

PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

21.326SD



**TURNER
FLEISCHER**

67 Lesmill Rd
Toronto, ON, M3B 2T8

Contact Name: Reagan Chi

Phone Number: 416-425-2222 ext 277

Email: reagan.chi@turnerfleischer.com

**ISSUED FOR SPA
11/19/25**

Ron Koudys

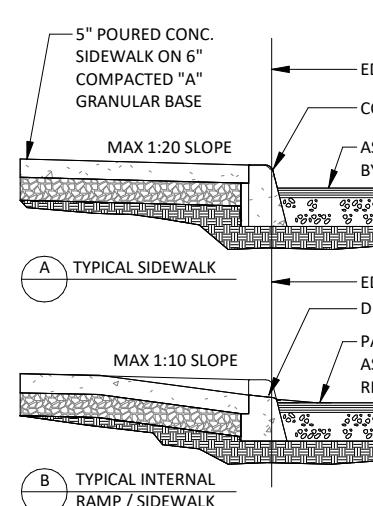
Landscape Architects
368 Oxford Street East
London, ON N6A 1V7
Contact Name: Kris M. Bujold
Phone Number: 519-667-3322
Email: kris@rkla.ca

Fotenn

Planning + Design
174 Spadina Ave. Suite 304
Toronto, ON M5V 2A6
Contact Name: Nico Church
Phone Number: 613-730-5709
Email: church@fotenn.com

Parsons Corporation

Engineering
100-1223 Michael St North
Ottawa, ON K1J 7T2
Contact Name: Benoit Villeneuve
Phone Number: 613-691-1596
Email: benoit.villeneuve@parsons.com



GENERAL NOTES:
G1. SIDEWALK SLOPES TO BE $1/8''$ / FT. (1%)
MAX. IN 12' LENGTH ALONG CURBFRONT,
1/4 FT. IN 12' MAX. IN OTHER AREAS.
G2. EXPANSION JOINTS ARE TO BE AS SPECIFIED
& AS LOCATED ON ARCHITECTURAL DOCUMENTS.
G3. REFERENCING TO BE AS PER STRUCTURAL
DOCUMENTS.
G4. CONCRETE TO BE BROOM FINISHED AS PER
ARCHITECTURAL SPECIFICATIONS.

G5. CONCRETE RAMP TACTILE SURFACES TO BE IN ACCORDANCE WITH THE
REQUIREMENTS IN PROVINCE OF ONTARIO - DESIGN OF PUBLIC SPACES STANDARD -
PART IV.1 OF ONTARIO REGULATION 191/11. IT MUST HAVE TACTILE WALKING
SURFACE INDICATORS THAT:

i) HAVE RAISED TACTILE PROFILES

ii) HAVE CONTRAST COLOR/TEXTURE WITH THE ADJACENT SURFACE,

iii) ARE LOCATED AT THE BOTTOM OF THE CURB RAMP

iv) ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE,

v) EXTEND THE FULL WIDTH OF THE CURB RAMP, AND

vi) ARE A MINIMUM OF 10mm IN DEPTH

NOTES:

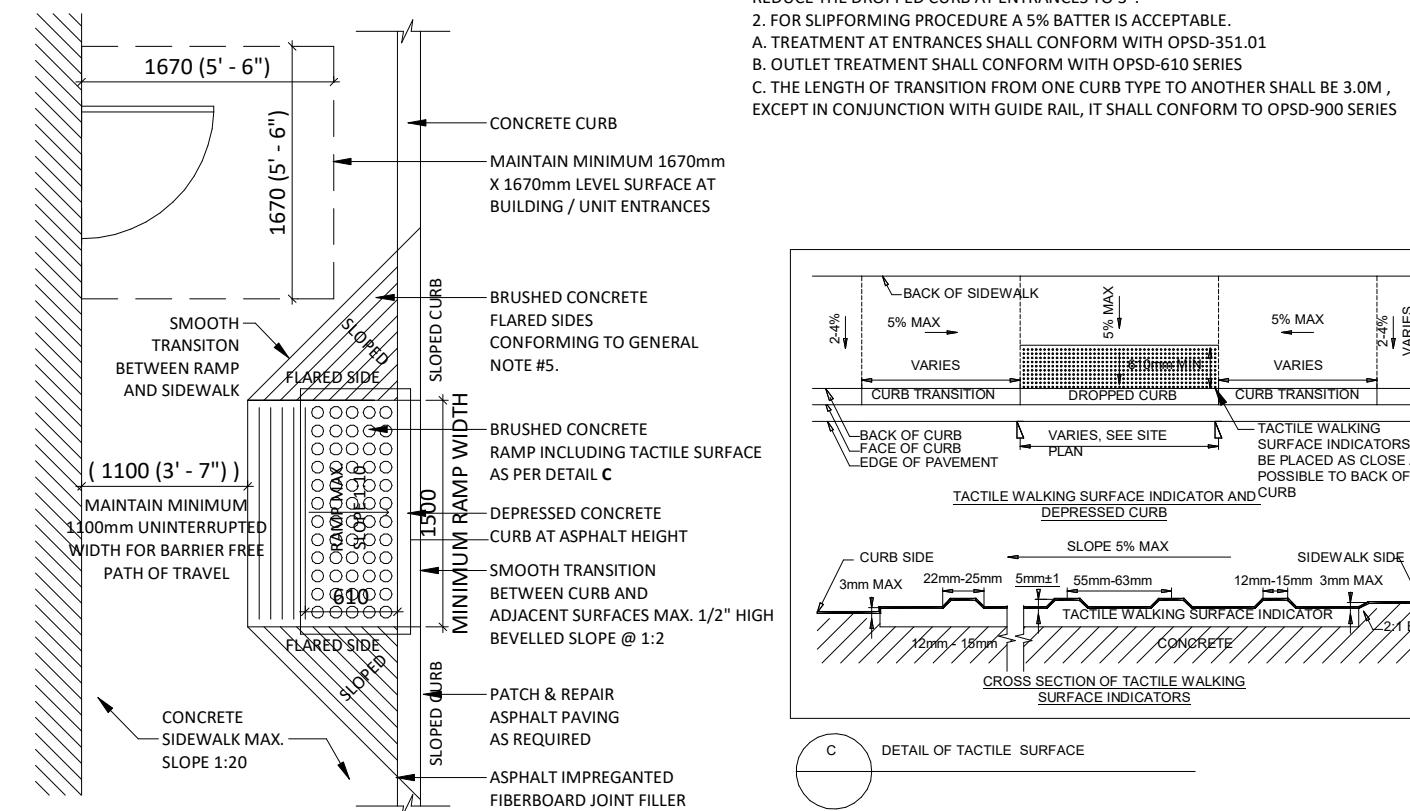
1. WHERE GROVEL IS CONTINUOUSLY ADJACENT,
REDUCE THE DROPPED CURB AT ENTRANCES TO 3".

