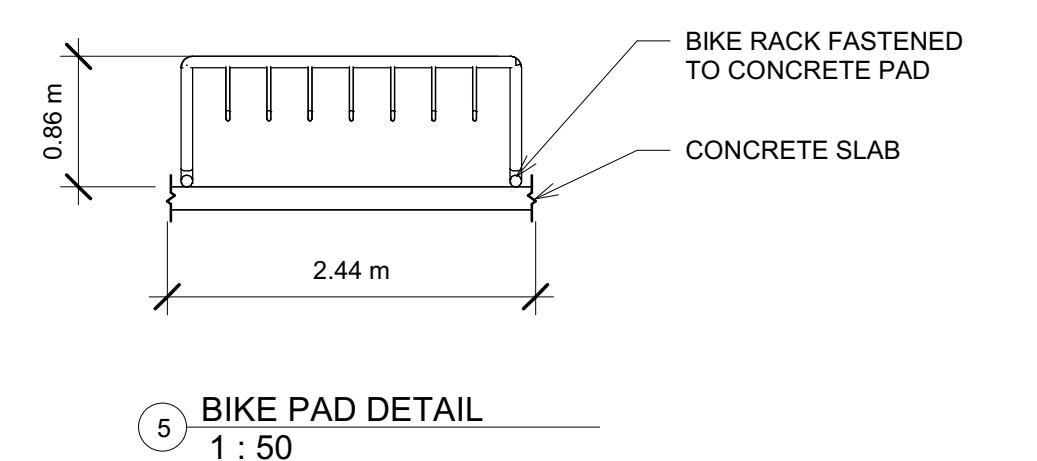
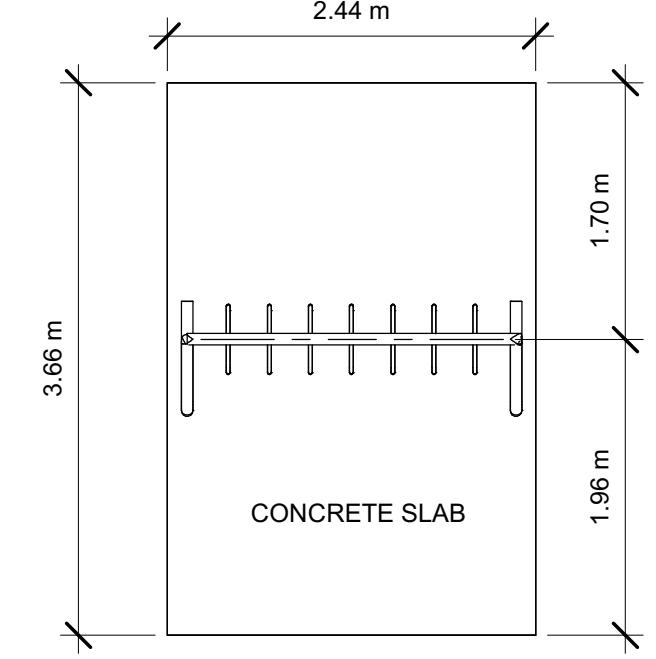
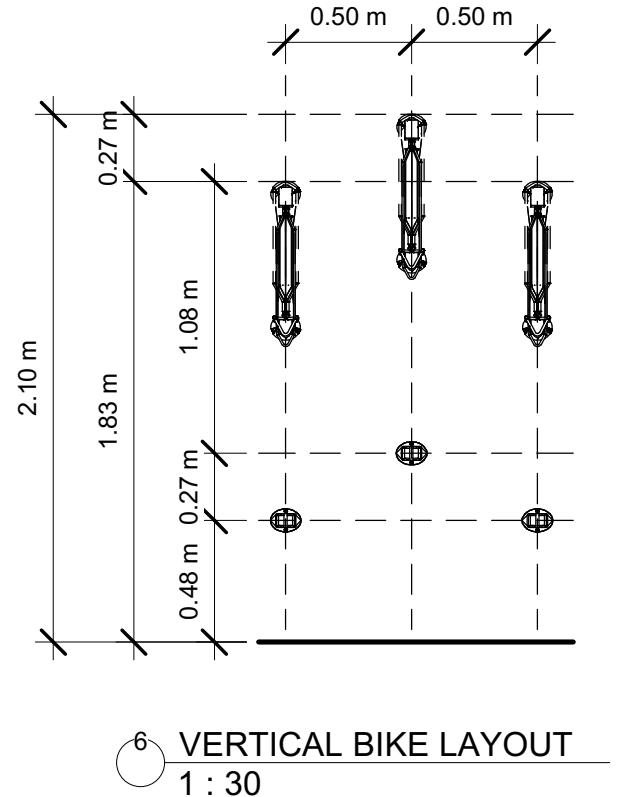
No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR D.P.P. - 2	AUG 14, 2025



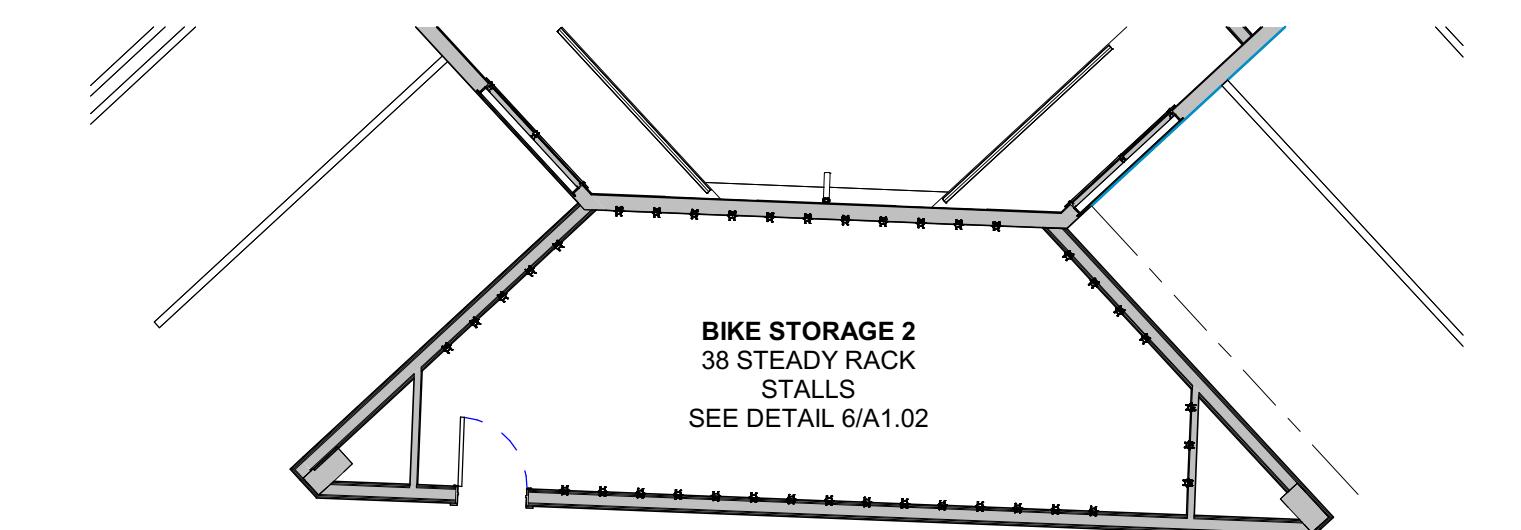
INFORMATION ON THIS SHEET
PROVIDED FOR SITE PLAN
CONTROL APPROVAL ONLY



BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	177	89	108
TOTAL BICYCLE			89	108
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	45	40
MIN HORIZONTAL BIKE STALL	50%	-	45	48
MIN SECURED BIKE STALLS	25%	-	22	68



3 PARKADE PLAN - BIKE STORAGE 1
1 : 100



4 PARKADE PLAN - BIKE STORAGE 2
1 : 100

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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
BIKE PARKING & STORAGE

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A1.02
REV #: D

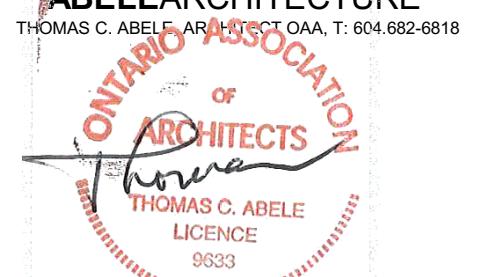
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR D.P.P. - 2	AUG 14, 2025

SEAL: **ABEARCHITECTURE**



2025-08-19

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PROJECT NAME: PALLADIUM TERRACE

PROJECT NUMBER: VP 2402

ADDRESS: 425 CULDAFF RD OTTAWA, ON

DRAWING TITLE: FIRE + EMERGENCY ACCESS PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A1.03
REV #: D

LEGEND	
PROPERTY LINE	---
SETBACK LINE	—
PATH OF TRAVEL	---
BUILDING OUTLINE	—
FIRE HYDRANT	●
PRINCIPAL ENTRANCE	▼
FIRE DEPARTMENT CONNECTION	✗

DESIGN VEHICLE - PUMPER FIRE TRUCK	
12.192	
2.438	6.706
OVERALL LENGTH	12.192m
OVERALL WIDTH	2.489m
OVERALL BODY HEIGHT	2.361m
MIN. BODY GROUND CLEARANCE	0.200m
TRACK WIDTH	2.489m
LOCK-TO-LOCK TIME	5.00s
MAX WHEEL ANGLE	45.00°



No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
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PROJECT NAME: PALLADIUM TERRACE

PROJECT NUMBER: VP 2402

ADDRESS: 425 CULDAFF RD OTTAWA, ON

DRAWING TITLE: WASTE + RECYCLING PLAN

DRAWN BY: NG

CHECKED BY: TH

DATE: AUG 14, 2025

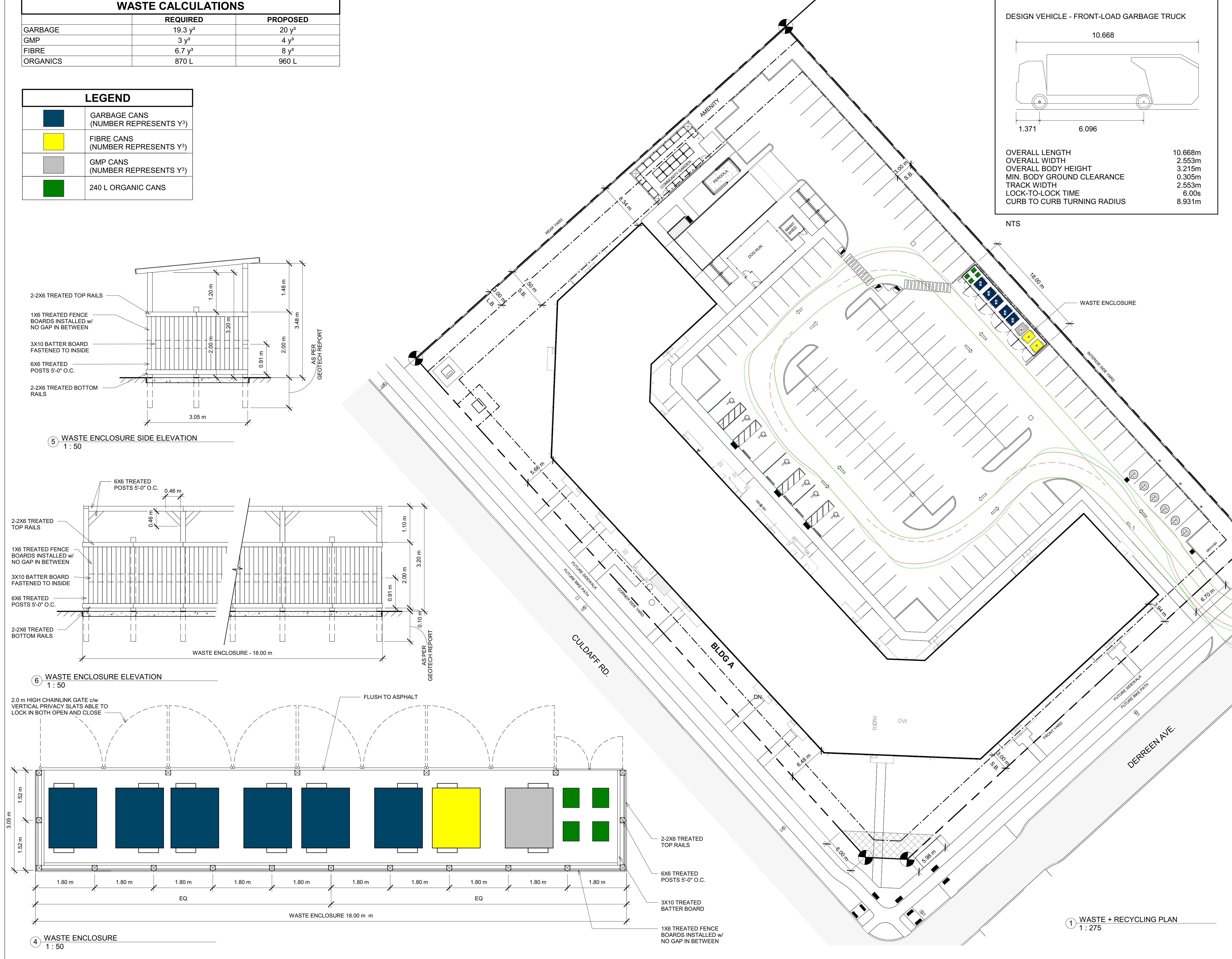
SCALE: As indicated

DRAWING #: D

REV #: A1.04

WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	19.3 y ³	20 y ³
GMP	3 y ³	4 y ³
FIBRE	6.7 y ³	8 y ³
ORGANICS	870 L	960 L

LEGEND	
	GARBAGE CANS (NUMBER REPRESENTS Y ³)
	FIBRE CANS (NUMBER REPRESENTS Y ³)
	GMP CANS (NUMBER REPRESENTS Y ³)
	240 L ORGANIC CANS





SITE MAP:

MAP: 

PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2010
B	RE-ISSUED FOR D.P.	FEB 14, 2011
C	RE-ISSUED FOR D.P.P. - 1	JUN 02, 2011
D	RE-ISSUED FOR D.P.P. - 2	AUG 14, 2011

SEAL: ABELEARCHITECTURE



1

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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA ON

DRAWING TITLE:	
R.O.W. CONSTRUCTION AREA - PRELIMINARY	
DRAWN BY: NG	
CHECKED BY: TH	
DATE: AUG 14, 2025	
SCALE: As indicated	
DRAWING #:	REV #:

A1.05

REAR YARD

COMMUNITY GARDEN

PERGOLA

DOG RUN

MANT. SHED

INTERIOR SIDE YARD

FUTURE SIDEWALK

FUTURE BIKE PATH

CULDAFF RD.

CORNER SIDE YARD

FIREWALL

DW

FRONT YARD

PROPOSED VEHICLE ENTRANCE

PROPOSED SIDEWALK TIE-IN FROM PRIVATE PROPERTY TO PUBLIC AREA

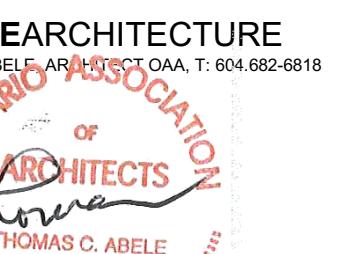
DERREEN AVE.

