

PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

21.326SD



**TURNER
FLEISCHER**

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Toronto, ON, M3B 2T8
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**ISSUED FOR SPA
11/19/25**

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Landscape Architects
368 Oxford Street East
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Contact Name: Kris M. Bujold
Phone Number: 519-667-3322
Email: kris@rkla.ca

Fotenn
Planning + Design
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Contact Name: Nico Church
Phone Number: 613-730-5709
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Parsons Corporation
Engineering
100-1223 Michael St North
Ottawa, ON K1J 7T2
Contact Name: Benoit Villeneuve
Phone Number: 613-691-1596
Email: benoit.villeneuve@parsons.com

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 3 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.64 ACRES	±1.47 HA.
PROPOSED BUILDING A AREA	±28,000 S.F.	±2,601 S.M.
MEZZANINE AREA	±1,920 S.F.	±178 S.M.
TOTAL BUILDING A AREA	±29,920 S.F.	±2,779 S.M.
PROPOSED BUILDING B	±5,430 S.F.	±505 S.M.
PROPOSED MIE ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±5,580 S.F.	±519 S.M.
TOTAL GROSS FLOOR AREA	±35,500 S.F.	±3,298 S.M.
TOTAL BUILDING AREA	±37,570 S.F.	±3,490 S.M.
TOTAL PARKING PROVIDED	165 CARS	5.00/100 S.M.
COVERAGE	22.36 %	

LEGEND

- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

21	2025-11-19	ISSUED FOR SPA	GEA
20	2025-05-23	ISSUED FOR CLIENT REVIEW	RCH
19	2025-03-07	ISSUED FOR SPA	GEA
17	2024-04-03	ISSUED FOR SPA	FPI
12	2023-10-25	ISSUED FOR SPA	FPI
#	DATE	DESCRIPTION	BY


Loblaw
Companies
Limited

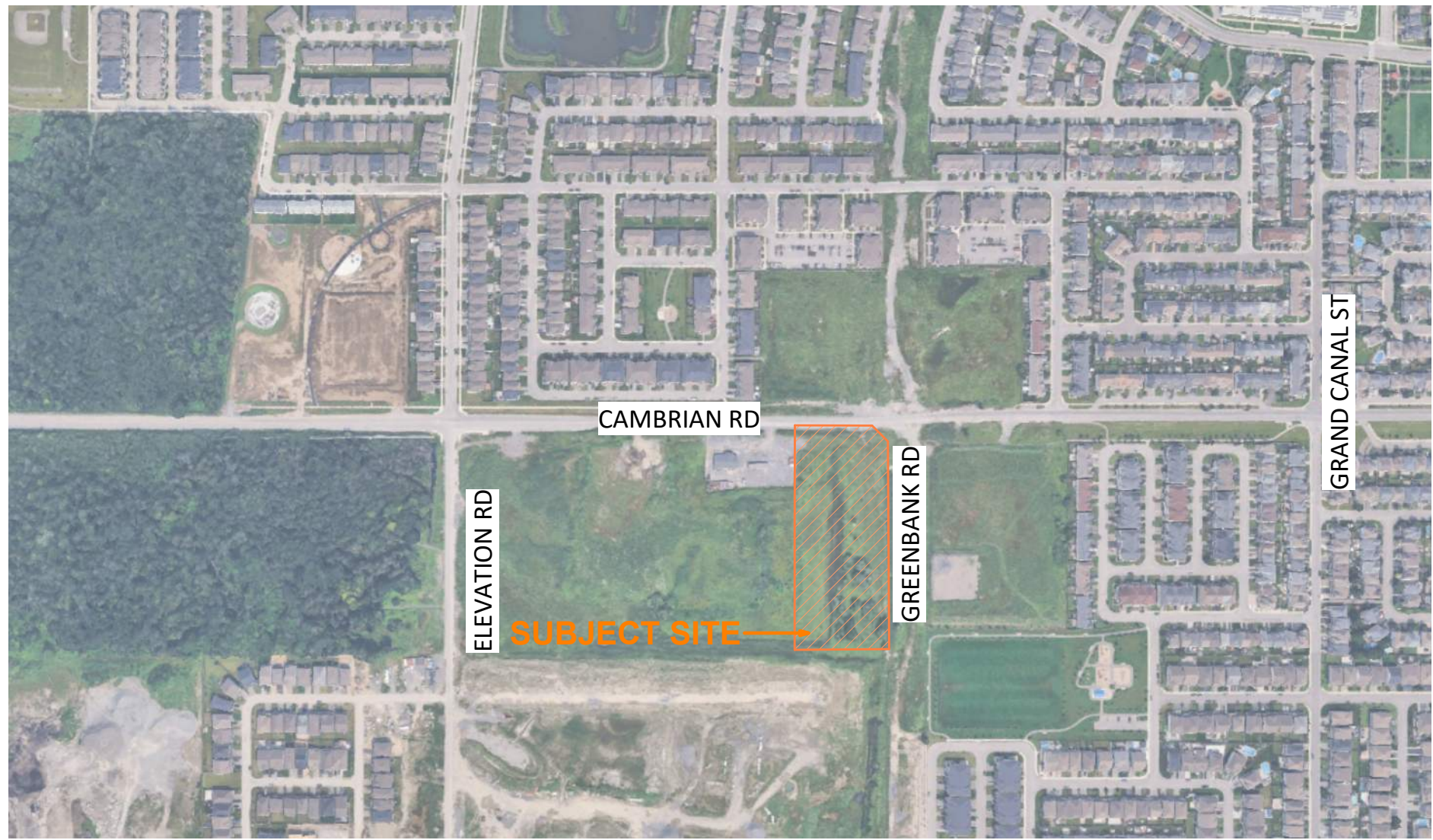
PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