2. FOR SLOPING PROCEDURE A 5% RATED IS ACCEPTABLE.

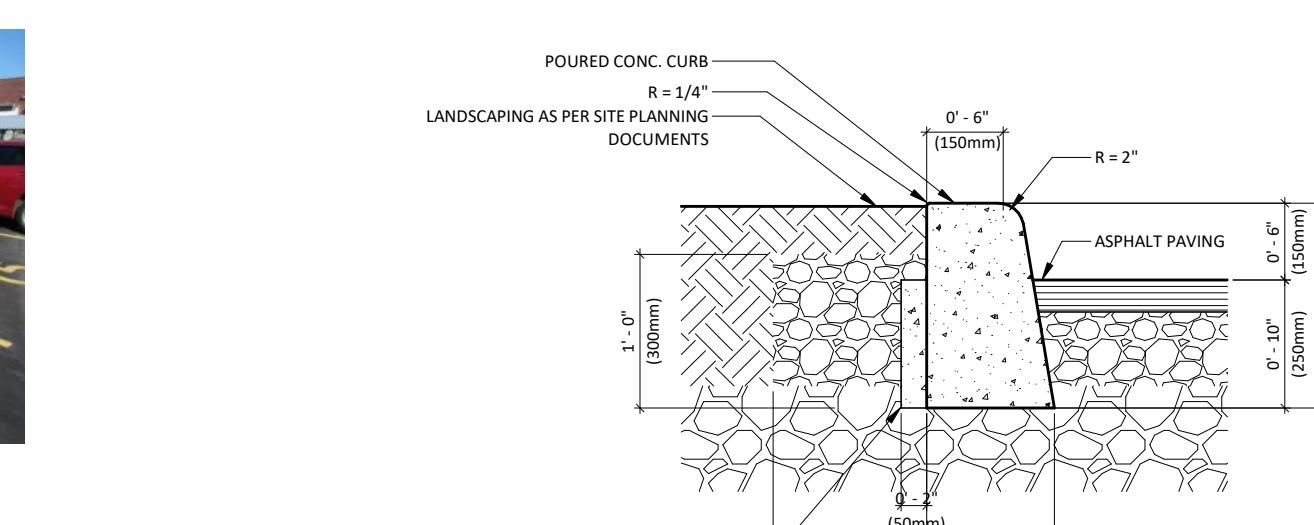
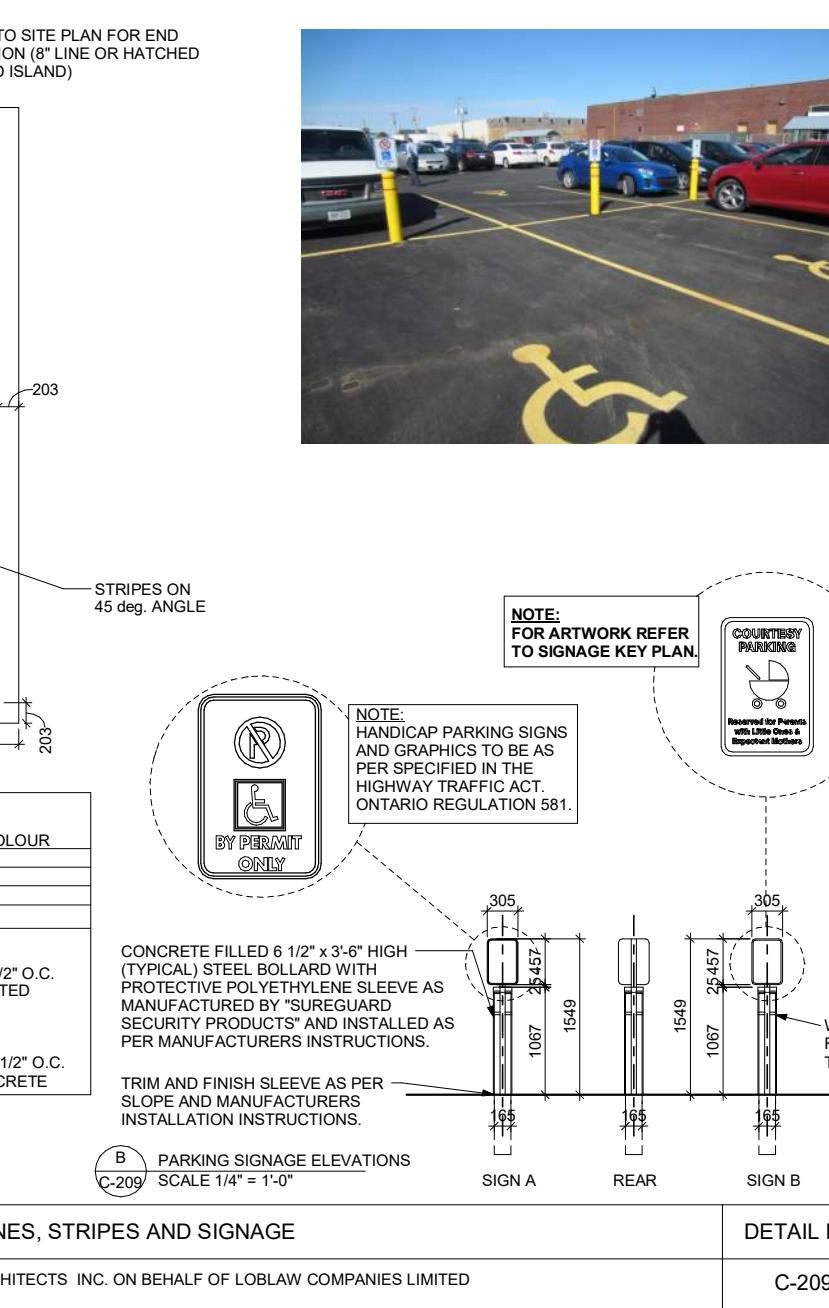
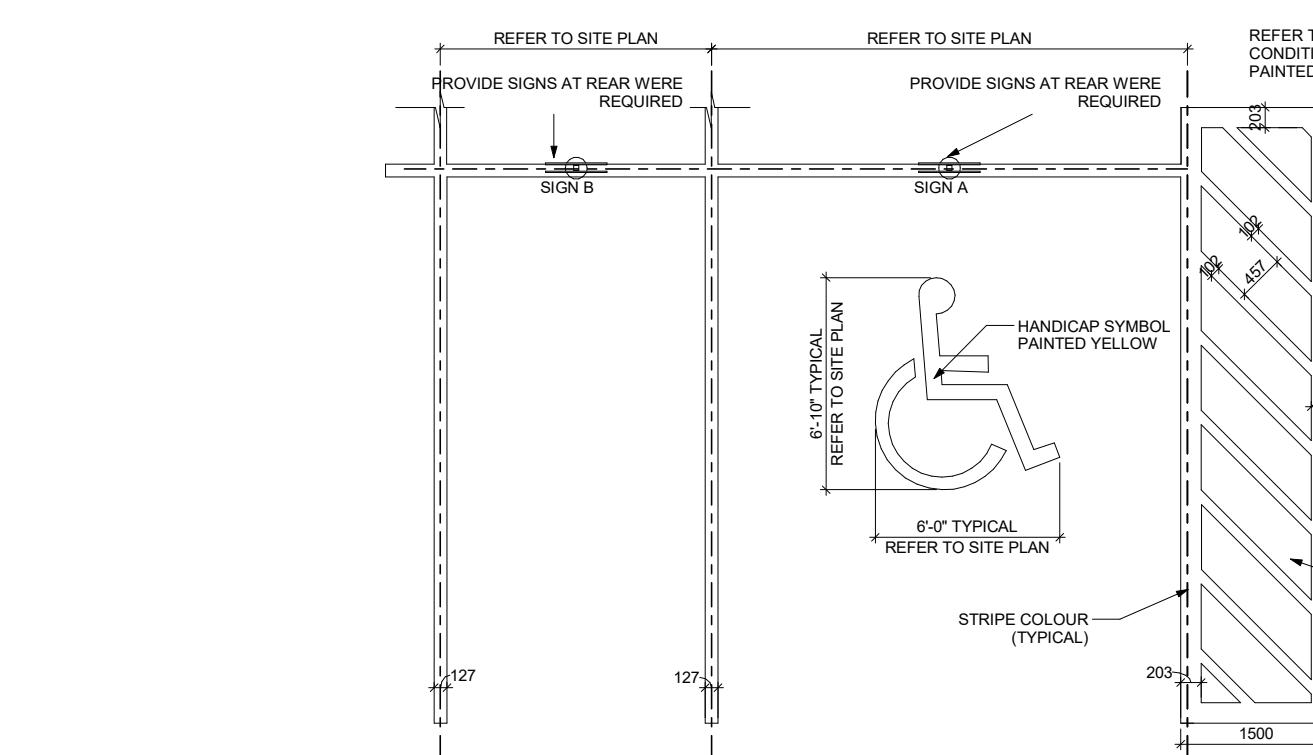
A TREATMENT AT ENTRANCES SHALL CONFORM TO OPSD-51.01