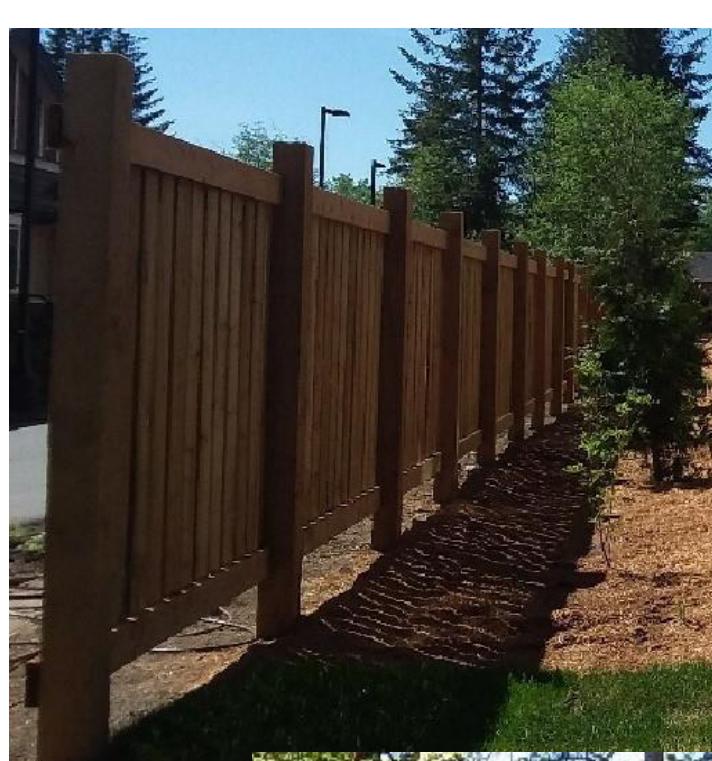
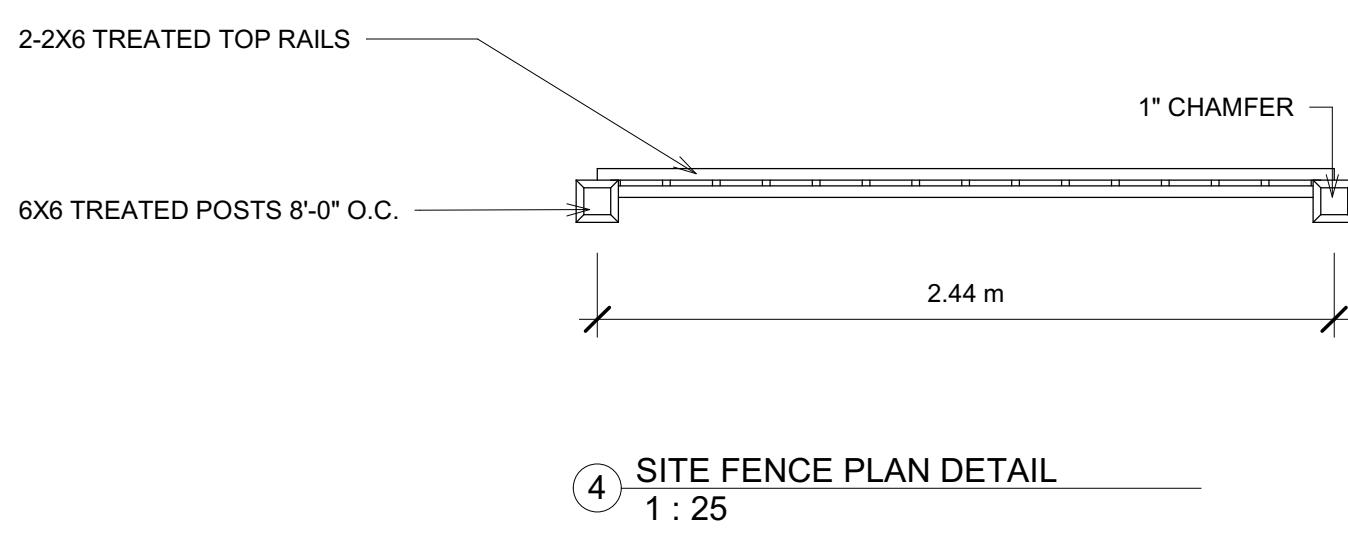
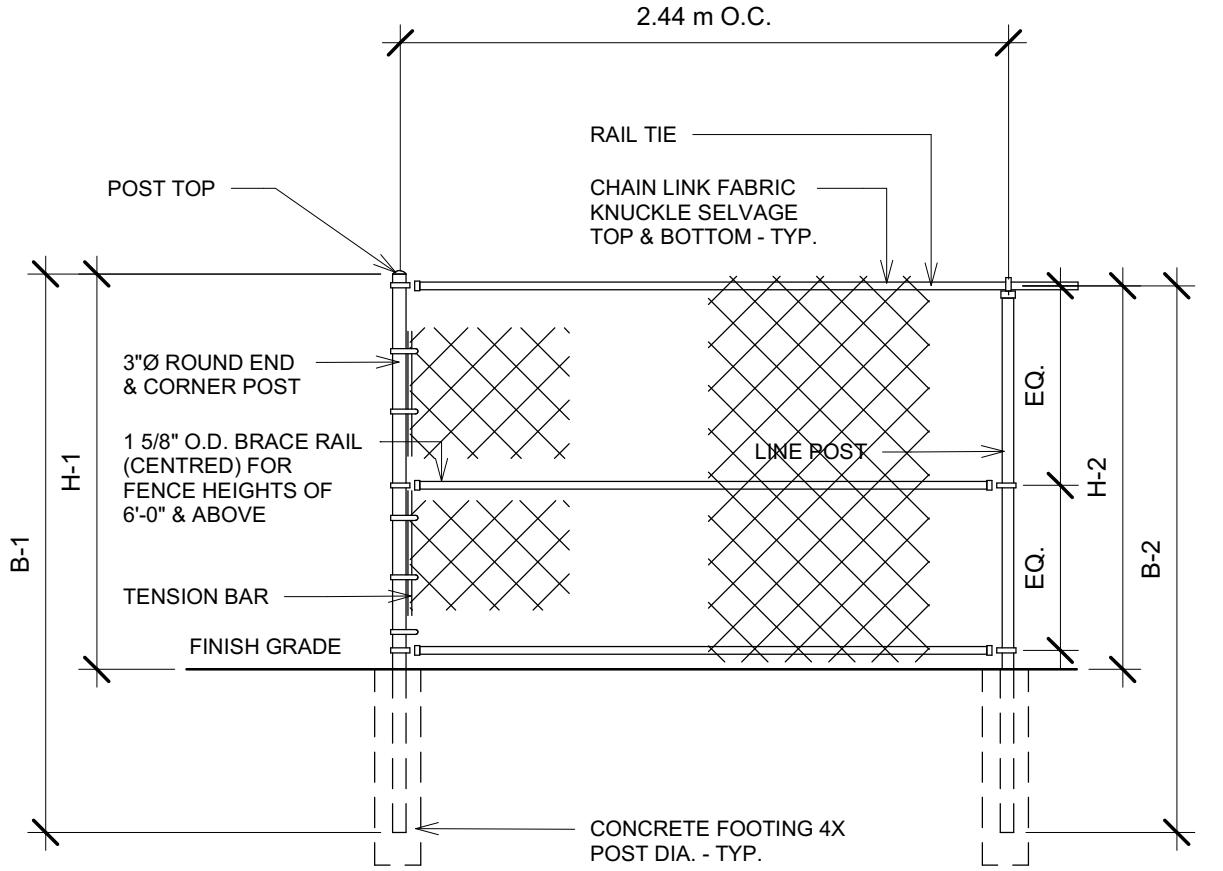
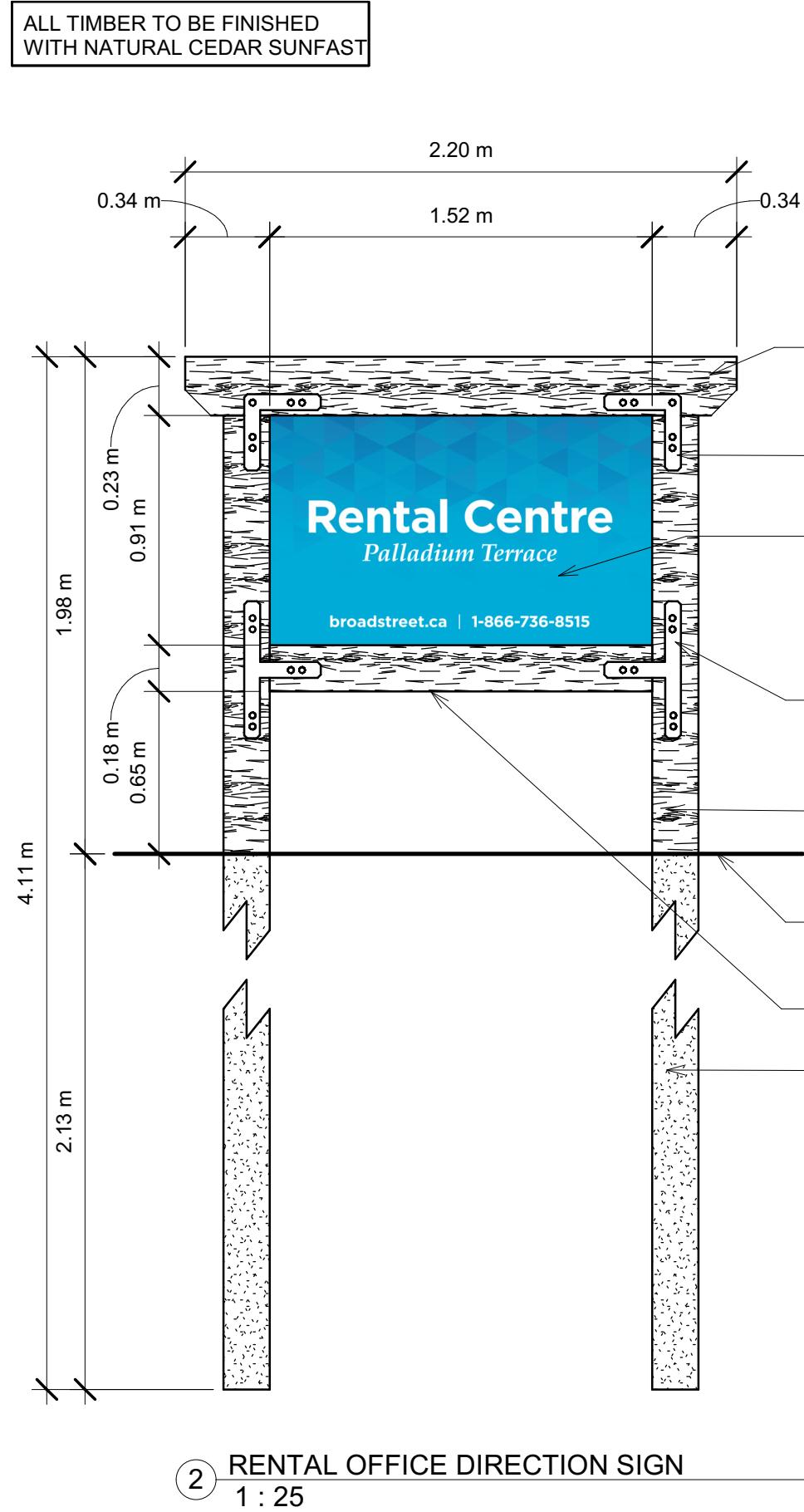
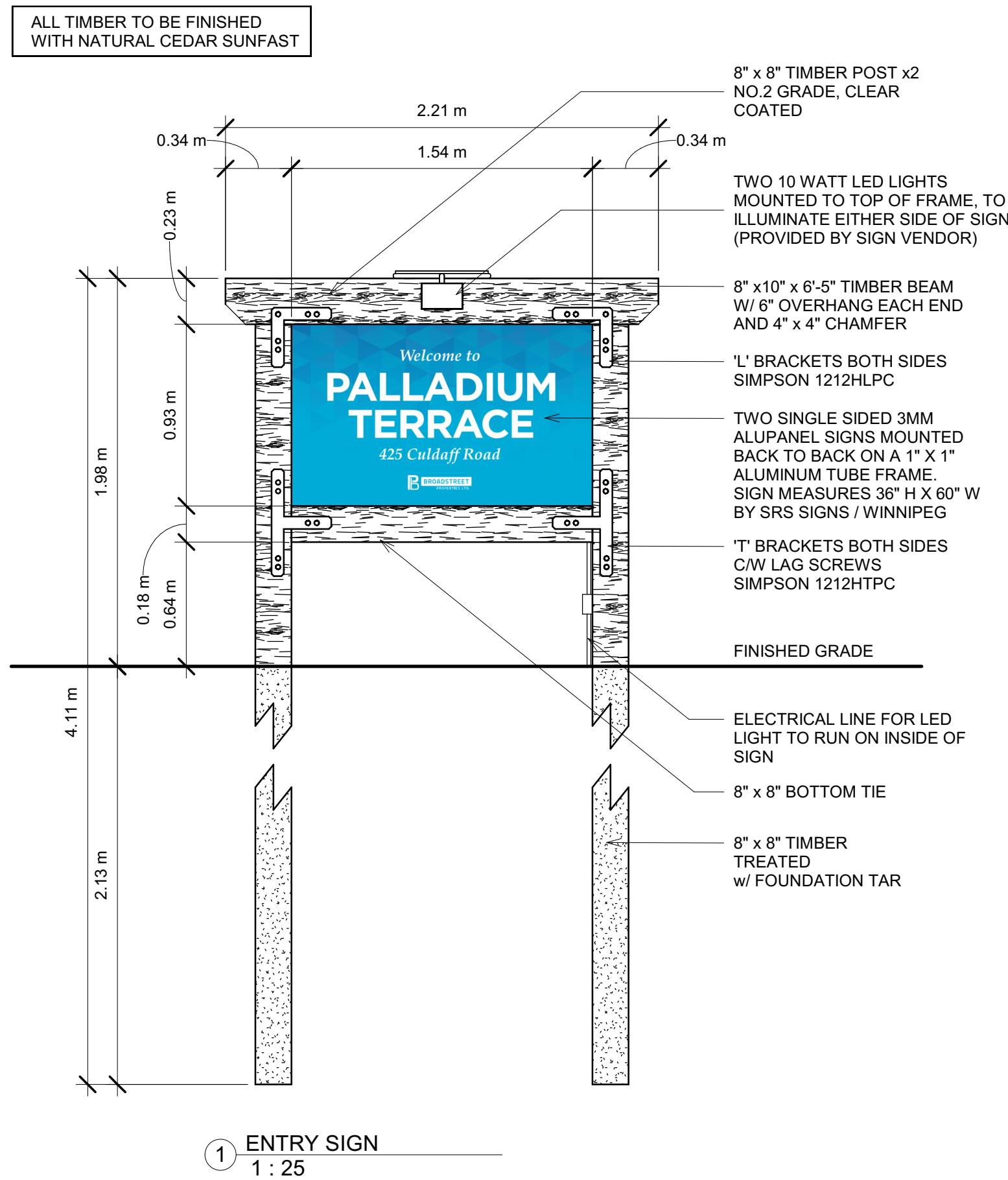
① R.O.W. CONSTRUCTION AREA - PRELIMINARY
1:275