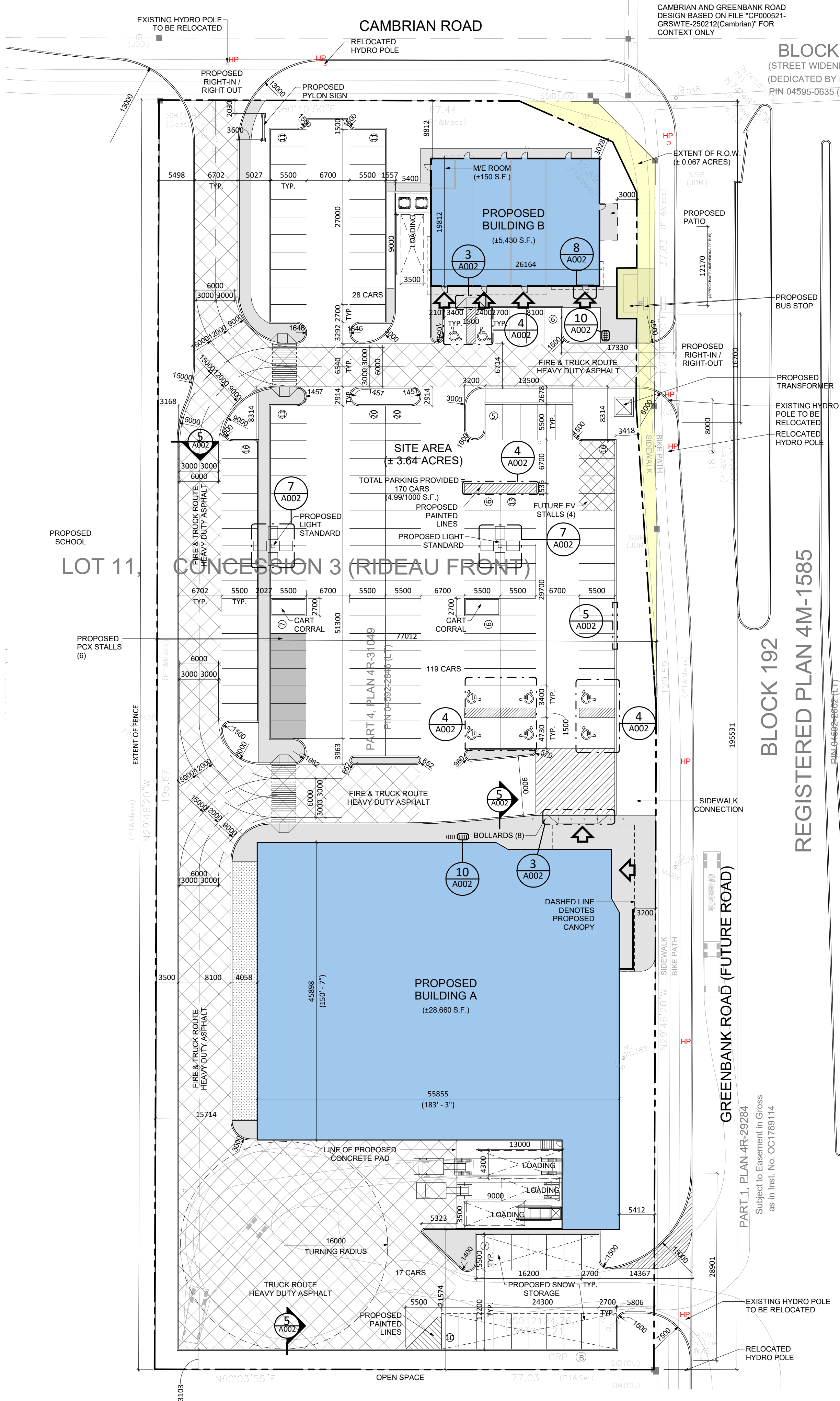
SITE PLAN

PROJECT NO. 21.326SD	
PROJECT DATE 2025-03-07	
DRAWN BY GEA	
CHECKED BY RCH	
SCALE 1:400	
DRAWING NO. A001	



2 CONTEXT PLAN
A001 / N.T.S.

ZONING COMPLIANCE CHART - ZONING: GM[1628]		
	REQUIRED	PROPOSED
Minimum Lot Width (m)	N/A	77.02 m
Minimum Lot Area (acres)	N/A	3.66 acres
Minimum Front Yard Setback (Cambrian Rd) (m)	3 m	8.81 m
Minimum Rear Yard Setback (m)	7.5 m (from any portion of a rear lot line abutting a residential zone)	21.96 m
Minimum Interior Side Yard Setback (m)	5 m (for a non-residential or mixed-use building, from any portion of lot line abutting a residential zone)	15.71 West 5.41 m East
Maximum Height (m)	18 m	9.59 m / 1 storey
Maximum Floor Space Index	N/A	0.30
Minimum Parking Dimensions (m)	2.6m x 5.2m	2.7m x 5.5m
Minimum Parking required (3.6 per 100 s.m. of total GFA)	112 spaces	165 spaces
Minimum Bicycle Parking required (1 per 500 s.m. of GFA)	9 spaces	12 spaces
Loading spaces (for up to 4999 s.m. of GFA)	1 standard space (3.5x9x4.2 m) 1 oversized space (4.3x13x4.2 m)	2 standard spaces 2 oversized space
Minimum Drive Aisle Width (parking angle at 90 degrees) (m)	6.7 m	6.7 m