B. OUTLET TREATMENT SHALL CONFORM WITH OPSD-51.01

C. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M,
EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES



3 CURB RAMP WITH TACTILE PLATES
1 : 50



POURED CONC. CURB
R = 1/4"

LANDSCAPING AS PER SITE PLANNING
DOCUMENTS

0' - 6" (150mm)

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

0' - 10" (250mm)

1' - 4" (400mm)

ASPHALT PAVING

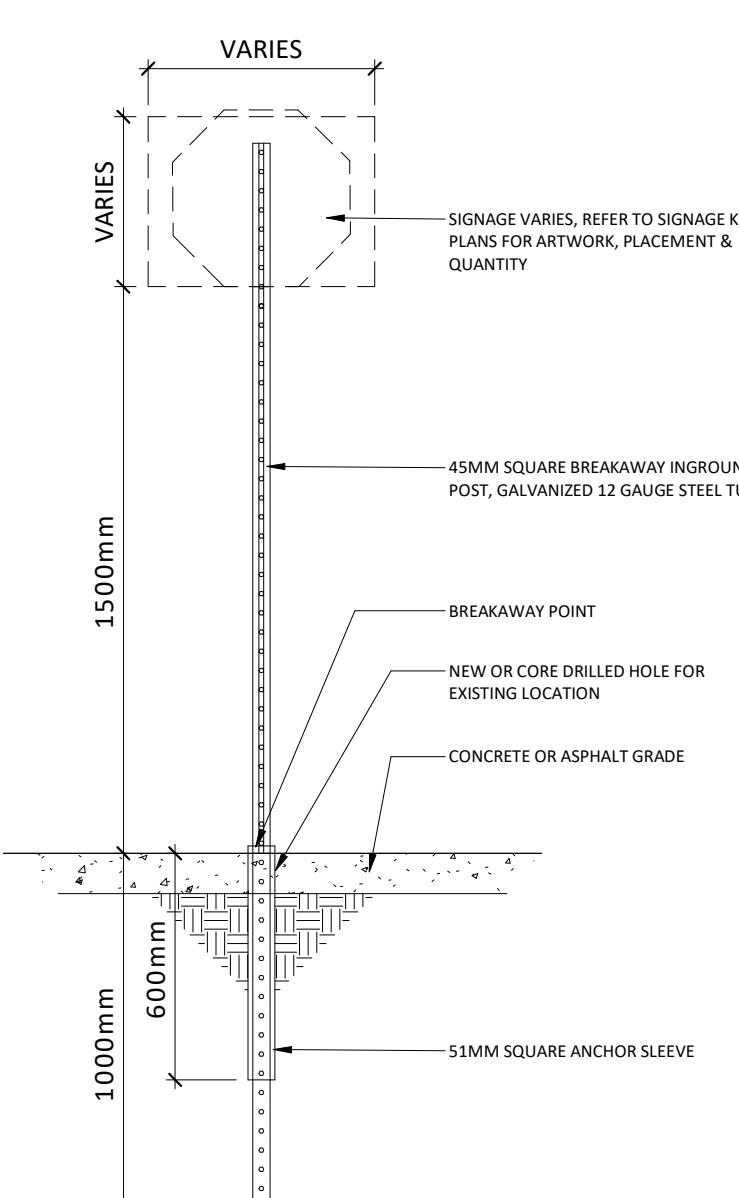
0' - 10" (250mm)

1' - 4" (400mm)

4 C-209_PAINTED PARKING LINES, STRIPES AND SIGNAGE
1 : 75

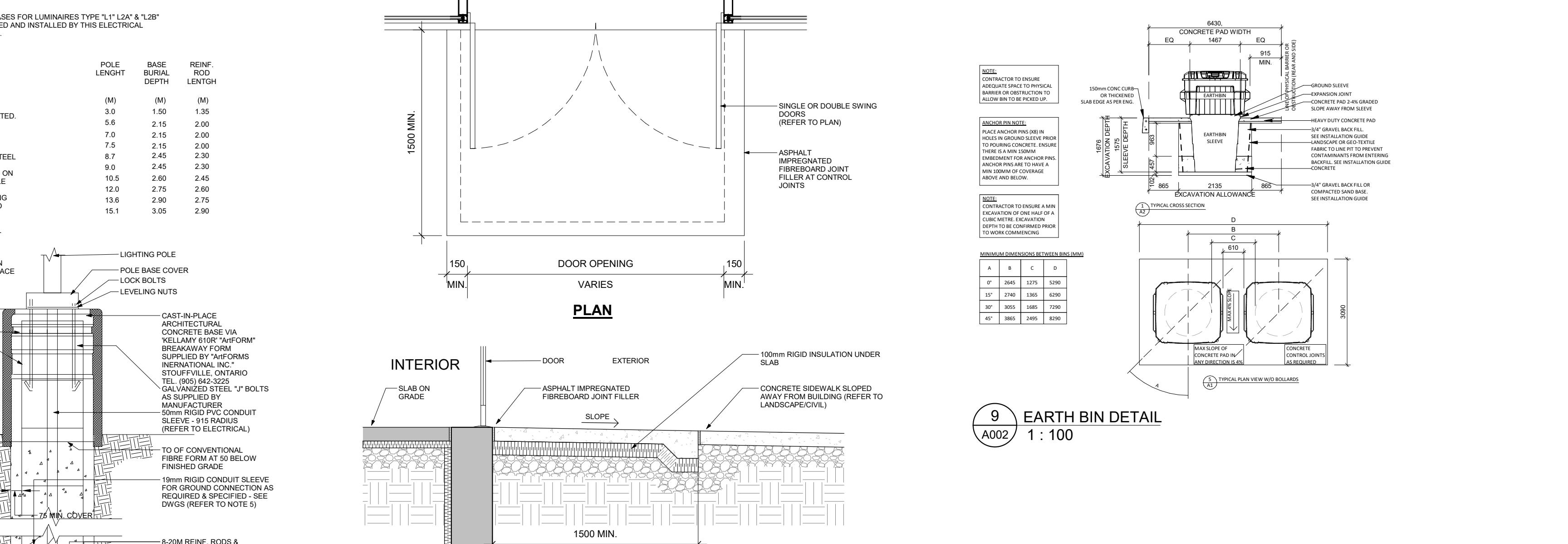


TYPICAL POURED CONCRETE CURB
DETAIL NO. C-211



TYPICAL TRAFFIC SIGN
1 : 20

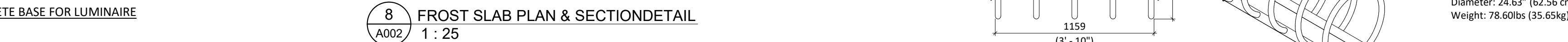
6 C-210_TYPICAL TRAFFIC SIGN
1 : 20



7 LIGHT STANDARD
N.T.S.
1 : 25



8 FROST SLAB PLAN & SECTIONDETAIL
1 : 25



9 EARTH BIN DETAIL
1 : 100



10 BICYCLE RACK DETAIL - 12 SPACES
1 : 25

MAGLIN SITE FURNITURE INC.
350 SERIES

MBR350-5-S
MATERIALS: H.S. Steel Tube, Formed Steel and Solid
Steel Angle

FINISH: All steel components are protected with E-
Coat Rust Proofing. The Maglin Powdercoat System
provides a durable finish on all metal surfaces.

INSTALLATION: The 300 Series - 350 Bike Rack is
delivered pre-assembled. It is available with a surface
mount installation.

Loblaw
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

SITE DETAILS

PROJECT NO.

21_326D

PROJECT DATE

2025-03-07

DRAWN BY

FPI

CHECKED BY

RAD

SCALE

As indicated

DRAWING NO.