PROJECT STATUS:
DEVELOPMENT PERMIT

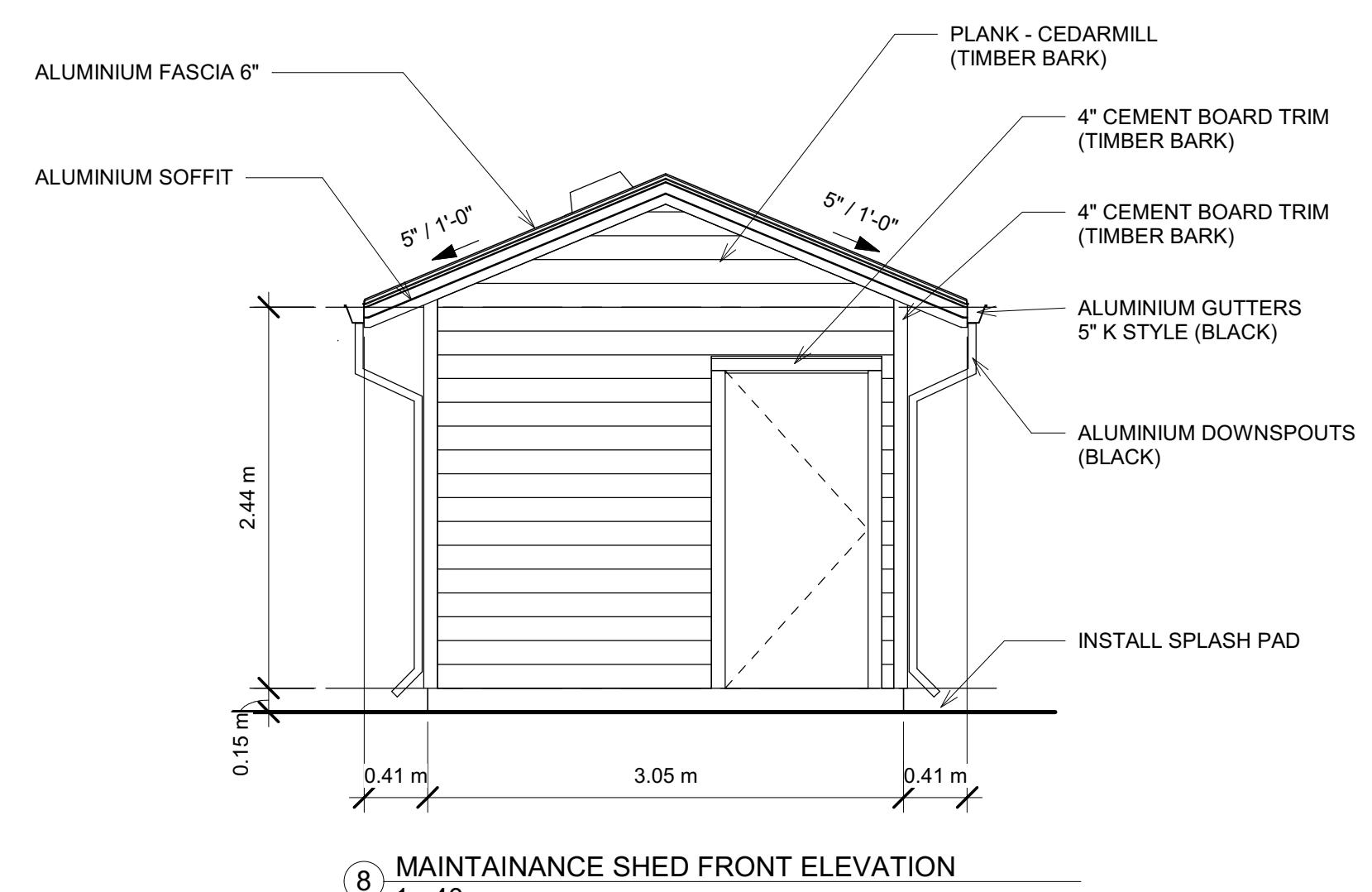
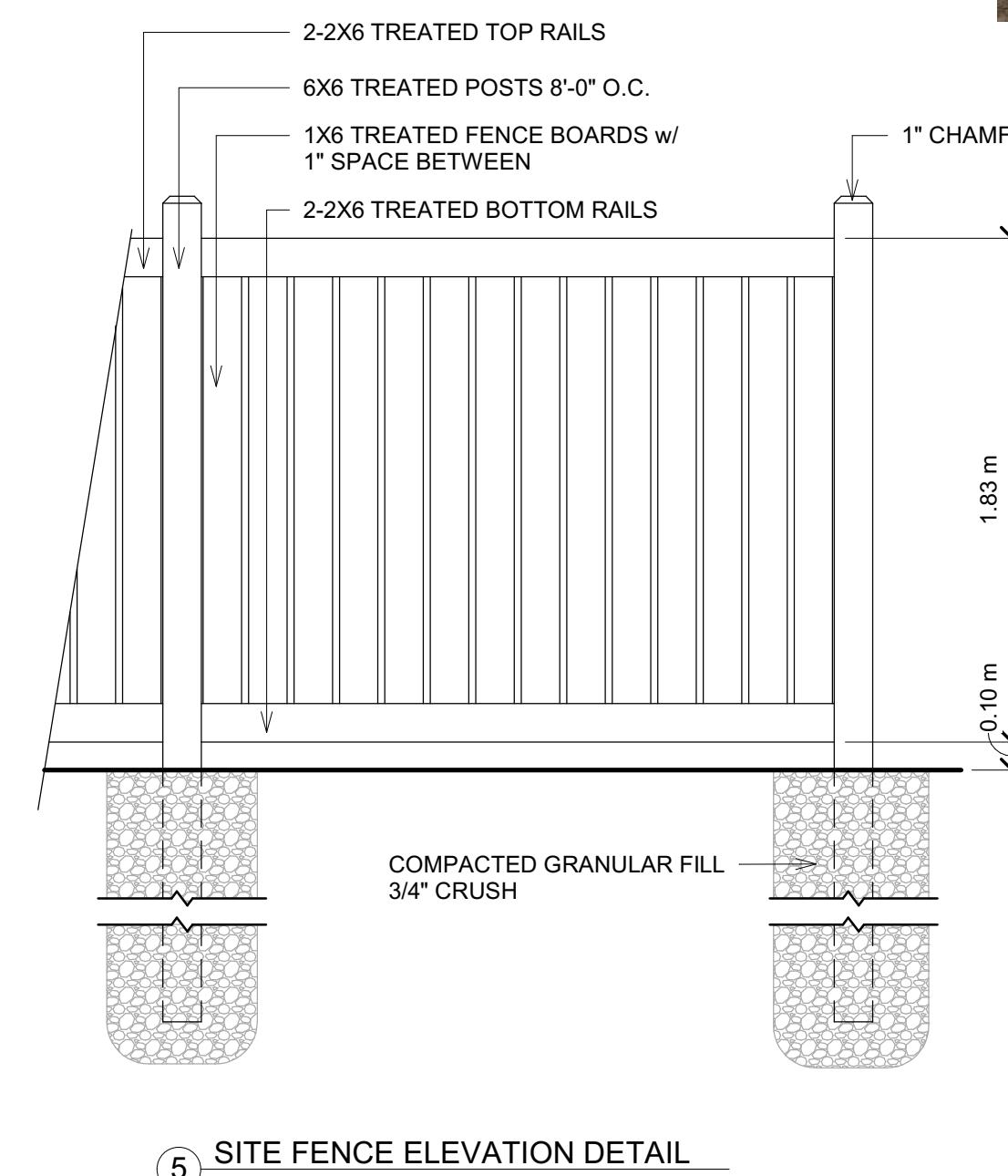
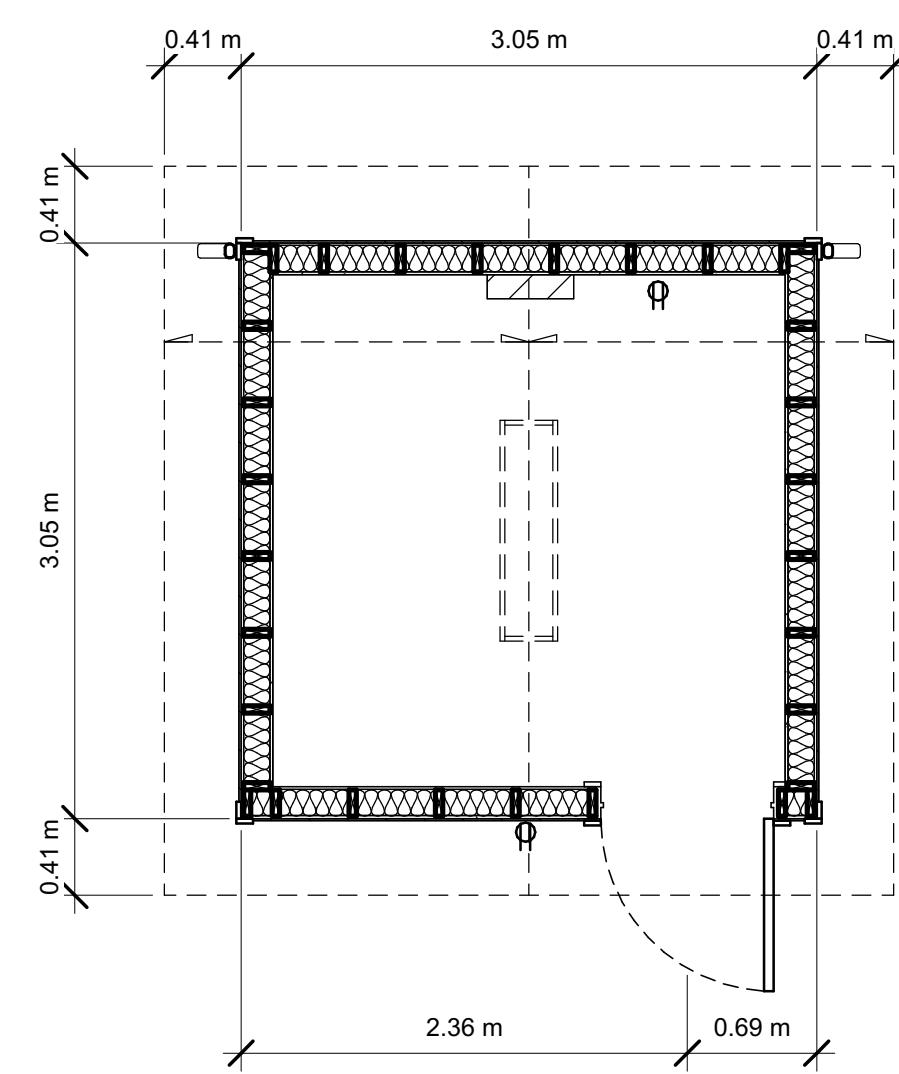
Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

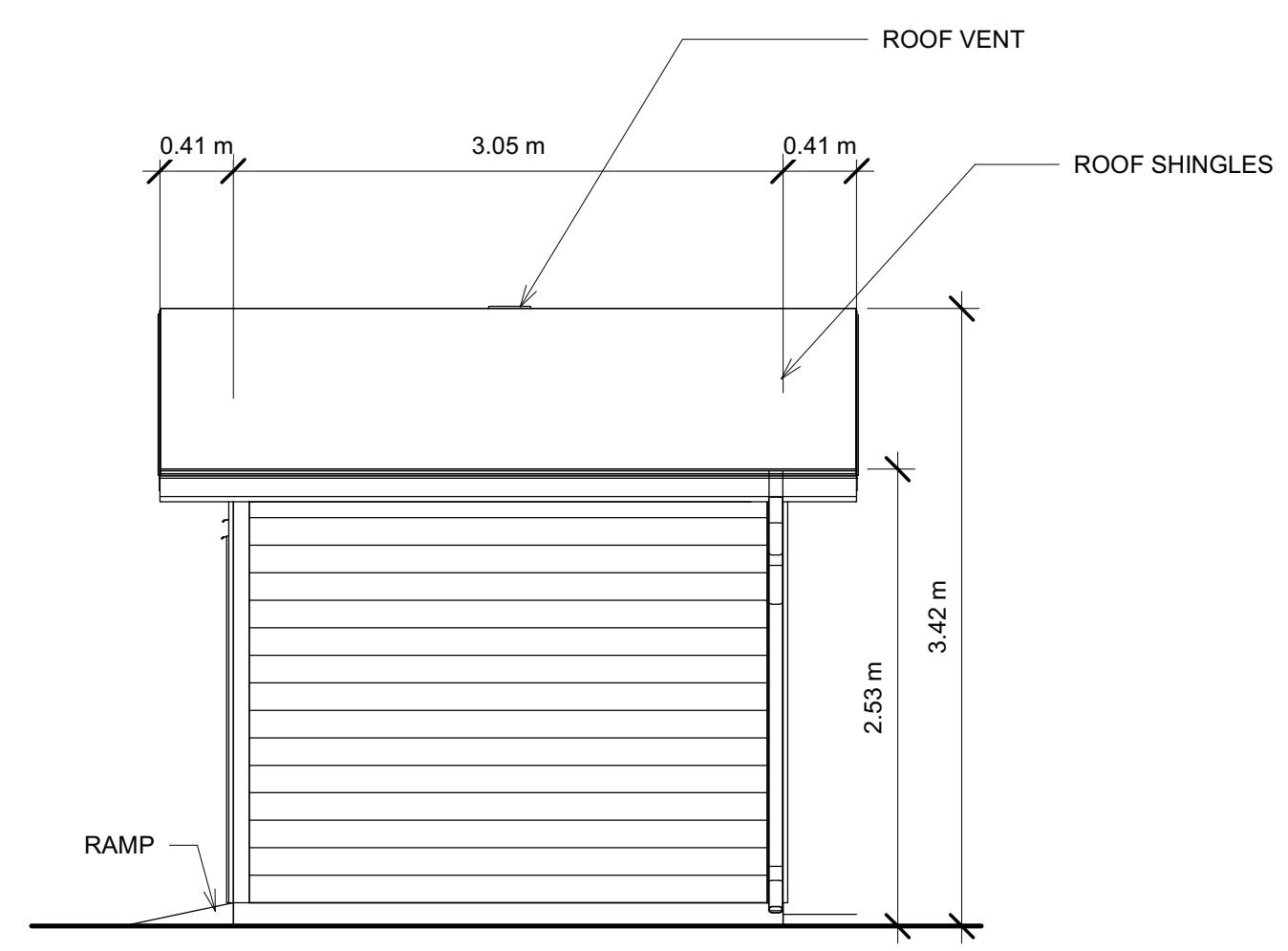
SEAL: 
THOMAS C. ABLE, ARCHITECT OAA, T: 647-682-4818
LICENCE 9533
2025-08-19



⑥ MAINTENANCE SHED



⑧ MAINTENANCE SHED FRONT ELEVATION



⑨ MAINTENANCE SHED SIDE ELEVATION

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PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

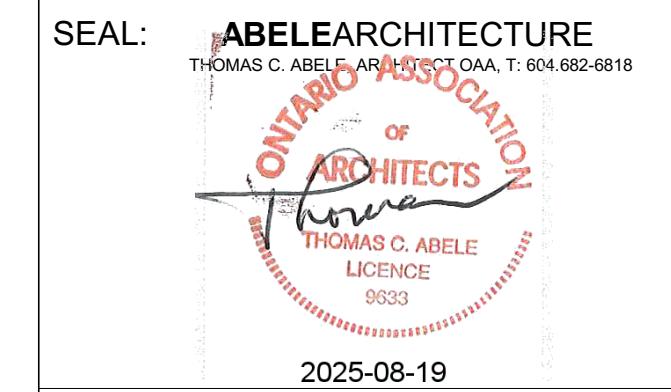
DRAWING TITLE:
SITE ACCESSORIES

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A1.06
REV #: D

PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025



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PROJECT NAME:
PALLADIUM TERRACE