1 SITE PLAN
A001 / 1:400



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This site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachment prepared by Annis, P. (Professional Engineer, P. Eng., License No. 120, dated 02/23/2018) as provided by Loblaws Companies Limited.

LEGAL DESCRIPTION

TOPOGRAPHIC PLAN OF PART OF LOT 10
CONCESSION 5 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA

STATISTICS

SITE AREA	±3.66 ACRES	±1.48 HA.
PROPOSED BUILDING A AREA	±34,496 S.F.	±3,205 S.M.
MEZZANINE AREA	±2,595 S.F.	±241 S.M.
TOTAL BUILDING A AREA	±37,091 S.F.	±3,446 S.M.
PROPOSED BUILDING B AREA	±4,794 S.F.	±445 S.M.
PROPOSED ME ROOM	±150 S.F.	±14 S.M.
TOTAL BUILDING B AREA	±4,944 S.F.	±459 S.M.
TOTAL GROSS FLOOR AREA	±39,440 S.F.	±3,664 S.M.
TOTAL BUILDING AREA	±42,035 S.F.	±3,905 S.M.
TOTAL PARKING PROVIDED	179 CARS	
	4.54/1000 S.F.	4.88/100 S.M.
COVERAGE	24.74 %	

LEGEND

- PROPOSED BUILDING
- PROPOSED ENTRANCE ARROW
- PROPOSED CONCRETE SIDEWALK
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED PCX PARKING
- PROPOSED EV PARKING
- PROPOSED TRANSFORMER
- EXTENT OF RIGHT OF WAY (R.O.W.)