A002

PLAN #19006 TLE ED1715/23.09/04

ONTARIO
ASSOCIATION
OF
ARCHITECTS
POPE, JEREMY DAVID
LICENCE #4953

This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The content of this drawing is the sole responsibility of Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information. The architect is not responsible for any errors or omissions in the information provided with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction and the architect is not responsible for any errors or omissions in the information provided with the work. The architect must assume full responsibility and bear costs for any corrections or damages from his work.

The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the location and extent of any existing buildings, fences, trees, etc. Turner Fleischer is not responsible for any errors or omissions in the survey or any changes made to the site since the survey was made. The surveyor must assume full responsibility and bear costs for any corrections or damages from his work.

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	± 3.66 ACRES	± 1.48 HA.
PROPOSED BUILDING A AREA	$\pm 34,498$ S.F.	$\pm 3,205$ S.M.
MEZZANINE AREA	$\pm 2,595$ S.F.	± 241 S.M.
TOTAL BUILDING A AREA	$\pm 37,093$ S.F.	$\pm 3,446$ S.M.
PROPOSED BUILDING B AREA	$\pm 1,794$ S.F.	± 45 S.M.
PROPOSED ME ROOM	± 150 S.F.	± 14 S.M.
TOTAL BUILDING B AREA	$\pm 1,944$ S.F.	± 459 S.M.
TOTAL GROSS FLOOR AREA	$\pm 39,440$ S.F.	$\pm 3,664$ S.M.
TOTAL BUILDING AREA	$\pm 42,035$ S.F.	$\pm 3,905$ S.M.
TOTAL PARKING PROVIDED	179 CARS	4.88/100 S.M.
COVERAGE	4.54/100 S.F.	

LEGEND

	PROPOSED BUILDING
	PROPOSED ENTRANCE ARROW
	PROPOSED CONCRETE SIDEWALK
	PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
	PROPOSED PCX PARKING
	PROPOSED EV PARKING
	PROPOSED TRANSFORMER
	EXTENT OF RIGHT OF WAY (R.O.W.)

21 2025-11-19 ISSUED FOR SPA GEA
18 2025-02-14 ISSUED FOR SPA GEA
12 2025-10-25 ISSUED FOR SPA FPI
5 2023-08-08 ISSUED FOR COORDINATION FPI
DATE DESCRIPTION BY