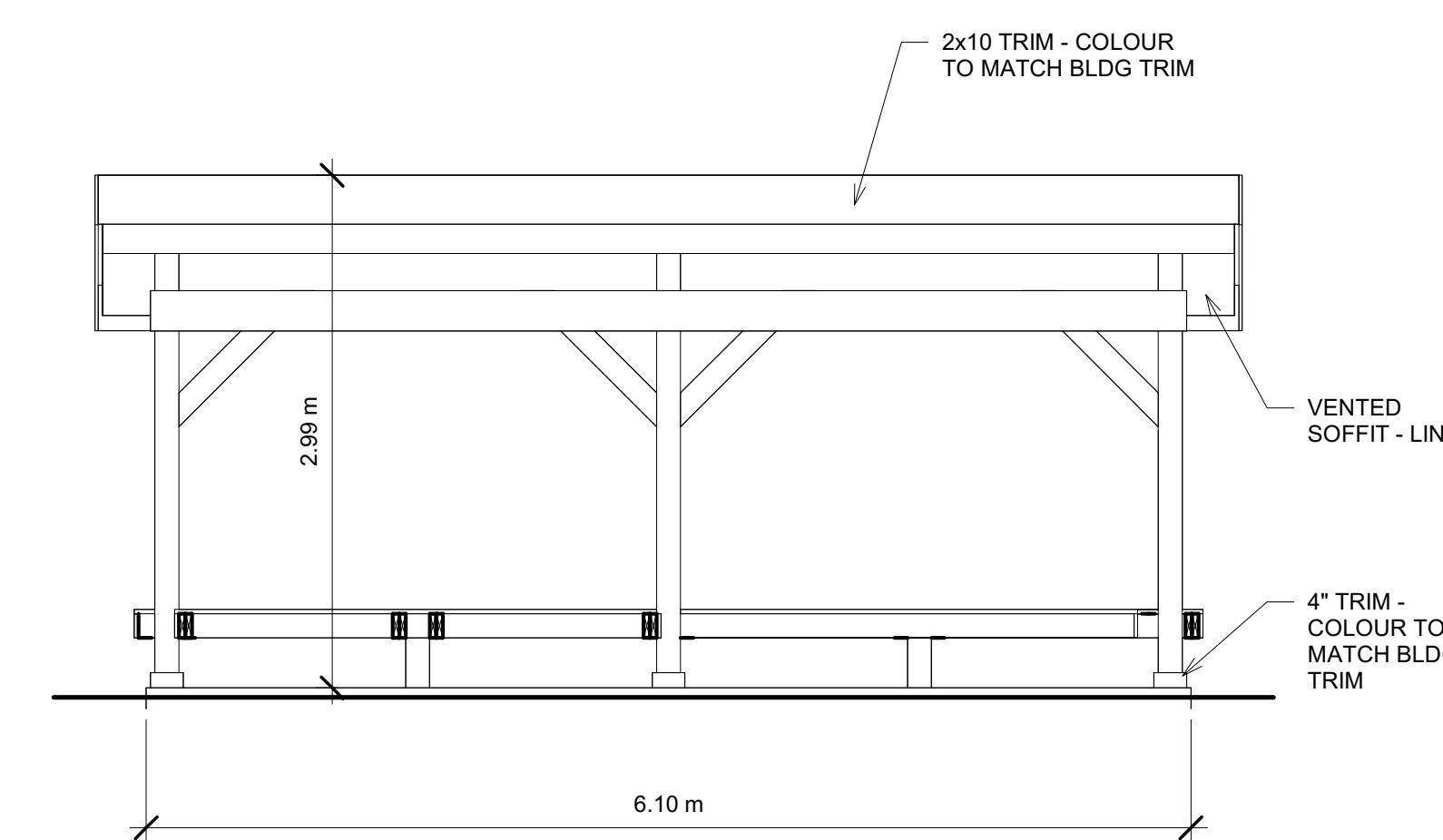
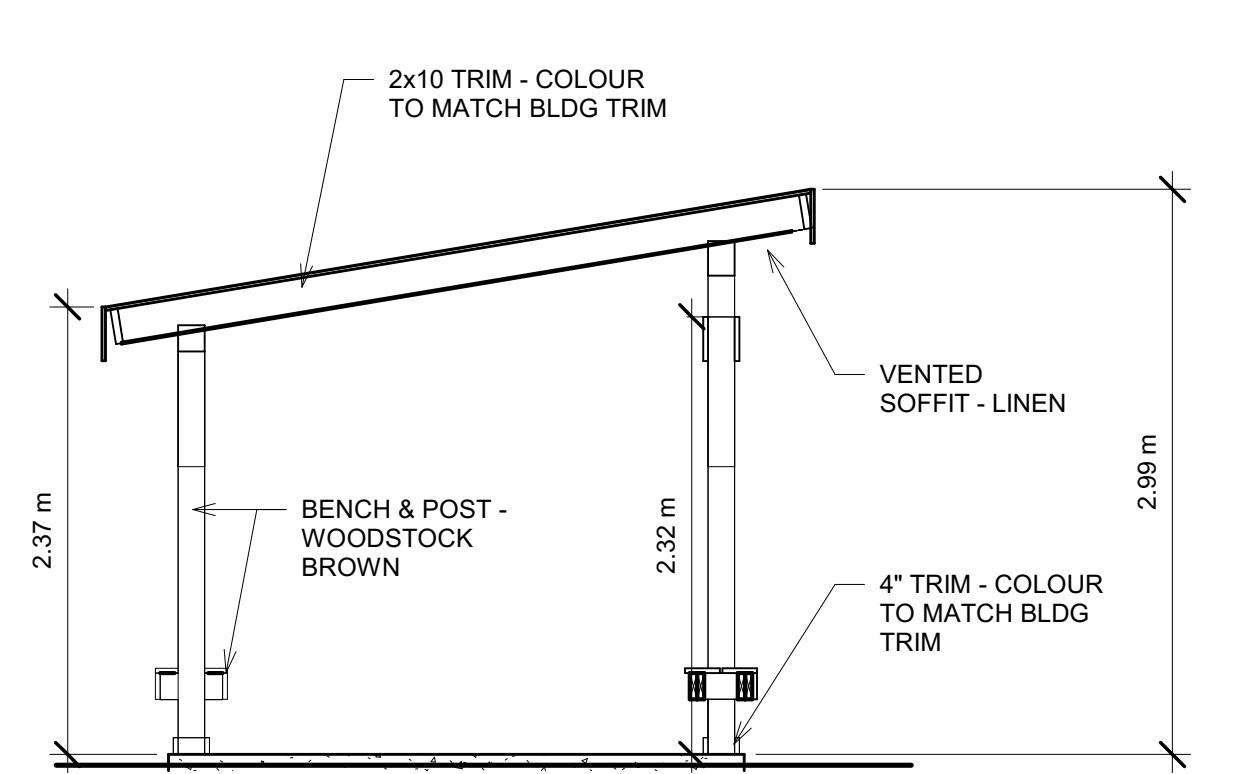
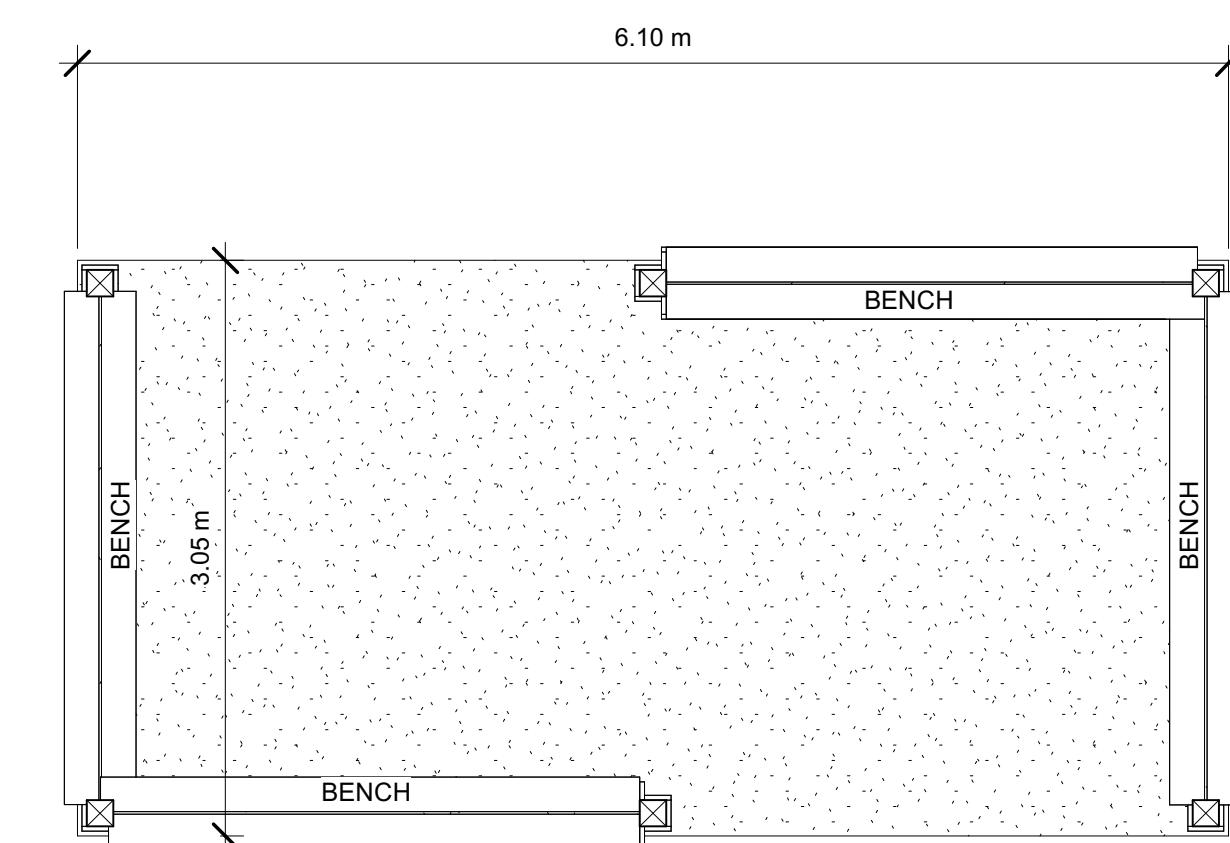
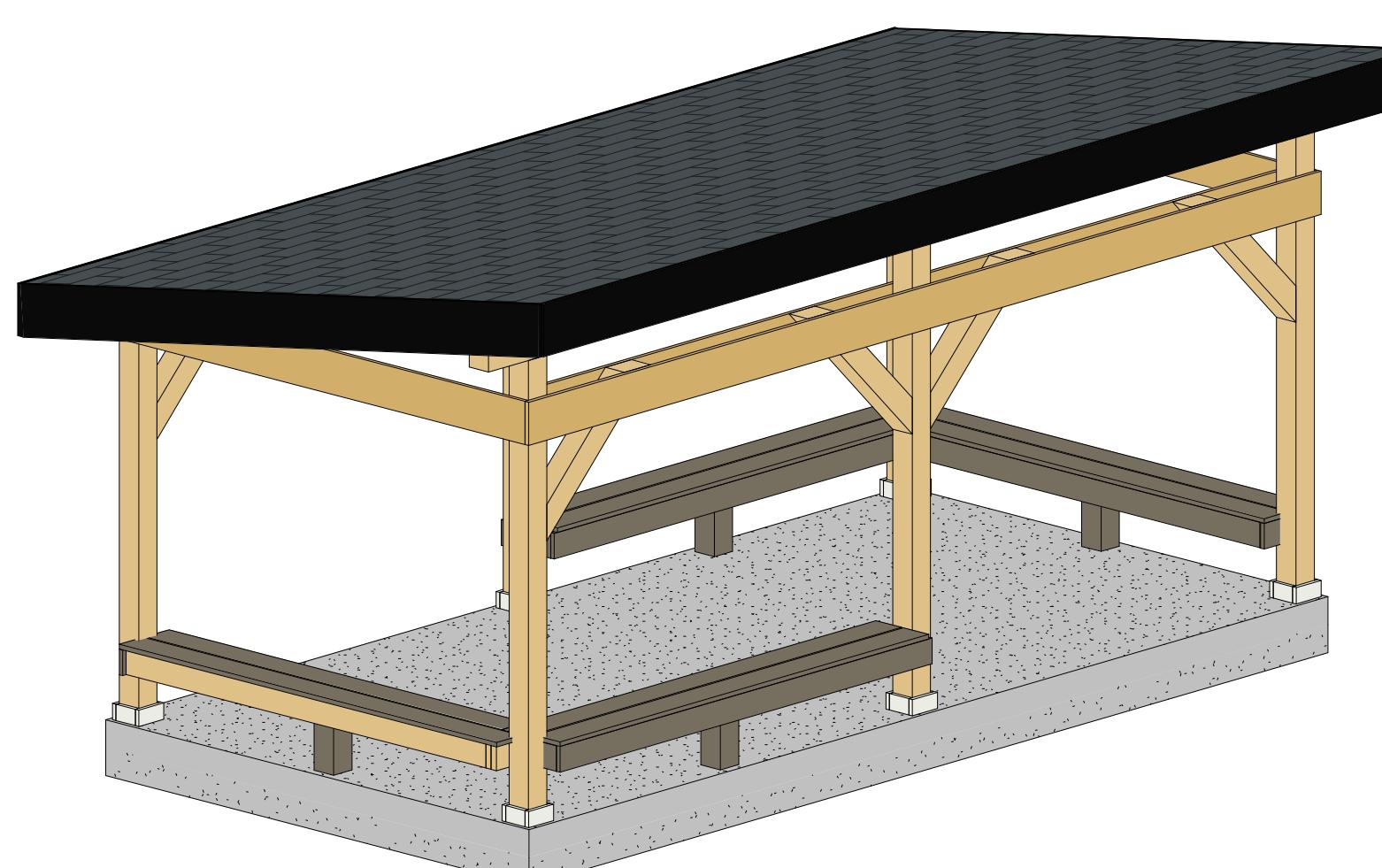
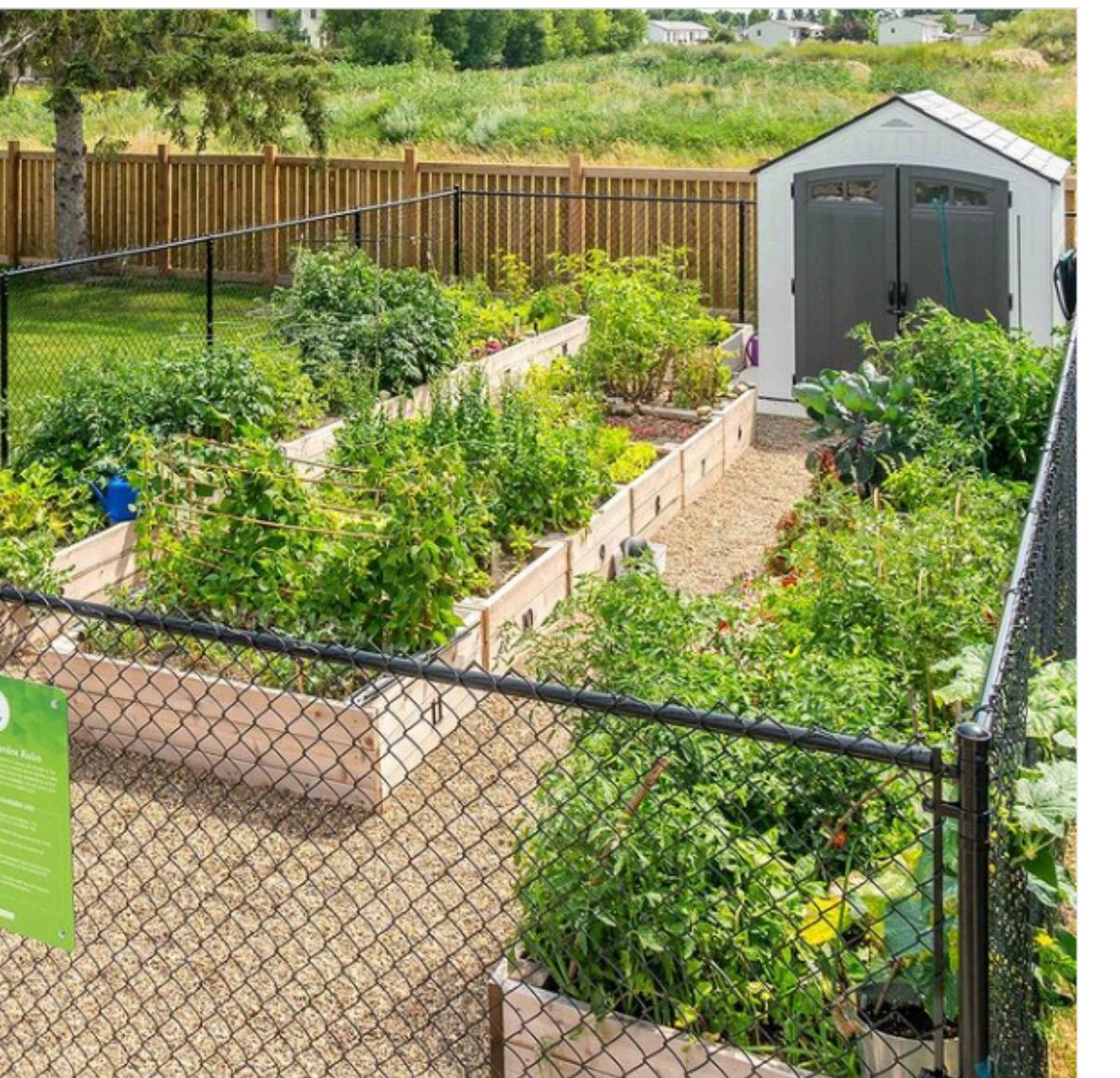
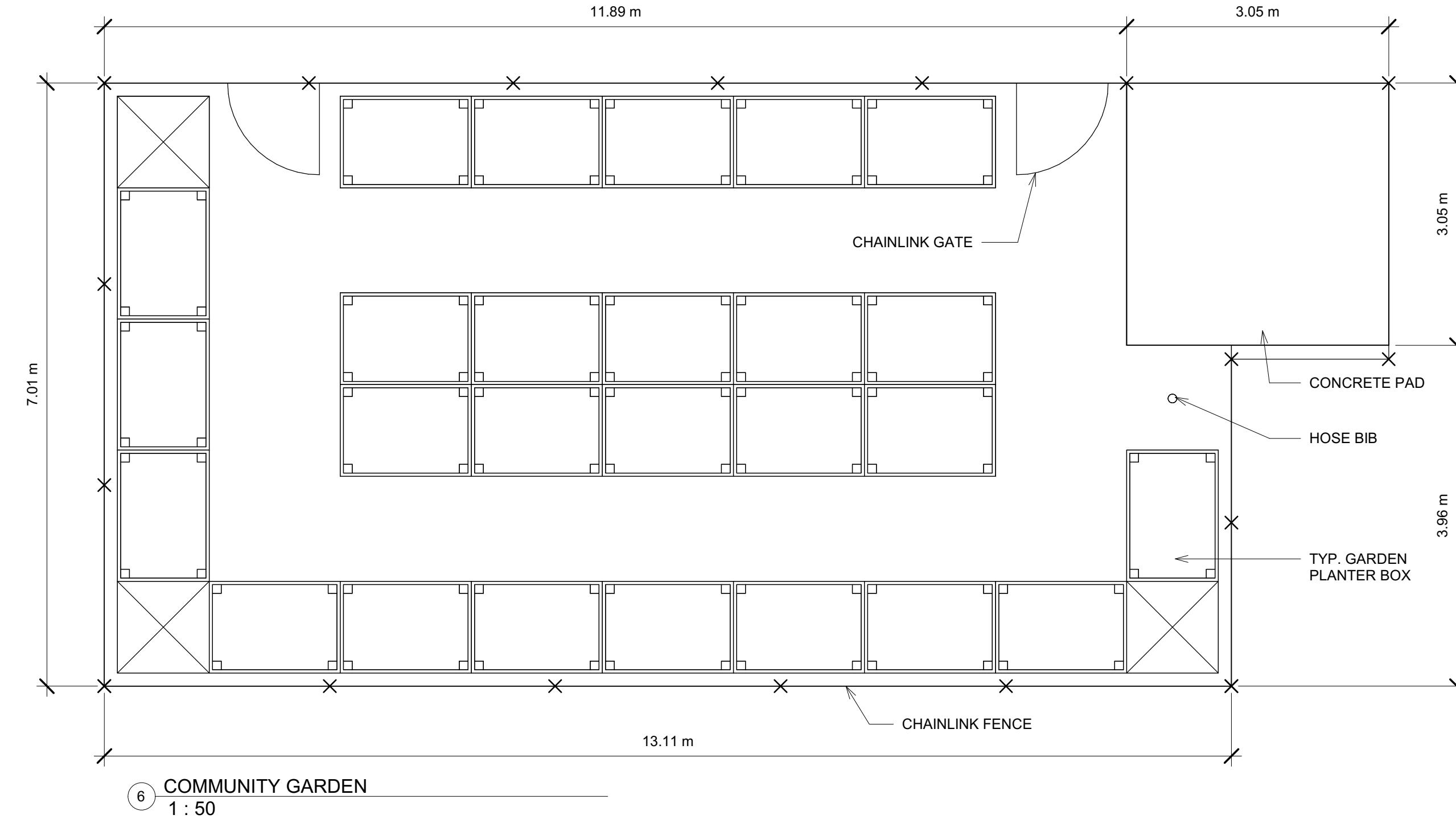
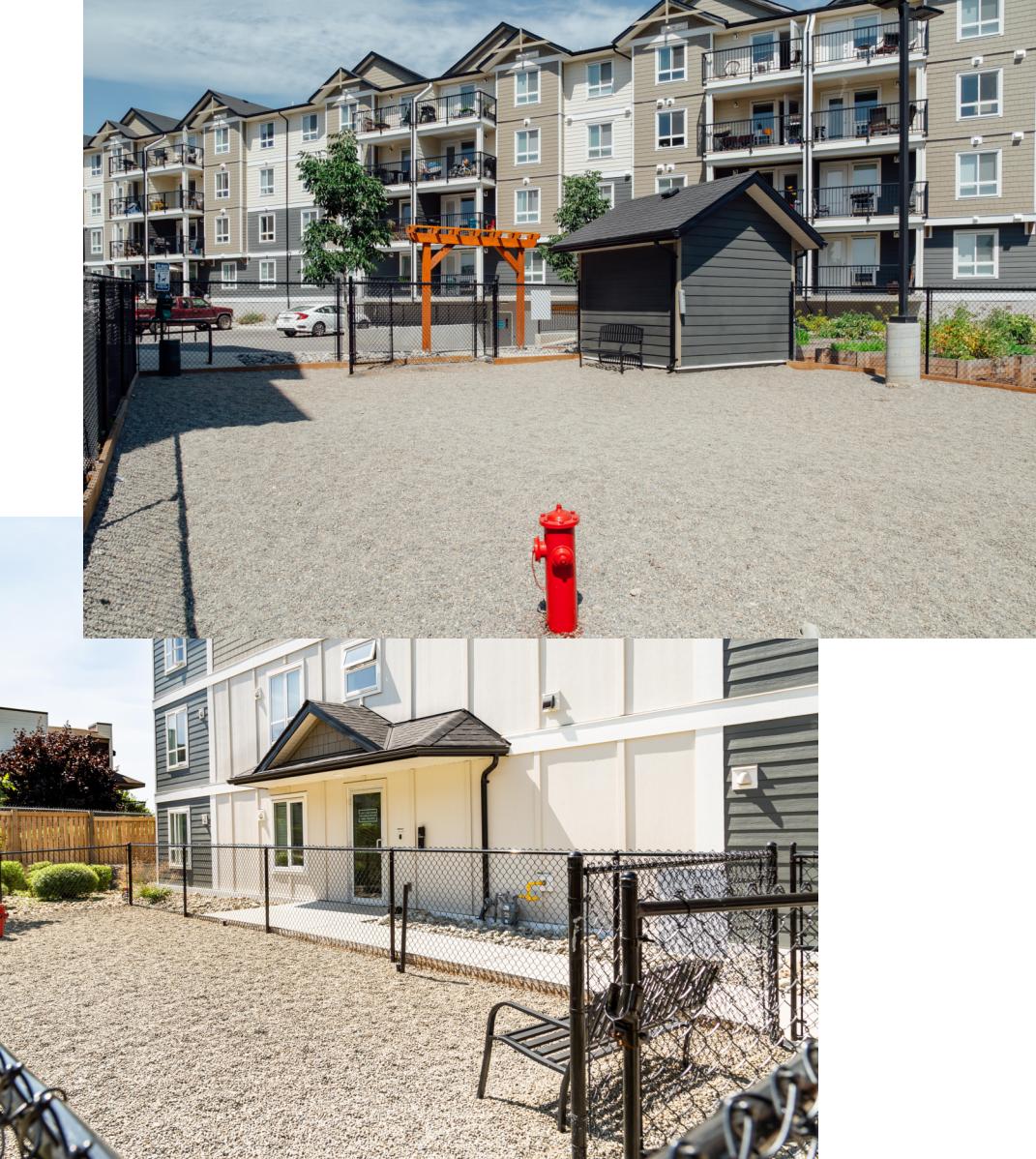
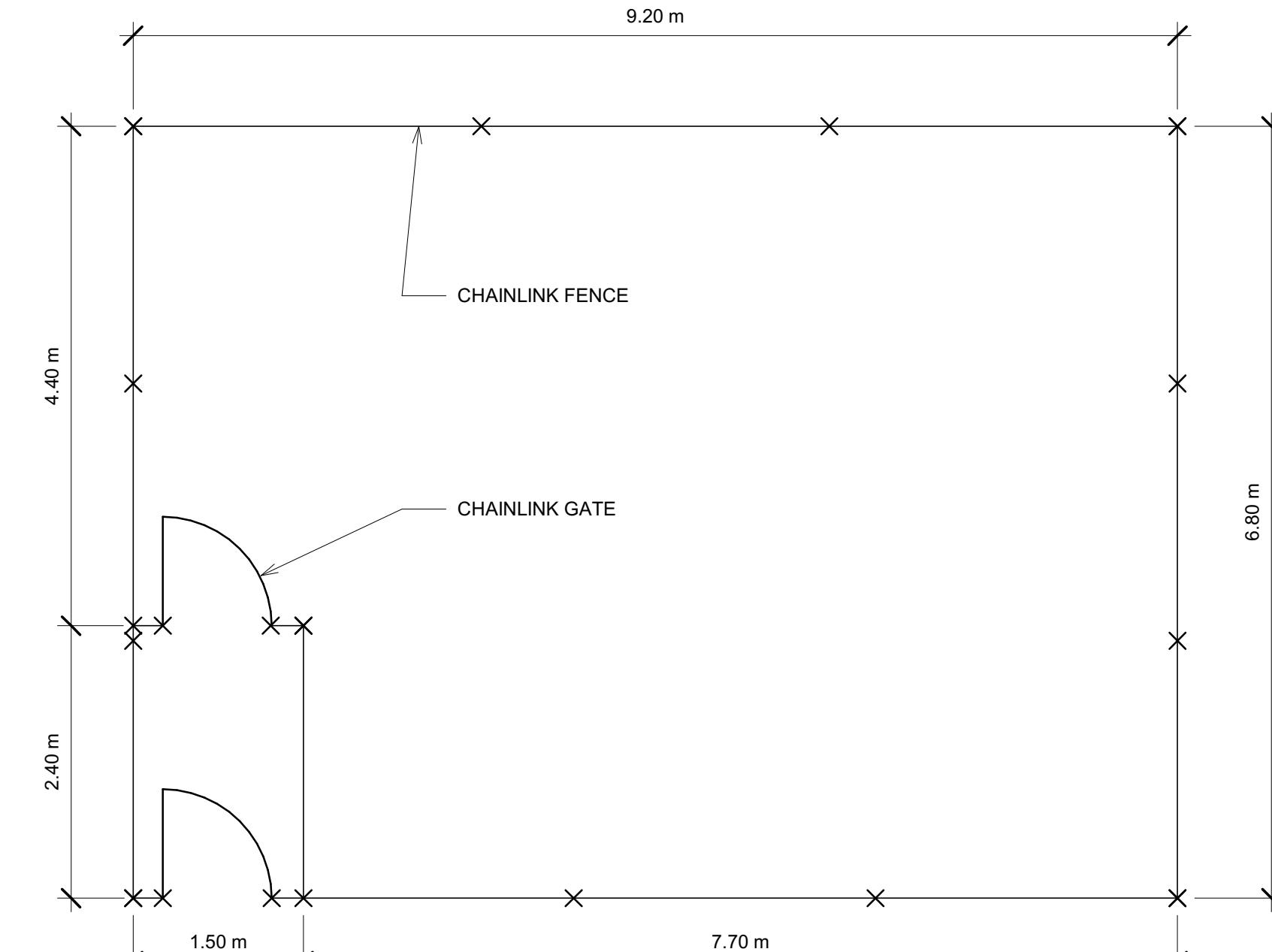
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SITE ACCESSORIES

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A1.07
REV #: D





(1) WEST VIEW



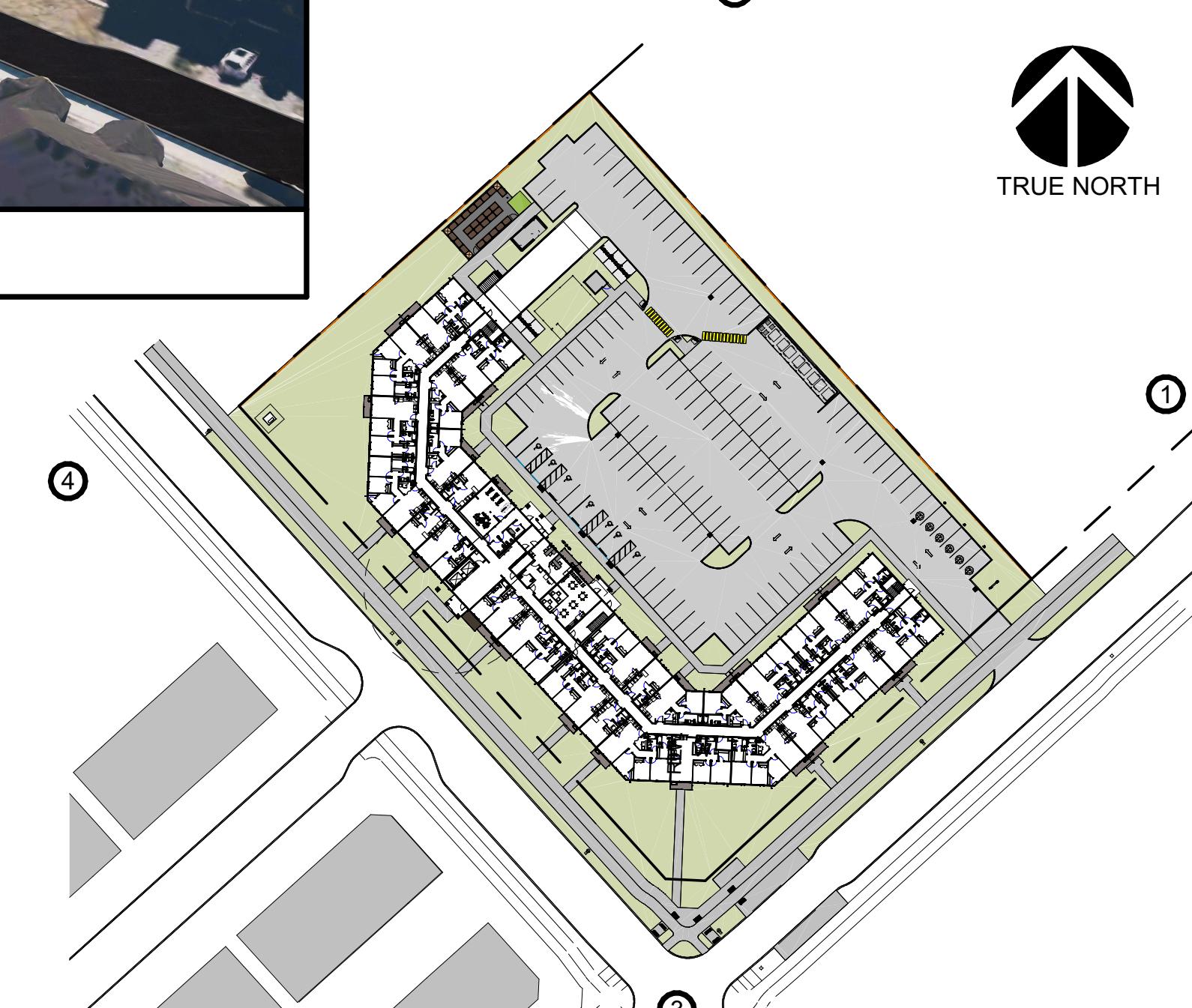
(2) SOUTH VIEW



(3) NOTRH VIEW



(4) EAST VIEW



The logo for Broadstreet Properties. It features a large, bold, stylized letter 'B' on the left. To the right of the 'B' is a dark grey rectangular box containing the word 'BROADSTREET' in large, white, sans-serif capital letters. Below this box, the words 'PROPERTIES LTD.' are written in a smaller, white, sans-serif font.