**Loblaw
Companies
Limited**

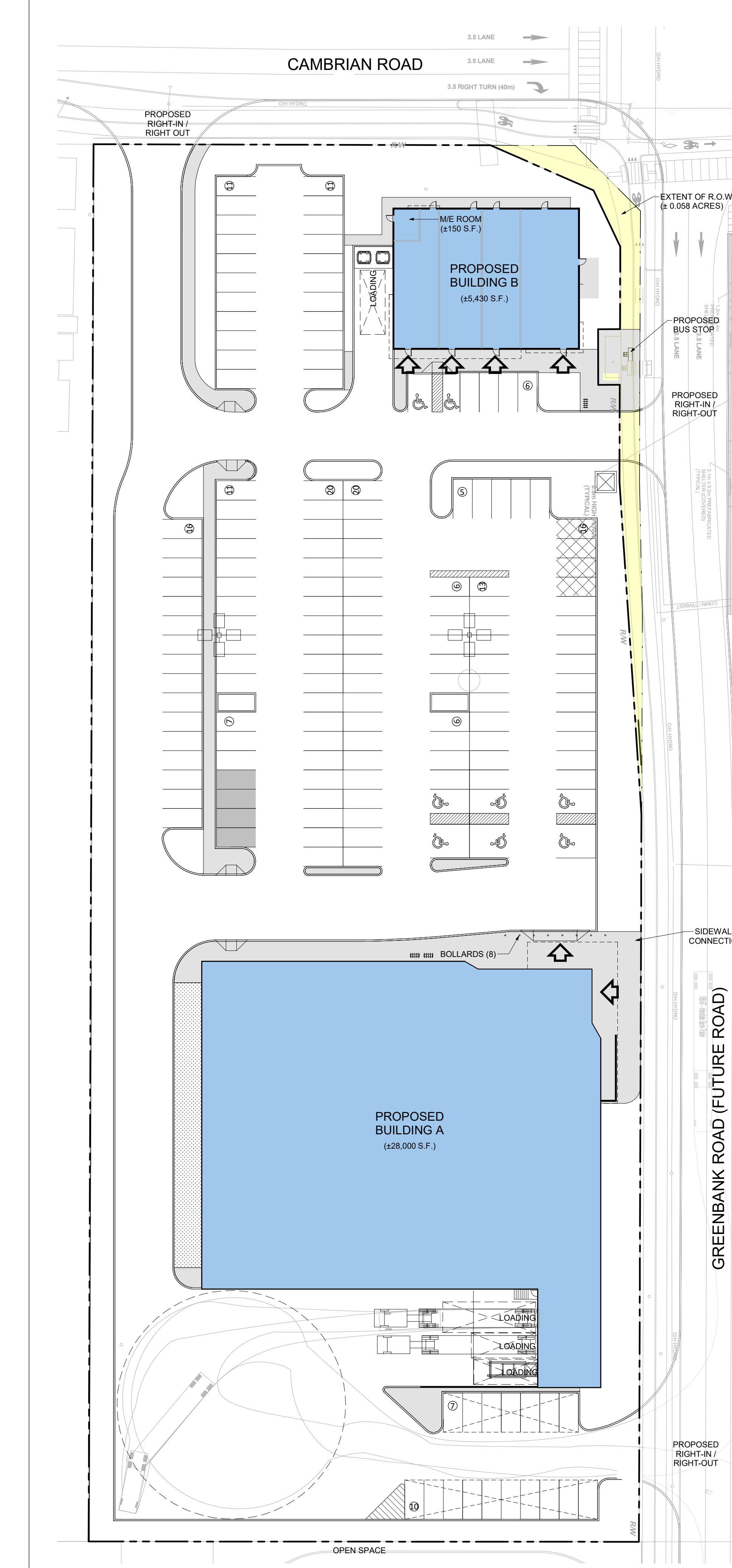
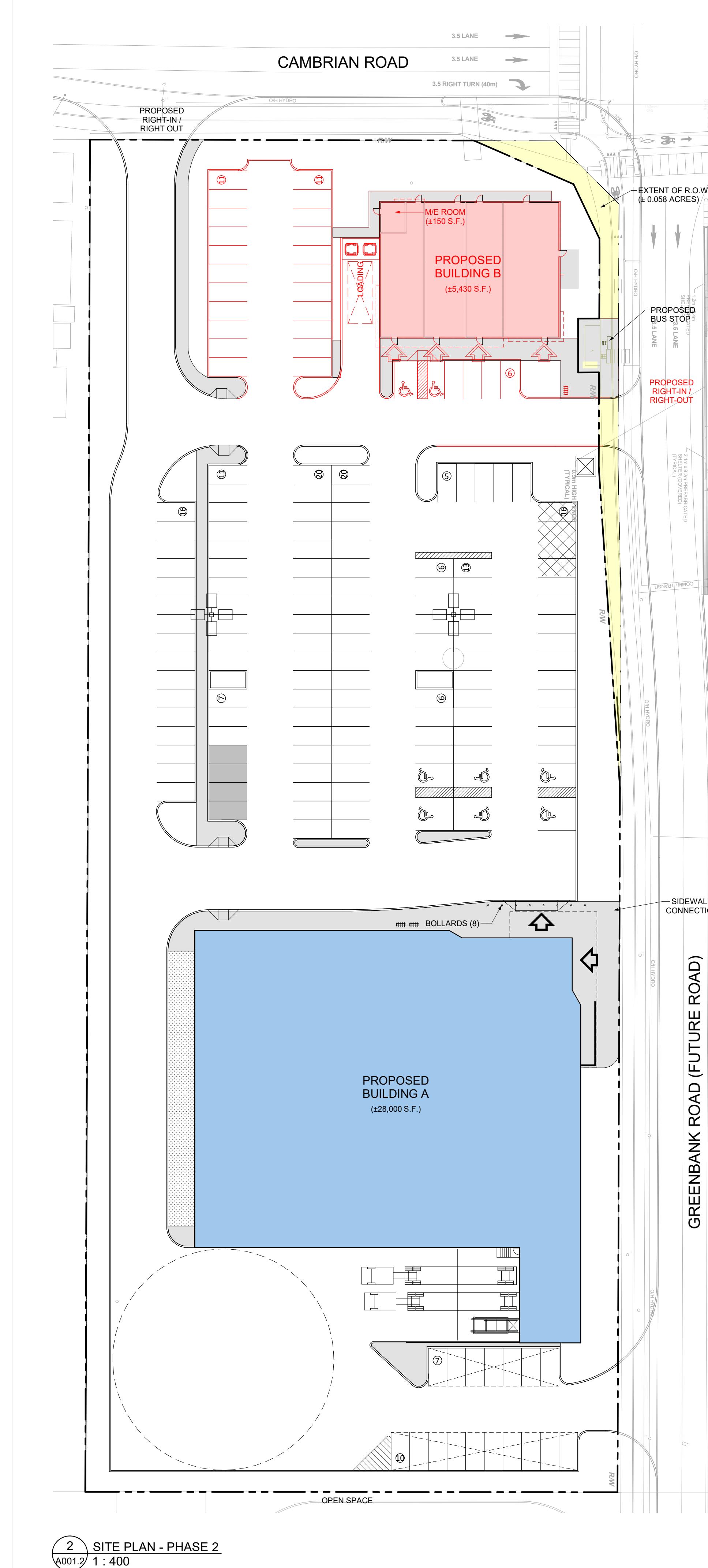
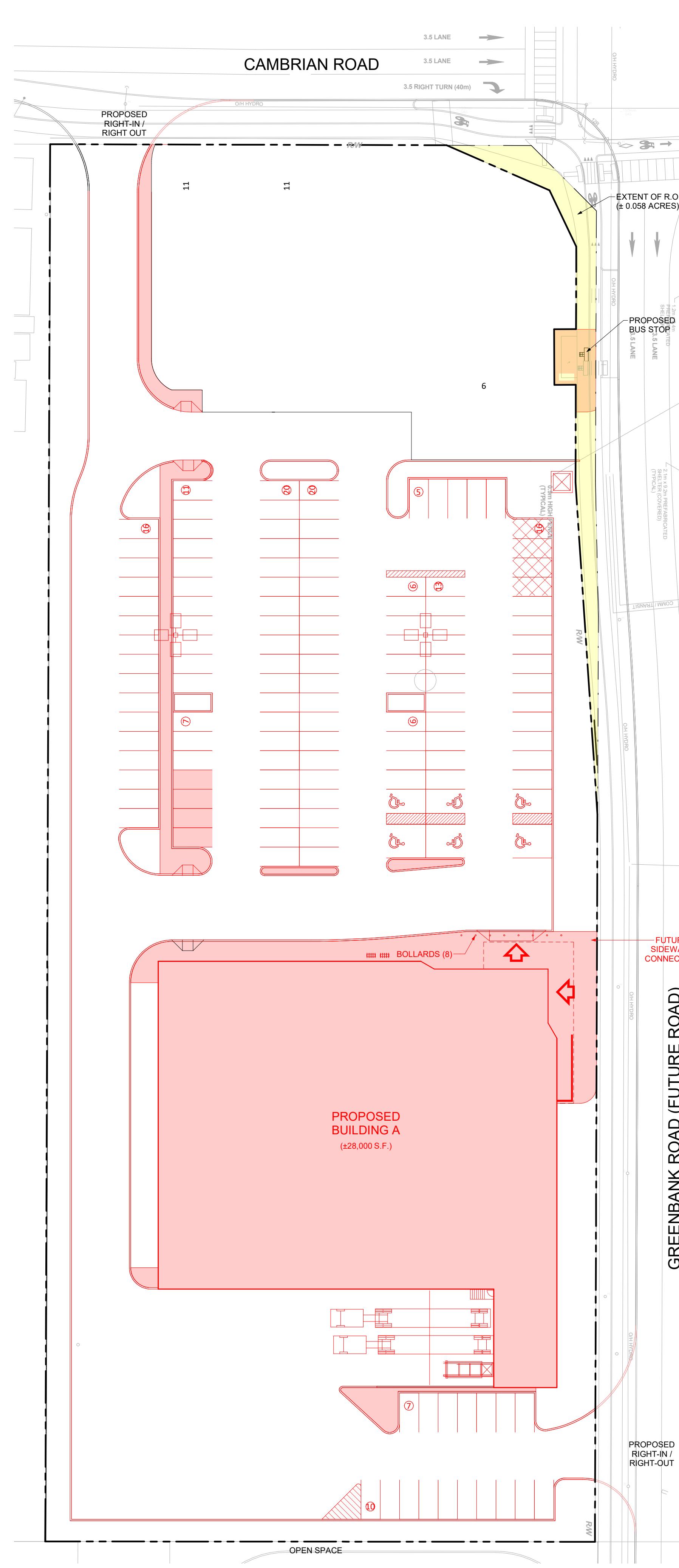
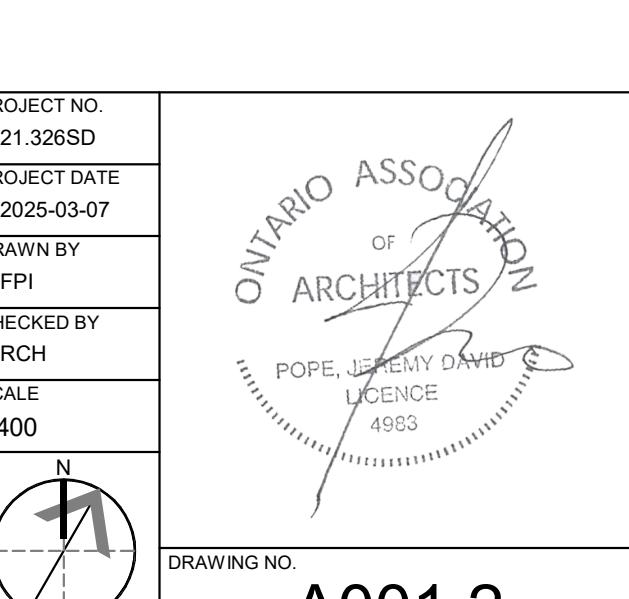
PROJECT PROPOSED RETAIL DEVELOPMENT