100 St Anns, Campbell River, B.C.
(T)250.286.8045 (F)250.286.8046
www.broadstreet.ca

SITE MAP:



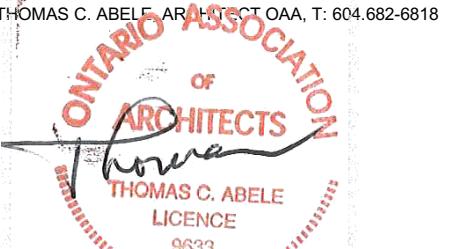
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR DP.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR DP.P. - 2	AUG 14, 2025

SEAL: ABELEARCHITECTURE



2025-08-19

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SEYMOUR PACIFIC'S IMAGE AND PROVIDE GOOD

NORTH	RESULTS.
PROJECT NAME:	

PROJECT NUMBER: **VR 2402**

ADDRESS:
425 CULDAFF RD
GLENMILLS, ON

DRAWING TITLE:
SURROUNDING AREA PERSPECTIVE

DRAWN BY:	NG
CHECKED BY:	TH
DATE:	AUG 14, 2025
SCALE:	As indicated

DRAWING #:	REV #:
<u>A1.08</u>	

REV #:



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P.P. - 1	JUN 02, 2025
D	RE-ISSUED FOR D.P.P. - 2	AUG 14, 2025



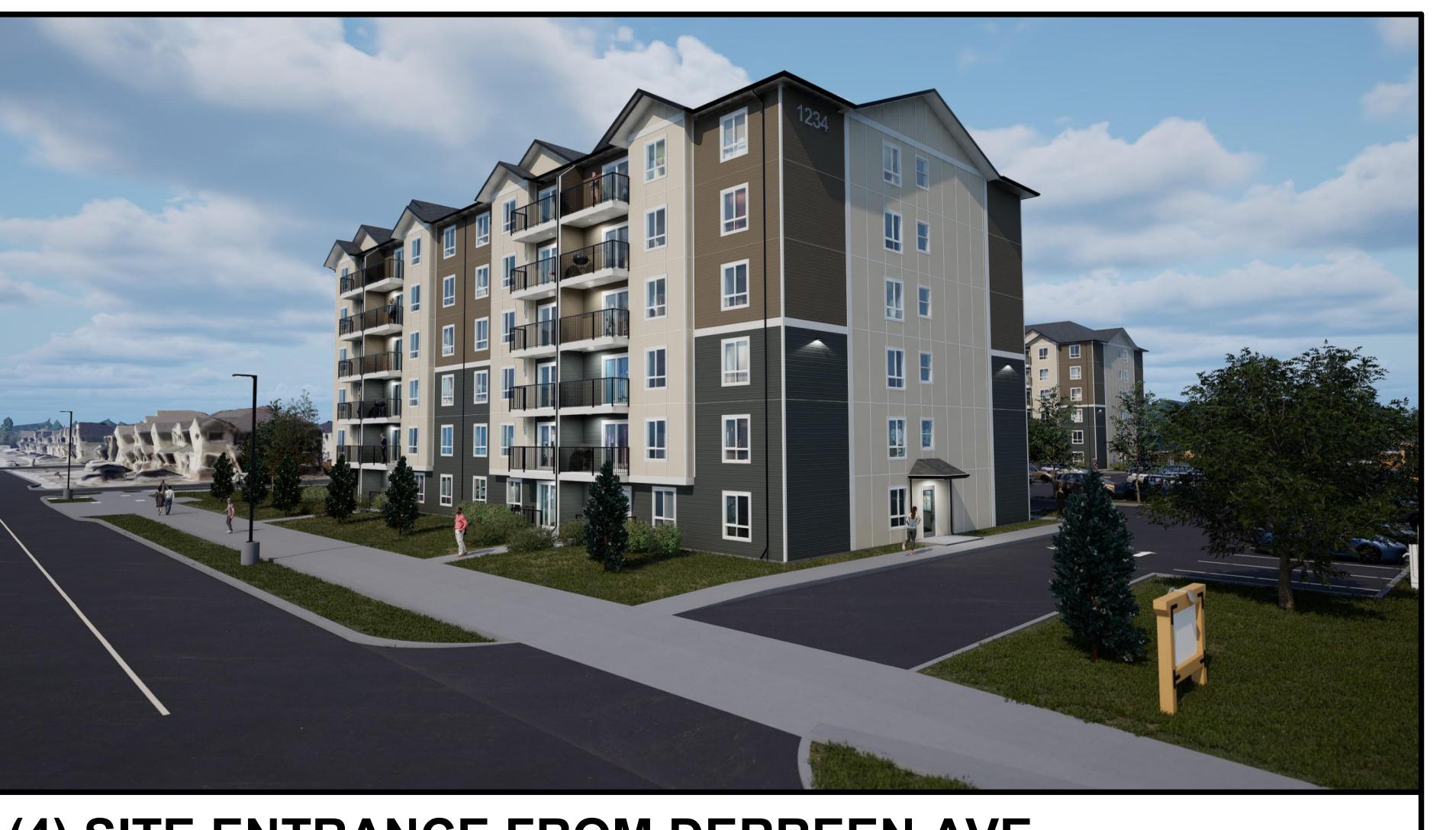
(1) MAIN ENTRANCE



(2) SOUTH VIEW - CORNER OF CULDAFF RD. & DERREEN AVE.



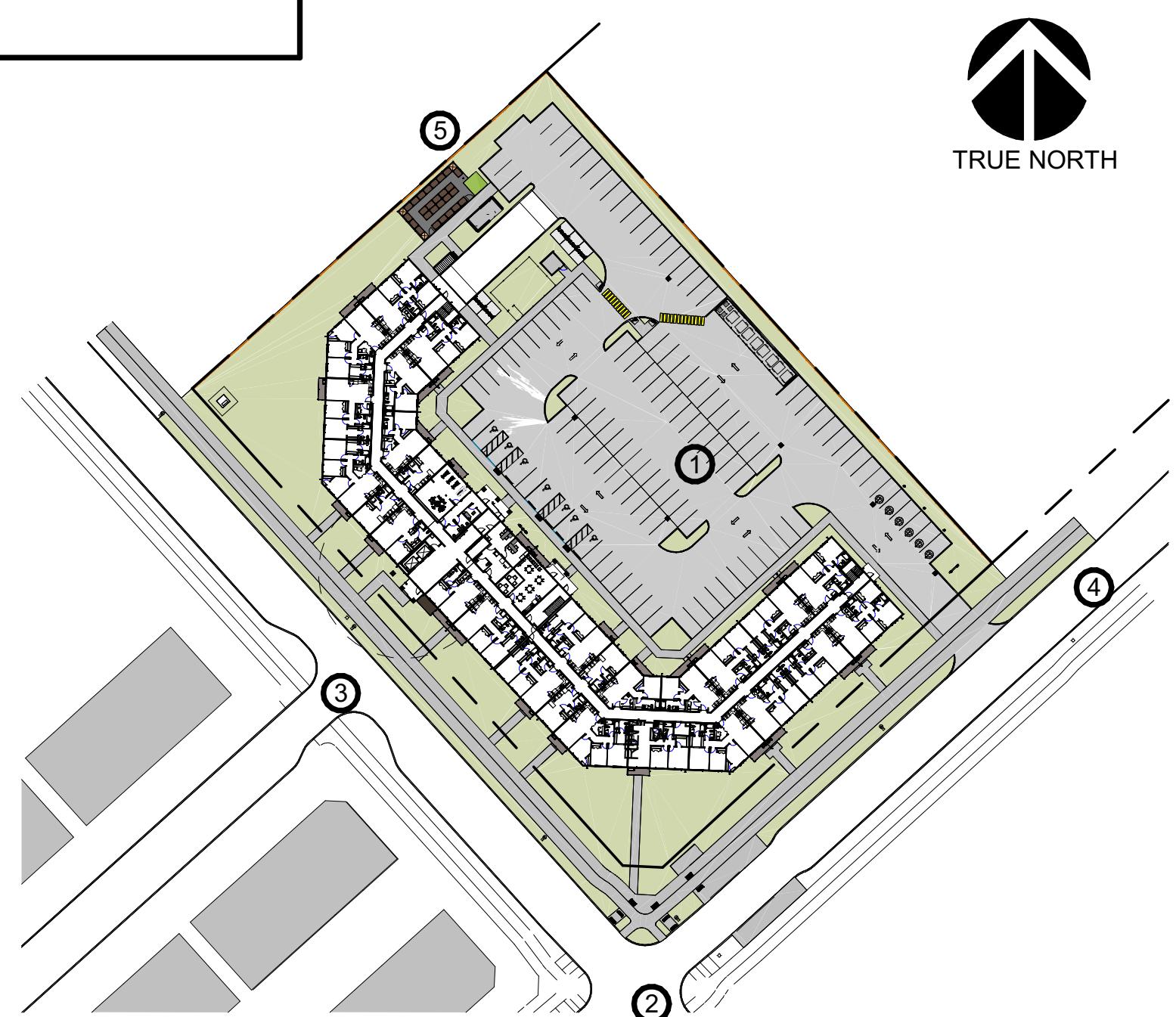
(3) STREET SIDE ENTRANCE



(4) SITE ENTRANCE FROM DERREEN AVE.



(5) AMENITY AREA



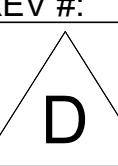
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SITE PERSPECTIVES

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A1.09





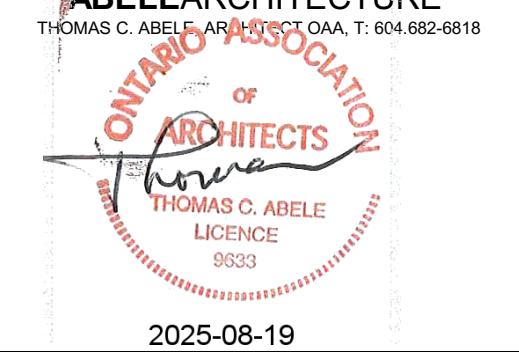
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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SEAL:



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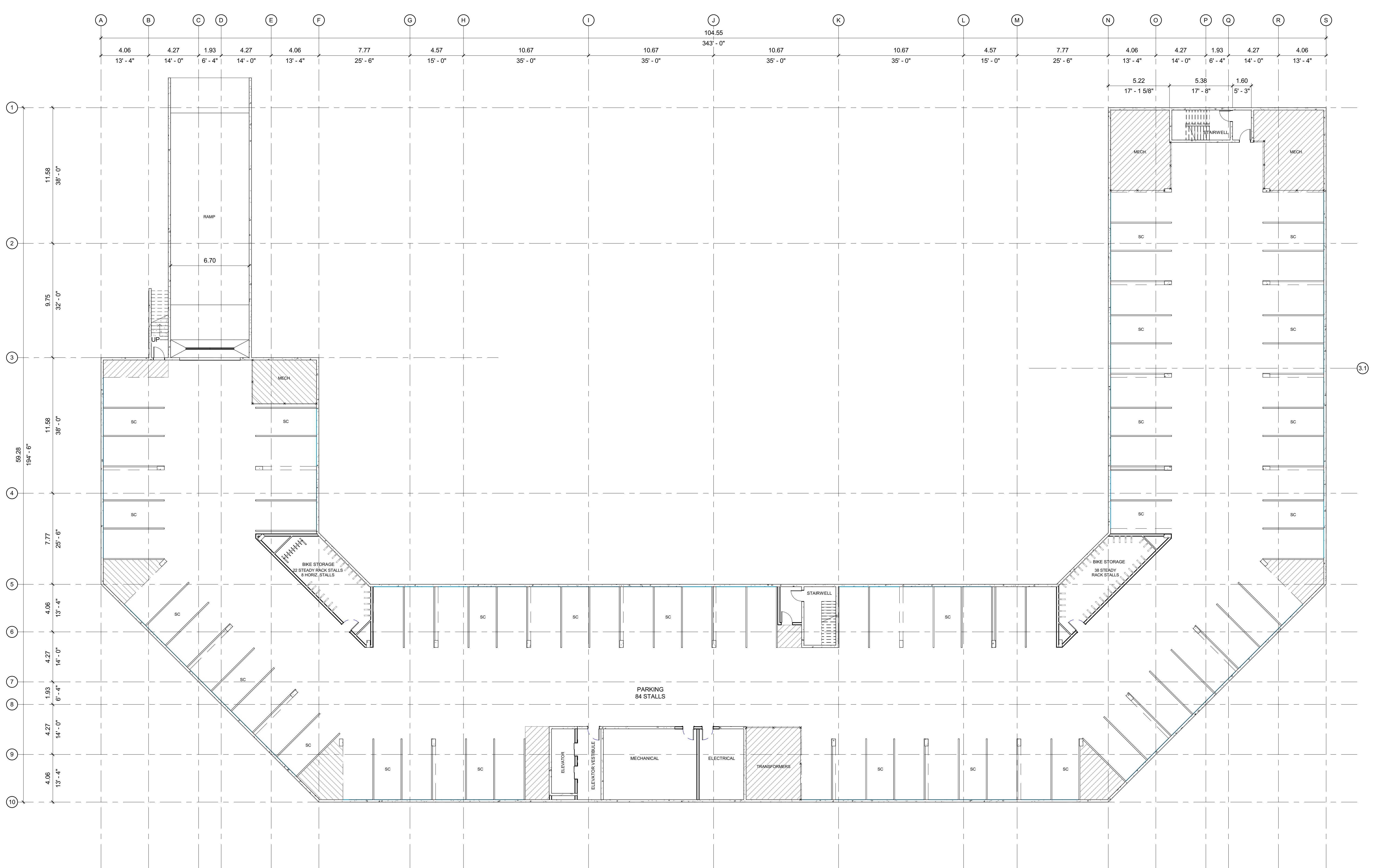
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
PARKADE FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A2.00
REV #: D





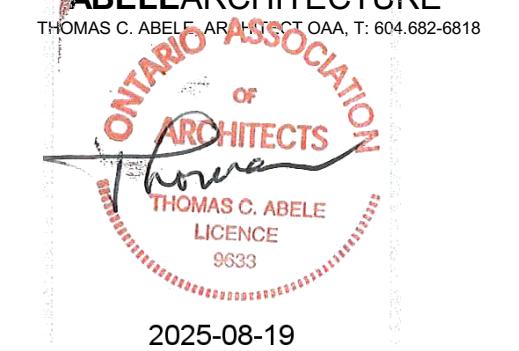
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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A	ISSUED FOR D.P.	OCT 15, 2024
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PROJECT NAME:
PALLADIUM TERRACE

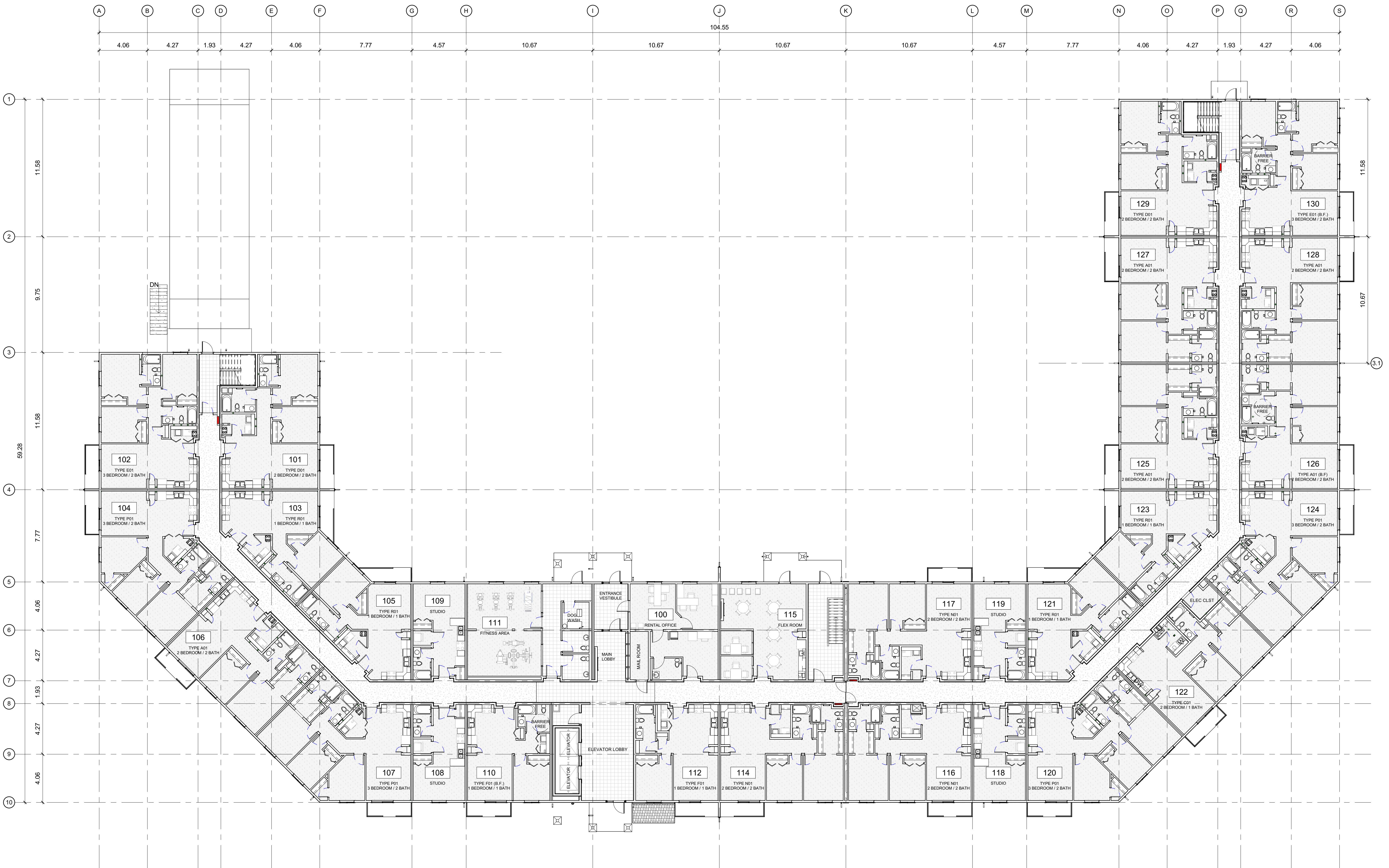
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A2.01
REV #: D
PLAN #: 19281 FILE #: D07-12-24-0140