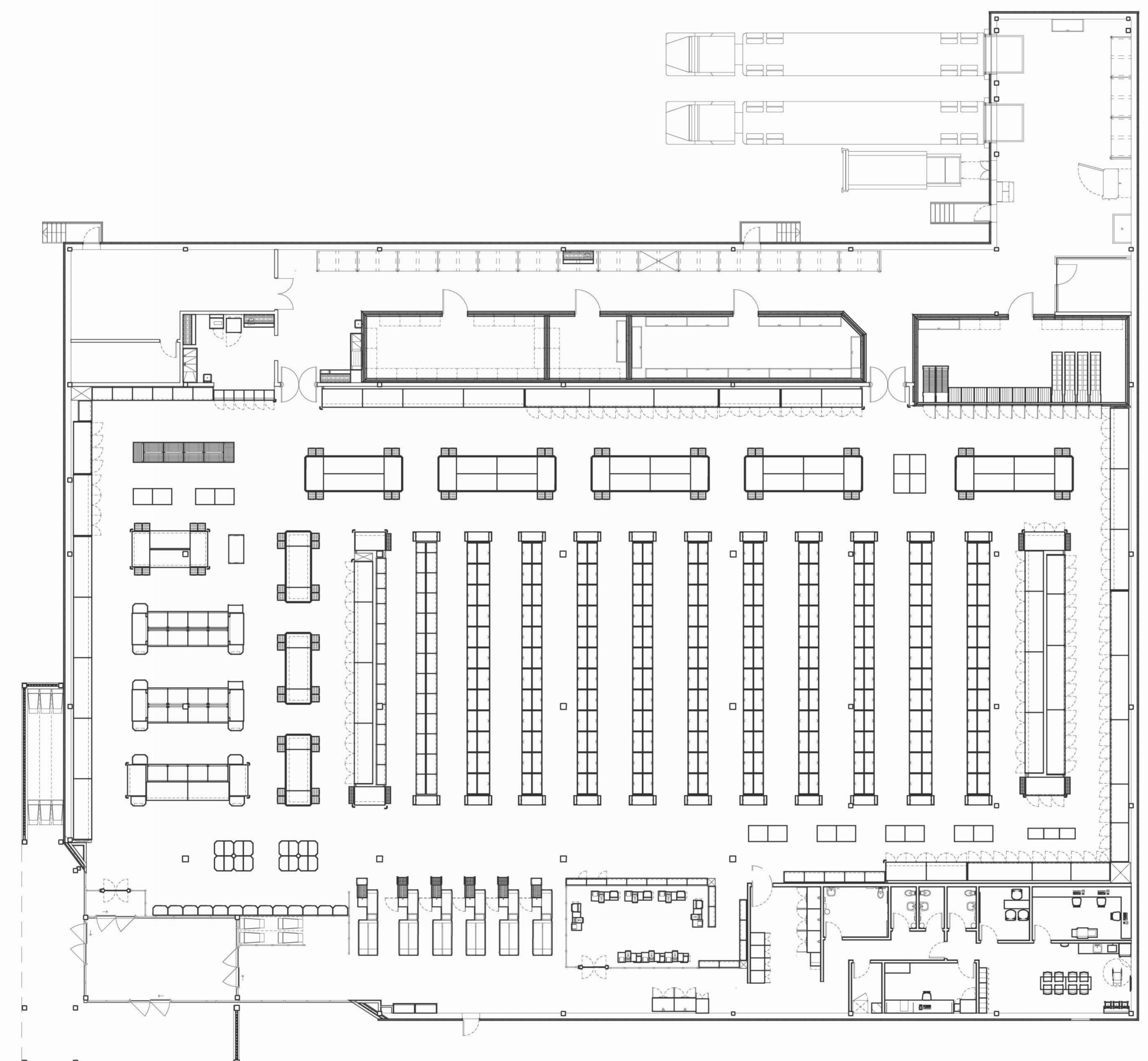
CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

SITE PLAN - PHASING CONDITIONS

PROJECT NO.	A001.2
PROJECT DATE	
2025-03-07	
DRAWN BY	
FPI	
CHECKED BY	
RCH	
SCALE	1:400
N	
PLAN #	419508 FILED 07/17/23 09:04
DRAWING NO.	A001.2





21 2025-11-19 ISSUED FOR SPA
DATE DESCRIPTION GEA
BY

**Loblaw
Companies
Limited**

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

FLOOR PLAN

PROJECT NO.