① FIRST FLOOR PLAN
1:150

TOTAL FLOOR AREA = 2737.68 m²

FIREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1384.84 m²

RIGHT SIDE FLOOR AREA = 1384.84 m²



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

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PROJECT NAME:
PALLADIUM TERRACE

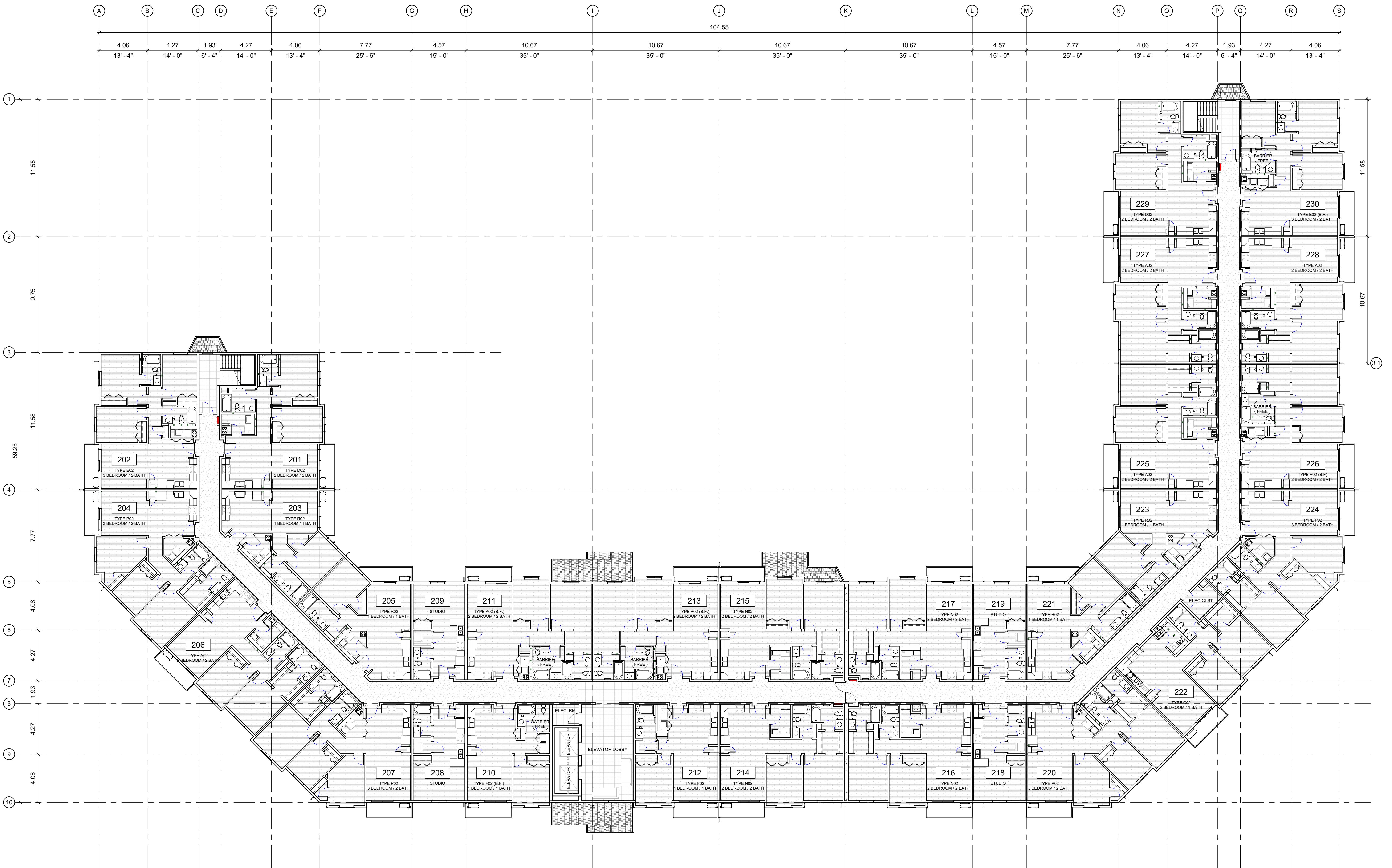
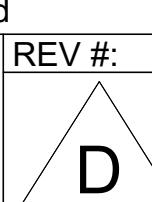
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SECOND FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A2.02



① SECOND FLOOR PLAN
1:150

TOTAL FLOOR AREA = 2774.61 m²

FIREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1387.58 m²

RIGHT SIDE FLOOR AREA = 1387.03 m²



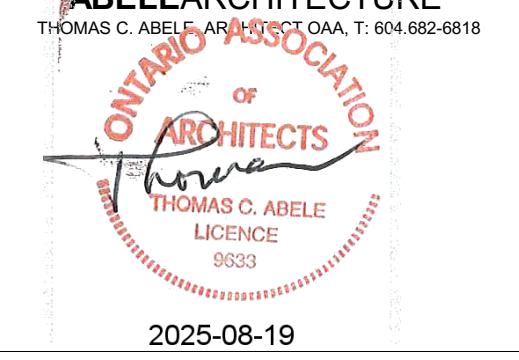
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL:



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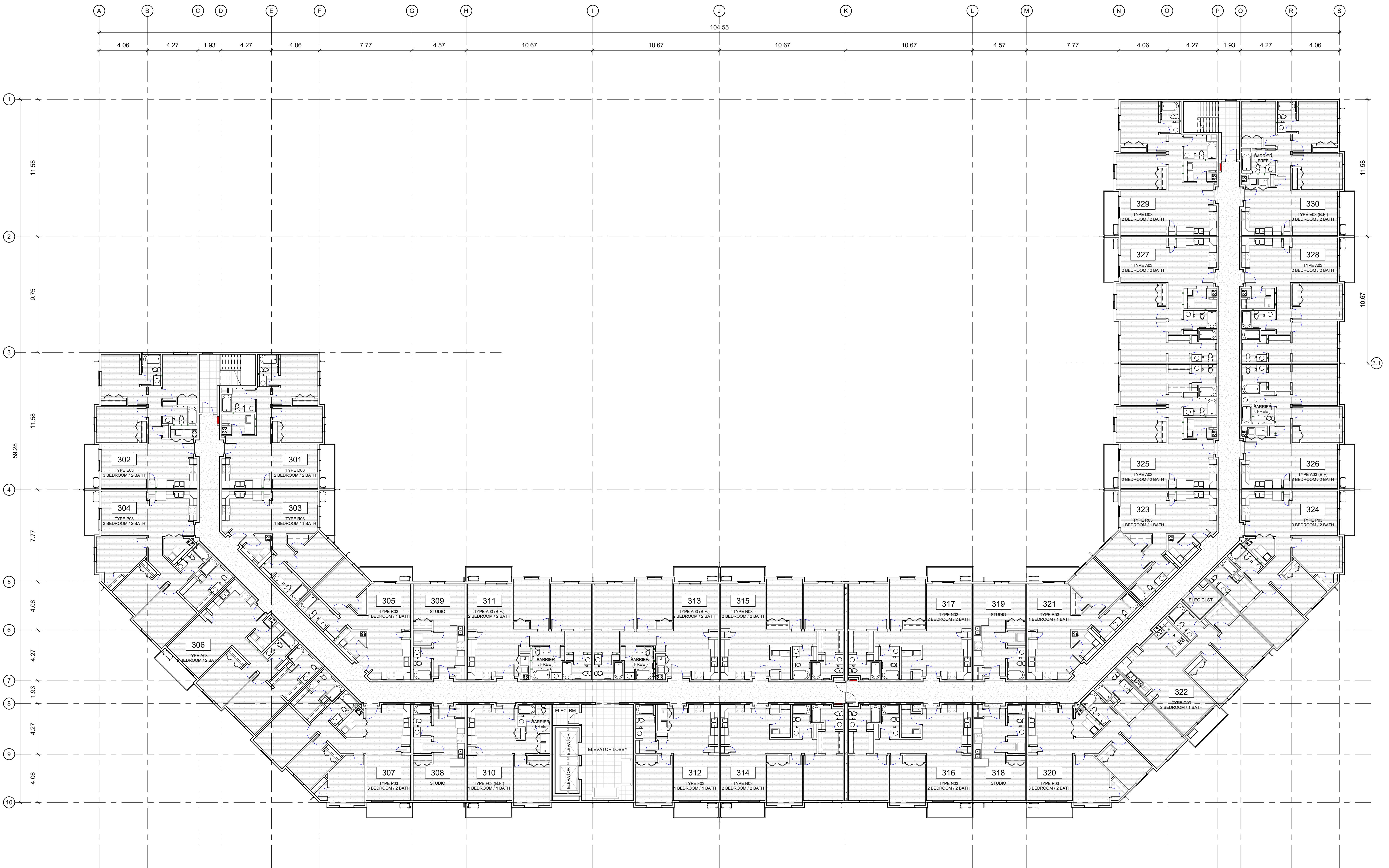
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
THIRD FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A2.03
REV #: D
PLAN #: 19281 FILE #: D07-12-24-0140



① THIRD FLOOR PLAN

TOTAL FLOOR AREA = 2774.61 m²

FIREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1387.58 m²

RIGHT SIDE FLOOR AREA = 1387.03 m²



SITE MAP:

PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision
A	ISSUED FOR D.P.	OCT 15, 2008
B	RE-ISSUED FOR D.P.	FEB 14, 2009
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2009
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2009

A red circular seal with a decorative border. The words 'ONTARIO ASSOCIATION' are at the top, 'OF' is in the center above a signature, and 'ARCHITECTS' is below the signature. The signature reads 'Thomas C. Abele'. Below the signature, the text 'LICENCE' is followed by '9633'. At the bottom of the seal, the date '2025-08-19' is printed. The seal is overlaid on a faint background of the same text information.

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE

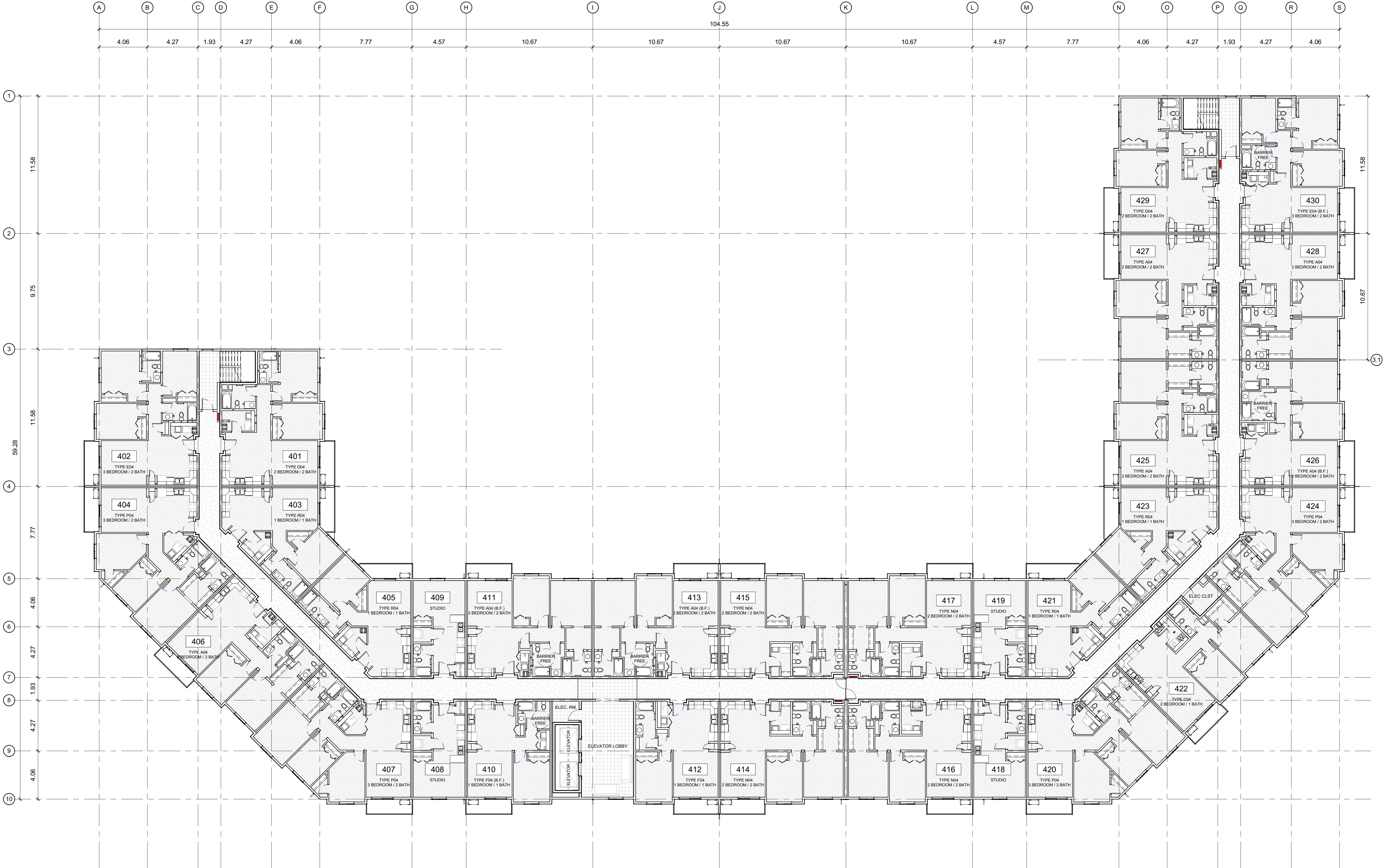
PROJECT NAME: PALLADIUM TERRACE

PROJECT NUMBER: VB 2402

ADDRESS:

DRAWING TITLE:

DRAWN BY:	NG
CHECKED BY:	TH
DATE:	AUG 14, 2025
SCALE:	As indicated
DRAWING #:	REV #:    
<u>A2.04</u>	



1 FOURTH FLOOR PLAN
1 : 150

1 1 : 150

TOTAL FLOOR AREA = **2774.61 m²**

IREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1387.58 m²
RIGHT SIDE FLOOR AREA = 1387.03 m²



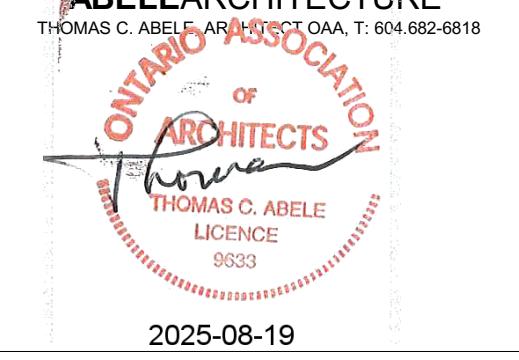
PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
B	RE-ISSUED FOR D.P.	FEB 14, 2025
C	RE-ISSUED FOR D.P. - 1	JUN 13, 2025
D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025

SEAL:



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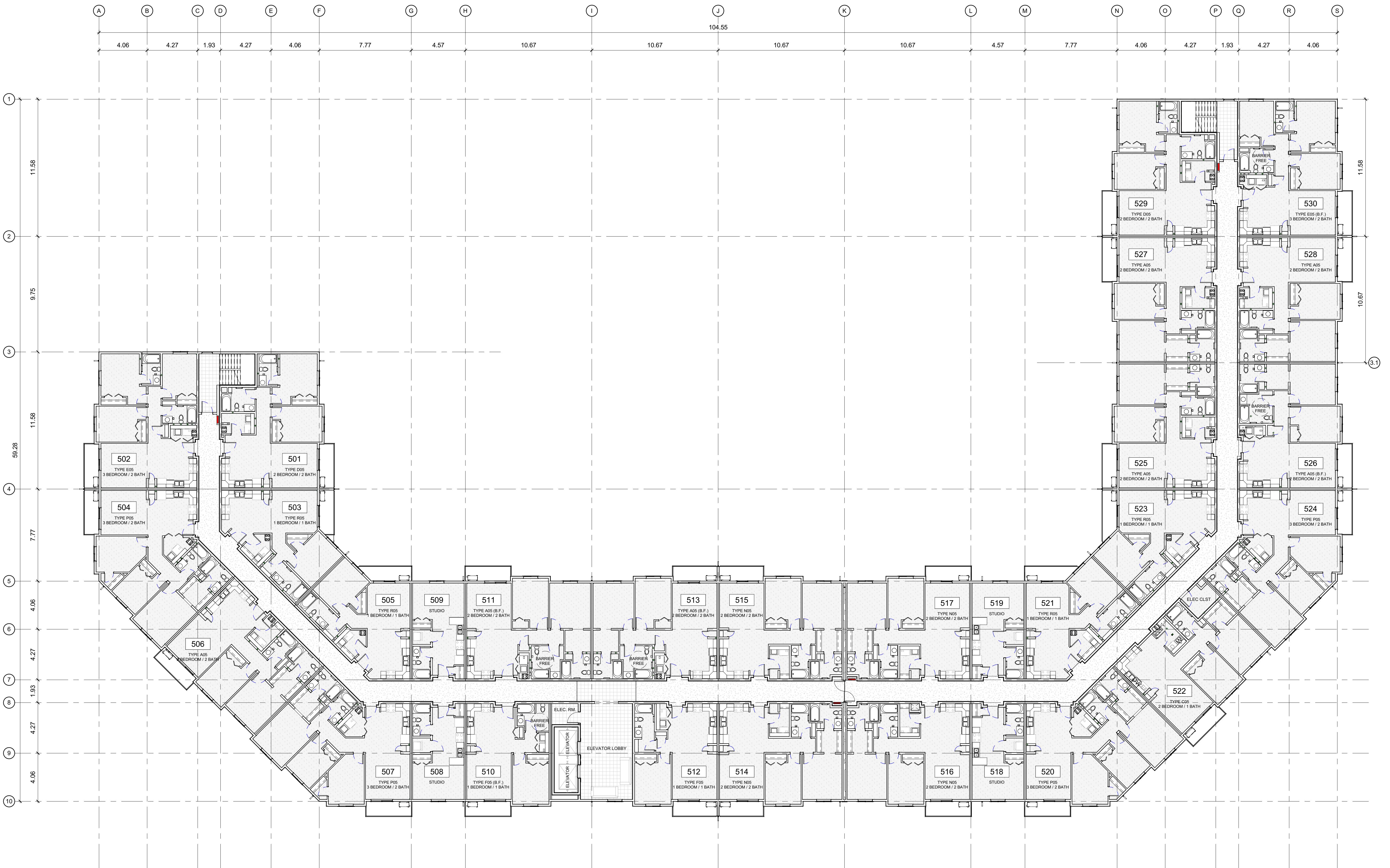
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
FIFTH FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A2.05
REV #: D
PLAN #: 19281 FILE #: D07-12-24-0140



TOTAL FLOOR AREA = 2774.61 m²

FIREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1387.58 m²

RIGHT SIDE FLOOR AREA = 1387.03 m²



PROJECT STATUS:

DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
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SEAL:



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PROJECT NAME:
PALLADIUM TERRACE

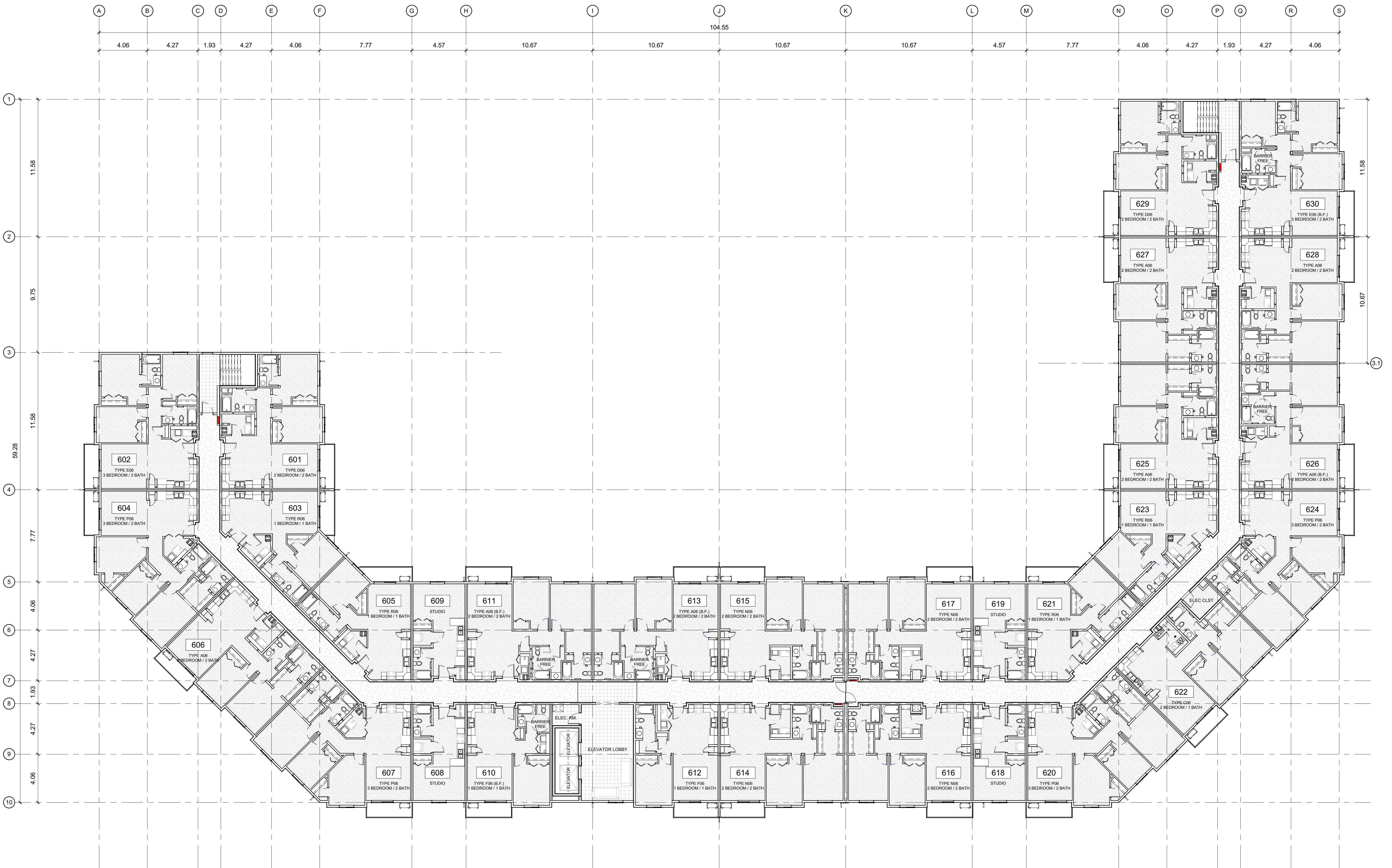
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
SIXTH FLOOR PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A2.06



① SIXTH FLOOR PLAN

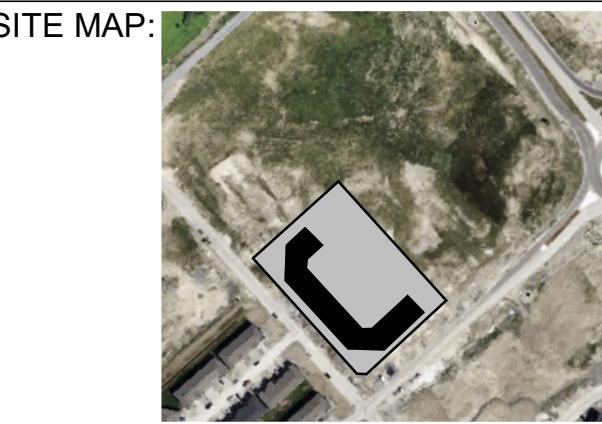
1:150

TOTAL FLOOR AREA = 2774.61 m²

FIREWALL FLOOR AREA BREAKDOWN

LEFT SIDE FLOOR AREA = 1387.58 m²

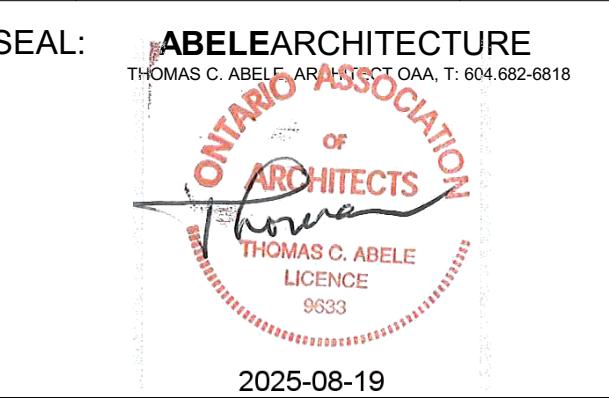
RIGHT SIDE FLOOR AREA = 1387.03 m²



PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR D.P.	OCT 15, 2024
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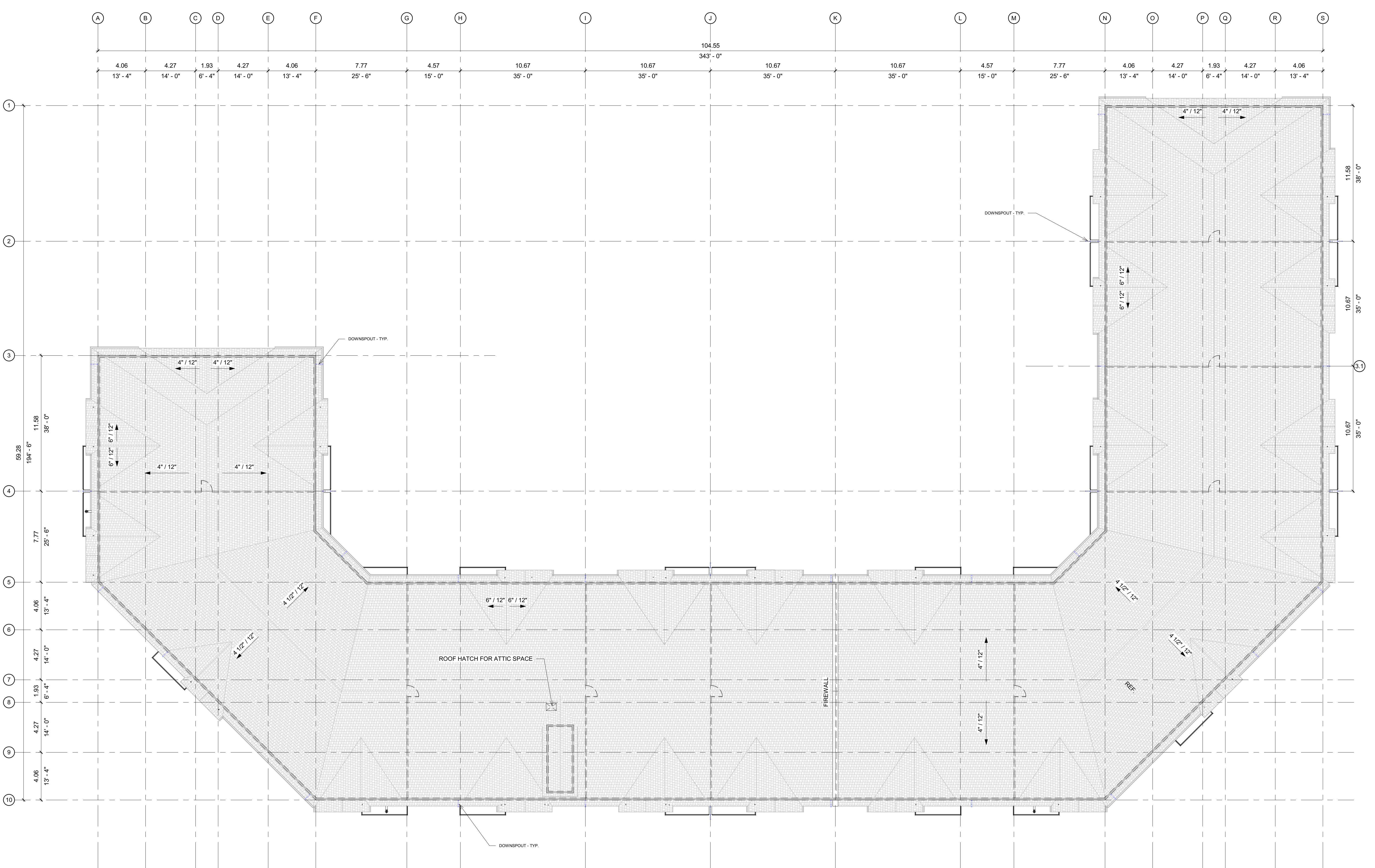
PROJECT NAME:
PALLADIUM TERRACE

PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
ROOF PLAN

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated
DRAWING #: A2.07
REV #: D

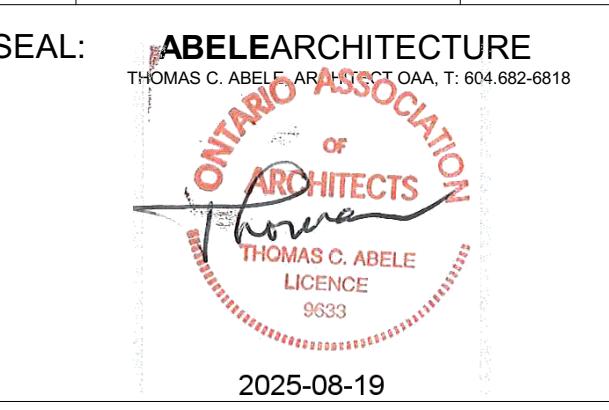




PROJECT STATUS:
DEVELOPMENT PERMIT

Revision Schedule

No.	Description	Revision Date
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D	RE-ISSUED FOR D.P. - 2	AUG 14, 2025



2025-08-19



1	PLANK - CEDARMILL (IRON GREY)		8	EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED
2	PLANK - CEDARMILL (TIMBER BARK)		9	CULTURED STONE - TBC
3	PANEL - SMOOTH (NAVajo BEIGE)		10	LED WALL SCONCE
4	TRIM - SMOOTH (ARTIC WHITE)		11	WINDOW - SLIDER - WHITE
5	TIMBER - STAIN TBD		12	WINDOW - FIXED - WHITE
6	ALUMINUM RAILING - WELDED SYSTEM - BLACK		13	PATIO DOOR - SLIDER - WHITE
7	3 PANEL CLASSIC SOFFIT - WHITE		14	ENTRY DOOR - SWING - ALUMINUM

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PROJECT NAME:
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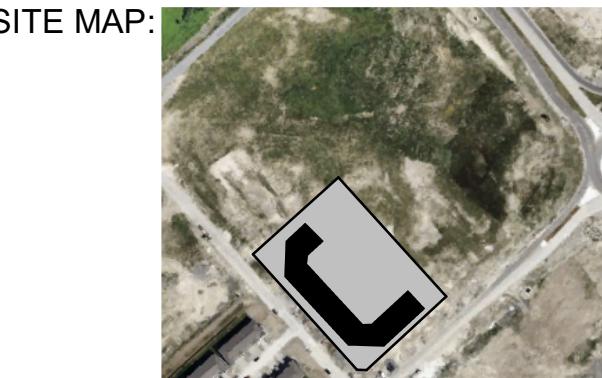
PROJECT NUMBER:
VP 2402

ADDRESS:
425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE:
ELEVATION - COLOUR

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A3.00
REV #: D
PLAN #: D07-12-24-0140



PROJECT STATUS:

DEVELOPMENT PERMIT

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SEAL: ABELE ARCHITECTURE

THOMAS C. ABELE, ARQUITECTO Q.A.A. T: 604-682-4818



2025-08-19

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PROJECT NAME: PALLADIUM TERRACE

PROJECT NUMBER: VP 2402

ADDRESS: 425 CULDAFF RD
OTTAWA, ON

DRAWING TITLE: ELEVATION - COLOUR

DRAWN BY: NG
CHECKED BY: TH
DATE: AUG 14, 2025
SCALE: As indicated

DRAWING #: A3.01

REV #: D

PLAN #: D07-1224-0140