21-32650

PROJECT DATE

2025-11-18

DRAWN BY

GEA

CHECKED BY

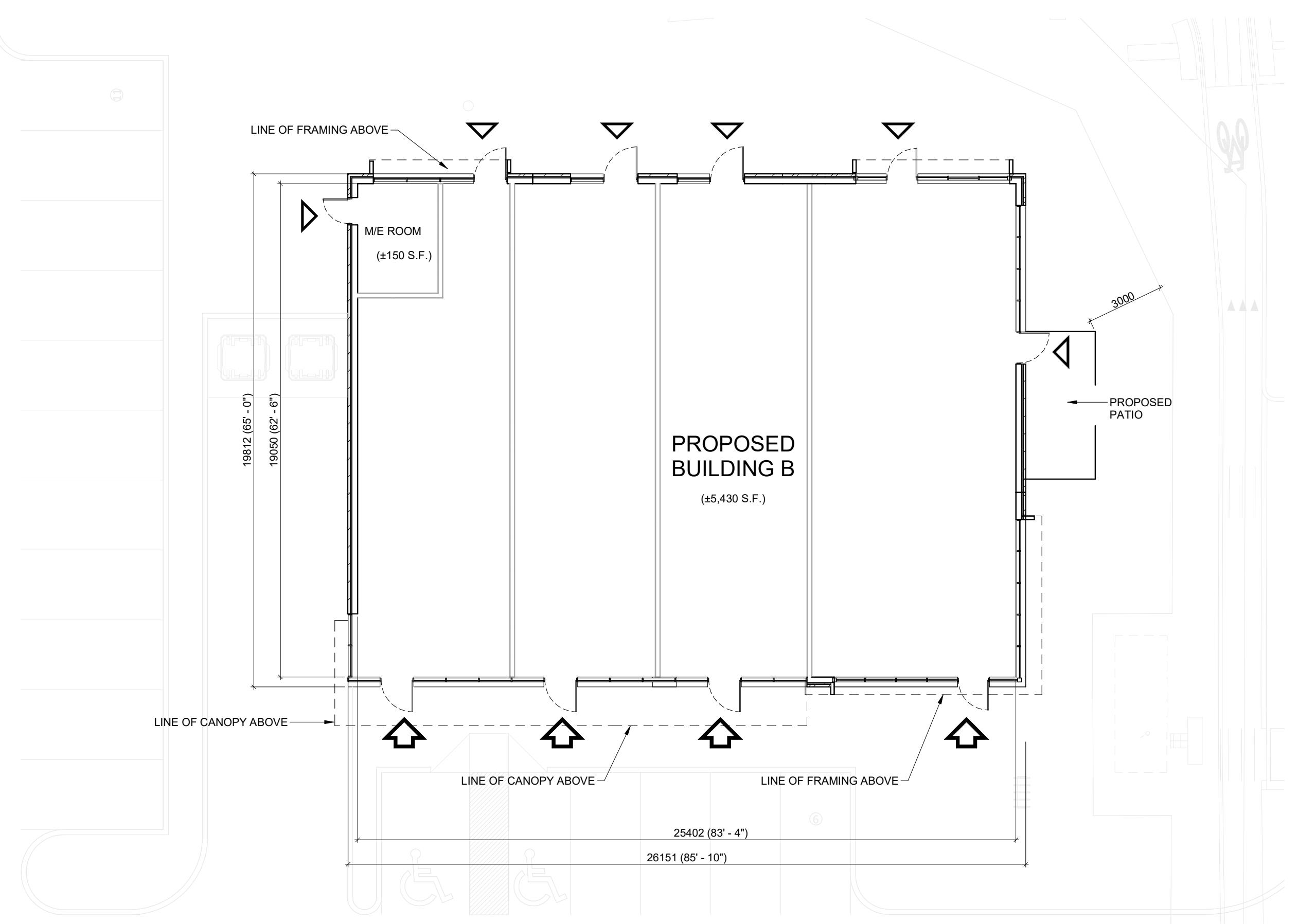
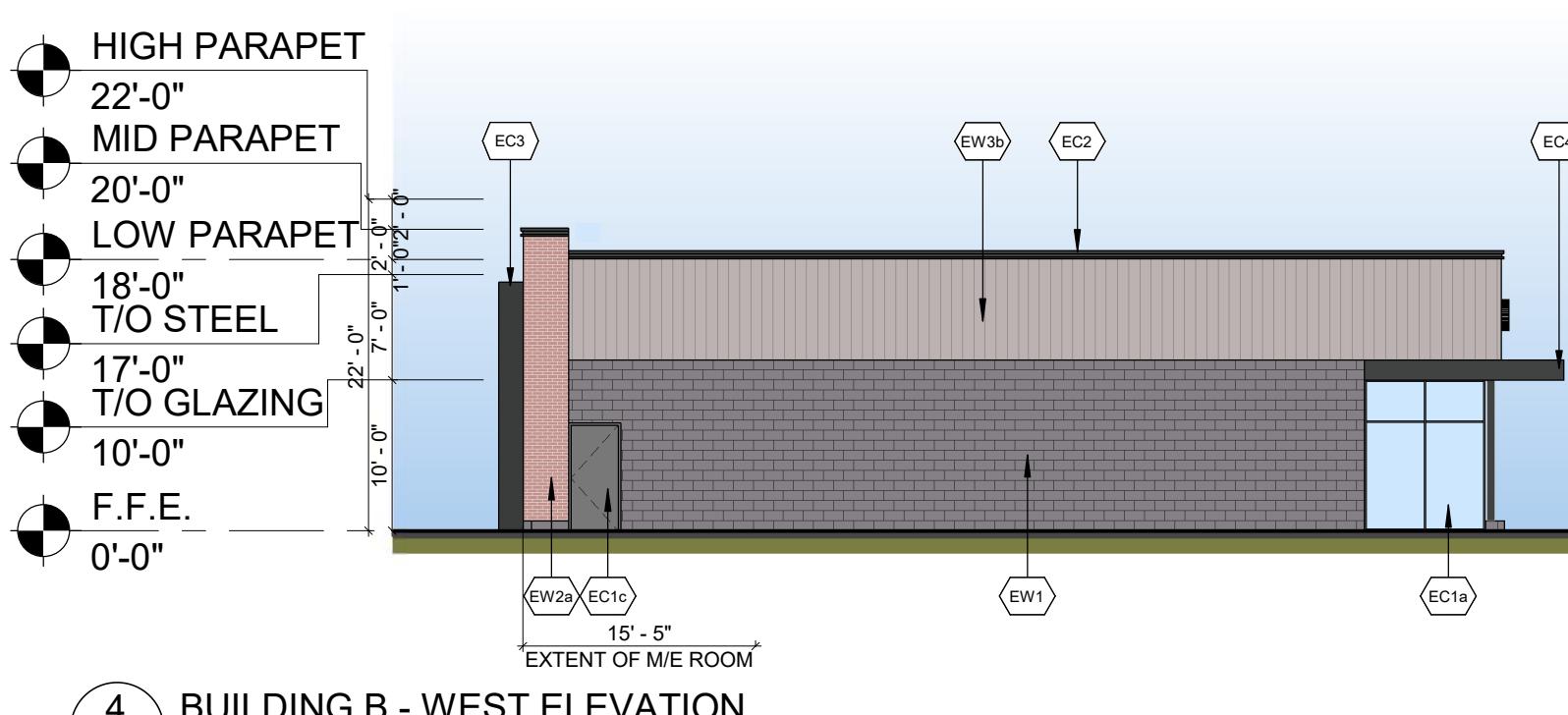
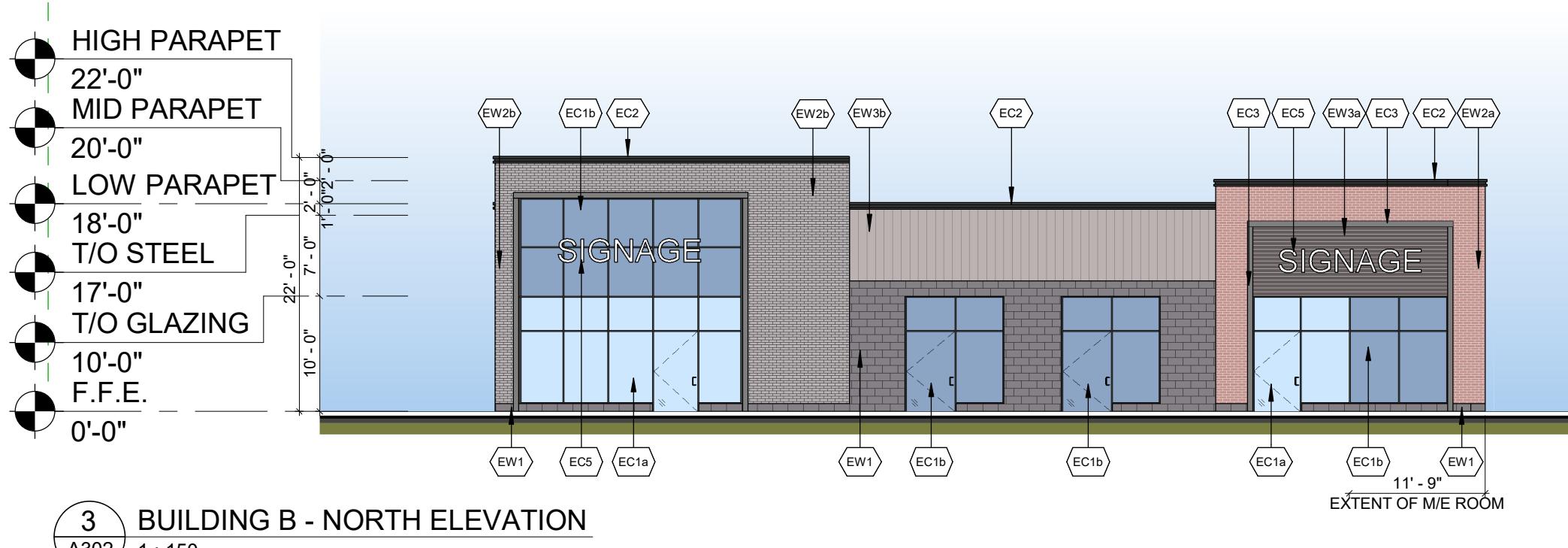
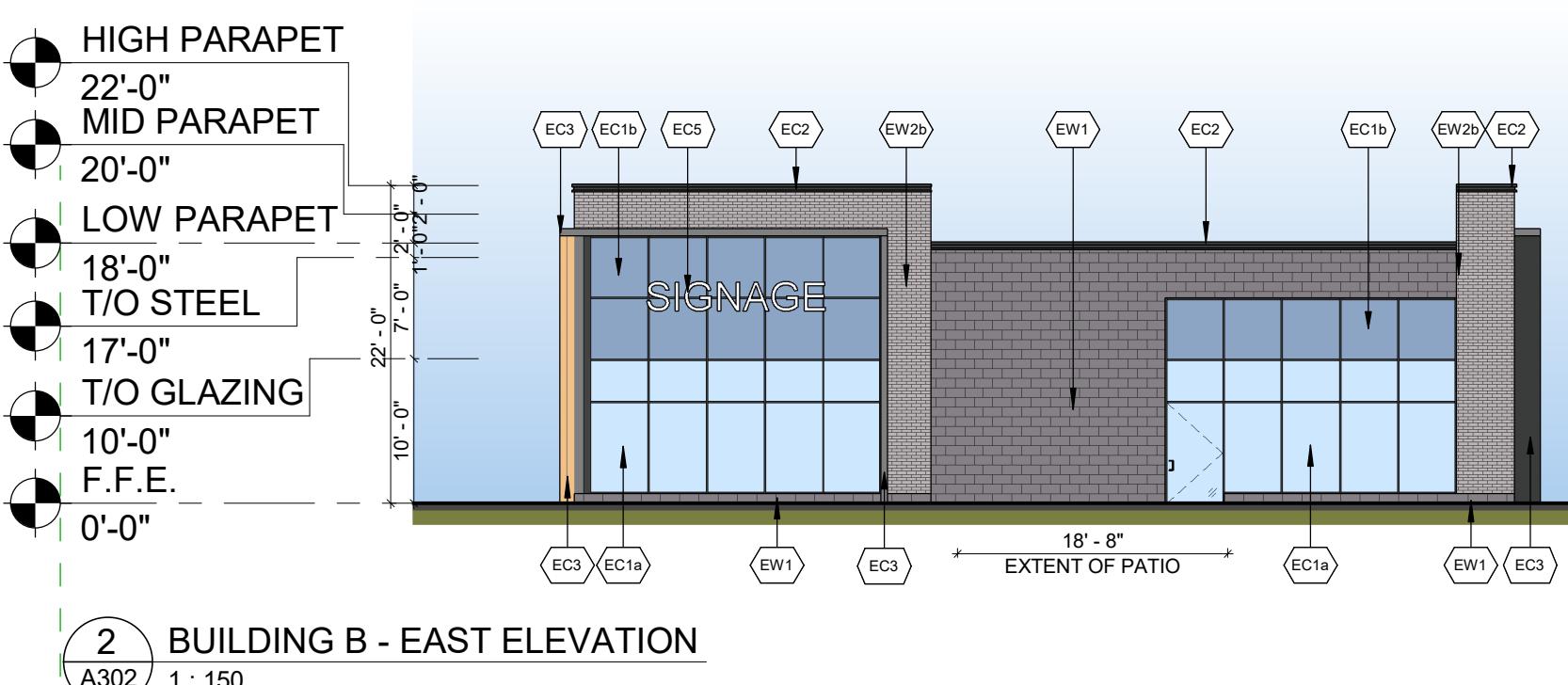
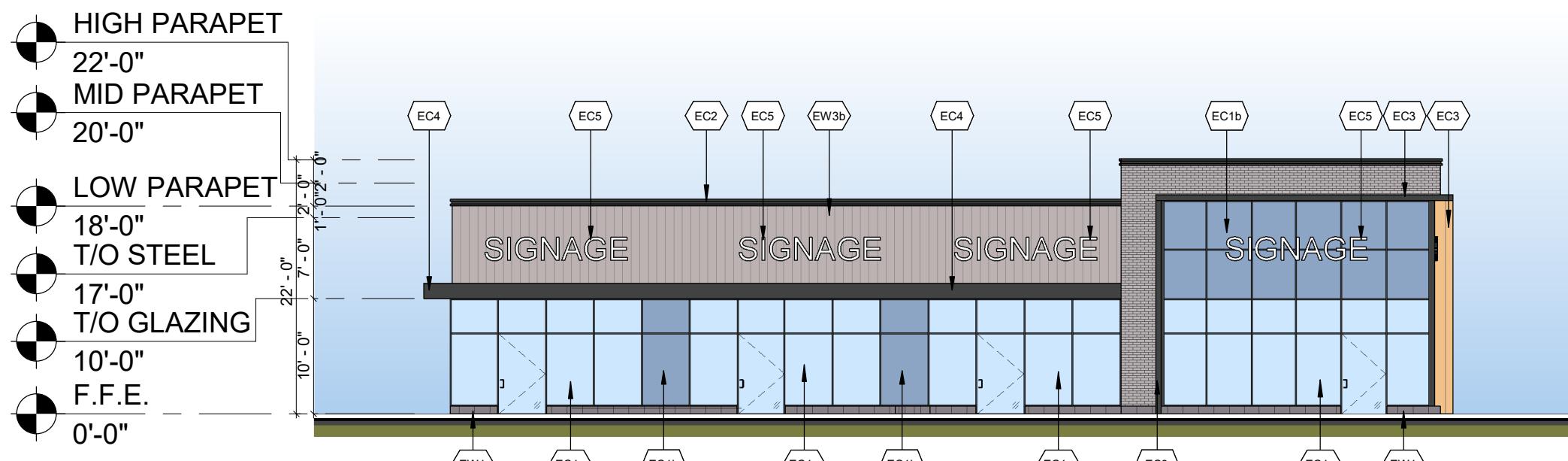
RCH

SCALE

DRAWING NO.



A101



5 BUILDING B - FLOOR PLAN
A302 1:150

EXTERIOR FINISH SCHEDULE			
EW1 ARCHITECTURAL BLOCK: PRODUCT: CONCRETE MASONRY COLOUR: DARK GREY MORTAR: DARK GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		EC1a GLAZED DOORS & WINDOWS: CURTAIN WALL & STOREFRONT FRAMING SYSTEM COLOUR: BLACK ANODIZED THERMALLY BROKEN ALUMINUM FRAMES GLAZING: CLEAR INSULATED VISION GLASS c/w LOW-E GLAZING	
EW2a BRICKS: PRODUCT: BRICK MASONRY COLOUR: BROWN MORTAR: WHITE SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		EC1b SPANDREL GLAZED DOORS & WINDOWS: BLACK ANODIZED ALUMINUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF ULTRALITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: BLACK ANODIZED	
EW2b BRICKS: PRODUCT: BRICK MASONRY COLOUR: LIGHT GREY MORTAR: LIGHT GREY SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.		EC1c H.M. DOORS & FRAMES: PREFINISHED HOLLOW METAL DOORS AND FRAMES PAINT DARK GREY	
EW3a METAL SIDING - HORIZONTAL: PRODUCT: METAL PANELS PROFILE: CORRUGATED COLOUR: CHARCOAL		EC2 PREFINISHED METAL CAP FLASHING: PRE-FINISHED 20 GA. METAL FLASHING COLOUR: BLACK REFER TO DETAILS FOR PROFILE	
EW3b METAL SIDING - VERTICAL: PRODUCT: METAL PANELS PROFILE: CORRUGATED COLOUR: LIGHT GREY		EC3 ACM PORTAL: PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL SOFFIT: METAL COMPOSITE WOOD FINISH, COLOUR: MPL MAPLE	
EC4 ACM CANOPY: PRODUCT: ALPOLIC COMPOSITE METAL PANEL COLOUR: CHARCOAL		EC5 EXTERIOR SIGNAGE: SIGNAGE TO BE PROVIDED BY AND INSTALLED BY TENANT	

Ontario Building Code Data Matrix				Building Code Reference
Part 3				
3.00 Building Code Version: <u>O. Reg. 332/12</u>				Last Amendment <u>O. Reg. 191/14</u>
3.01 Project Type: <input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: <u>New Retail Building</u>				[A] 1.1.2.
3.02 Major Occupancy Classification: <u>E</u> Occupancy <u>Mercantile</u> Use				3.1.2.1(1)
3.03 Superimposed Major Occupancies: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7
3.04 Building Area (m ²): <u>Retail</u> Description: Existing New Total Retail 0 519 519 Total 0 519 519				[A] 1.4.1.2.
3.05 Gross Area (m ²): <u>First floor</u> Description: Existing New Total First floor 0 519 519 Total 0 519 519				[A] 1.4.1.2.
3.06 Mezzanine Area (m ²): Description: Existing New Total Mezzanine 0 0 0 Total 0 0 0				3.2.1.1.
3.07 Building Height: <u>1</u> Storeys above grade <u>7.5</u> (m) Above grade <u>0</u> Storeys below grade				[A] 1.4.1.2. & 3.2.1.1.
3.08 High Building: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.6
3.09 Number of Streets/Firefighter access: <u>3</u> street(s)				3.2.2.10. & 3.2.5.
3.10 Building Classification: <u>(Size and Construction Relative to Occupancy)</u> Group /Div <u>Group E, up to 2 Storeys</u>				3.2.2.61.
3.11 Sprinkler System: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None				3.2.1.5. & 3.2.2.17.
3.12 Standpipe System: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.9.
3.13 Fire Alarm System: <input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None				3.2.4.
3.14 Water Service/Supply is Adequate: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
3.15 Construction Type: <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible required Actual: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes				3.2.20-83 & 3.2.1.4.0

Loblaw
Companies
Limited

PROJECT
CAMBRIAN RD (S. PARCEL)

BARRHAVEN, ON

DRAWING
BUILDING B ELEVATIONS & FLOOR PLAN

PROJECT NO. 2132SD
PROJECT DATE 2024-04-03
DRAWN BY FPI
CHECKED BY RCH
SCALE As indicated
DRAWING NO. A302

ONTARIO ASSOCIATION OF ARCHITECTS
POPE, JEFFREY DAVID S.
LICENCE #993
Heavy Timber Construction: No Yes

A302