21	2025-11-19	ISSUED FOR SPA	GEA
18	2025-02-14	ISSUED FOR SPA	GEA
12	2023-10-25	ISSUED FOR SPA	FPI
6	2023-05-08	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION	BY

Loblaws
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

SITE PLAN - PHASING CONDITIONS

PROJECT NO.

21.326SD

PROJECT DATE

2025-03-07

DRAWN BY

FPI

CHECKED BY

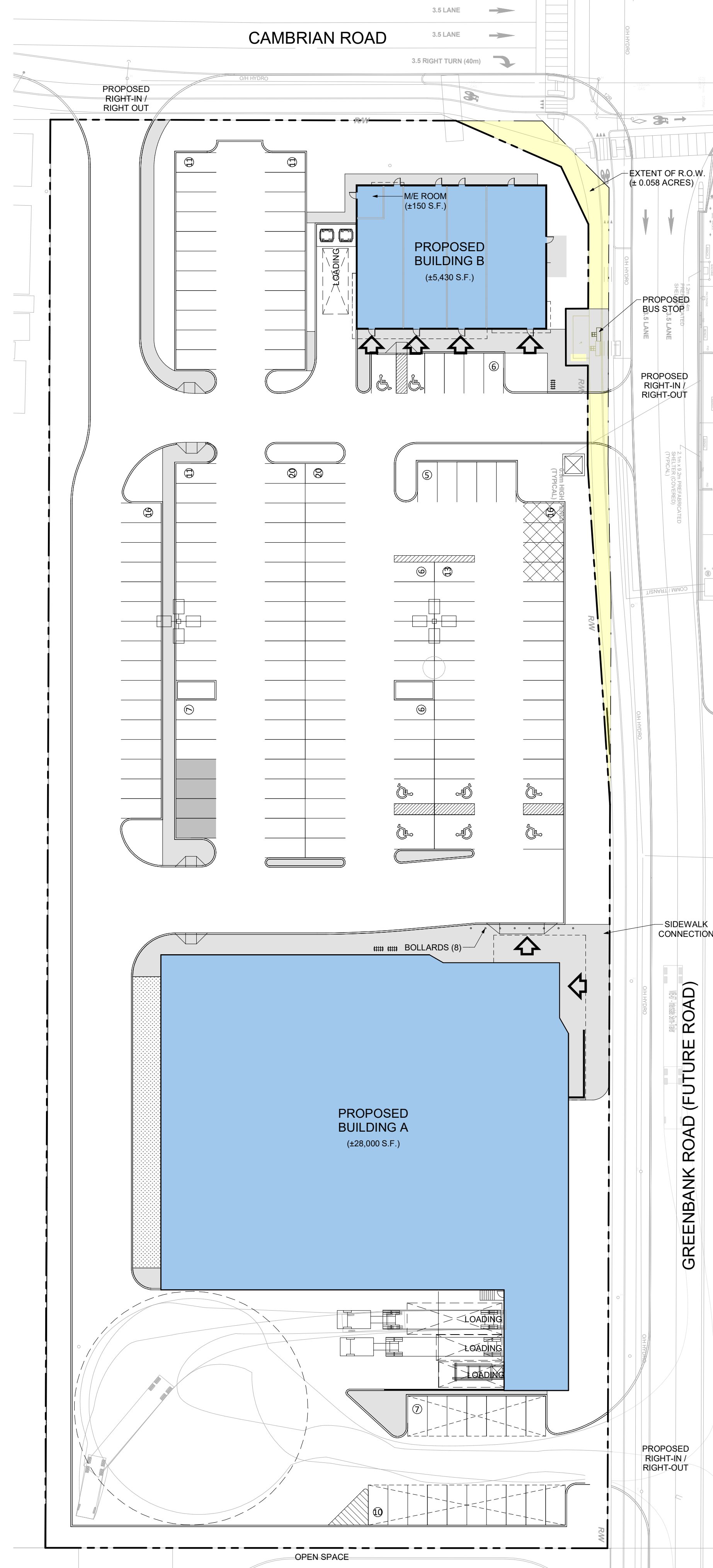
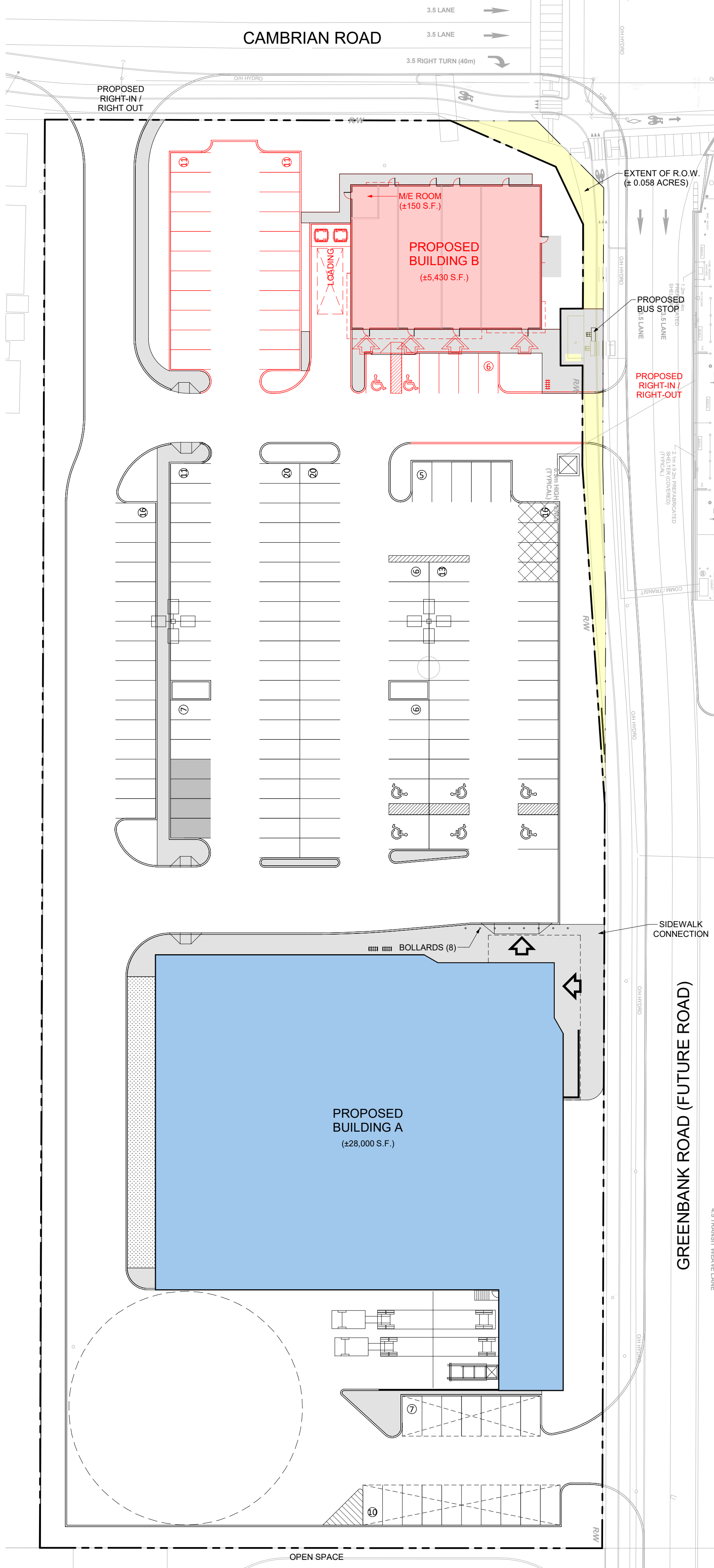
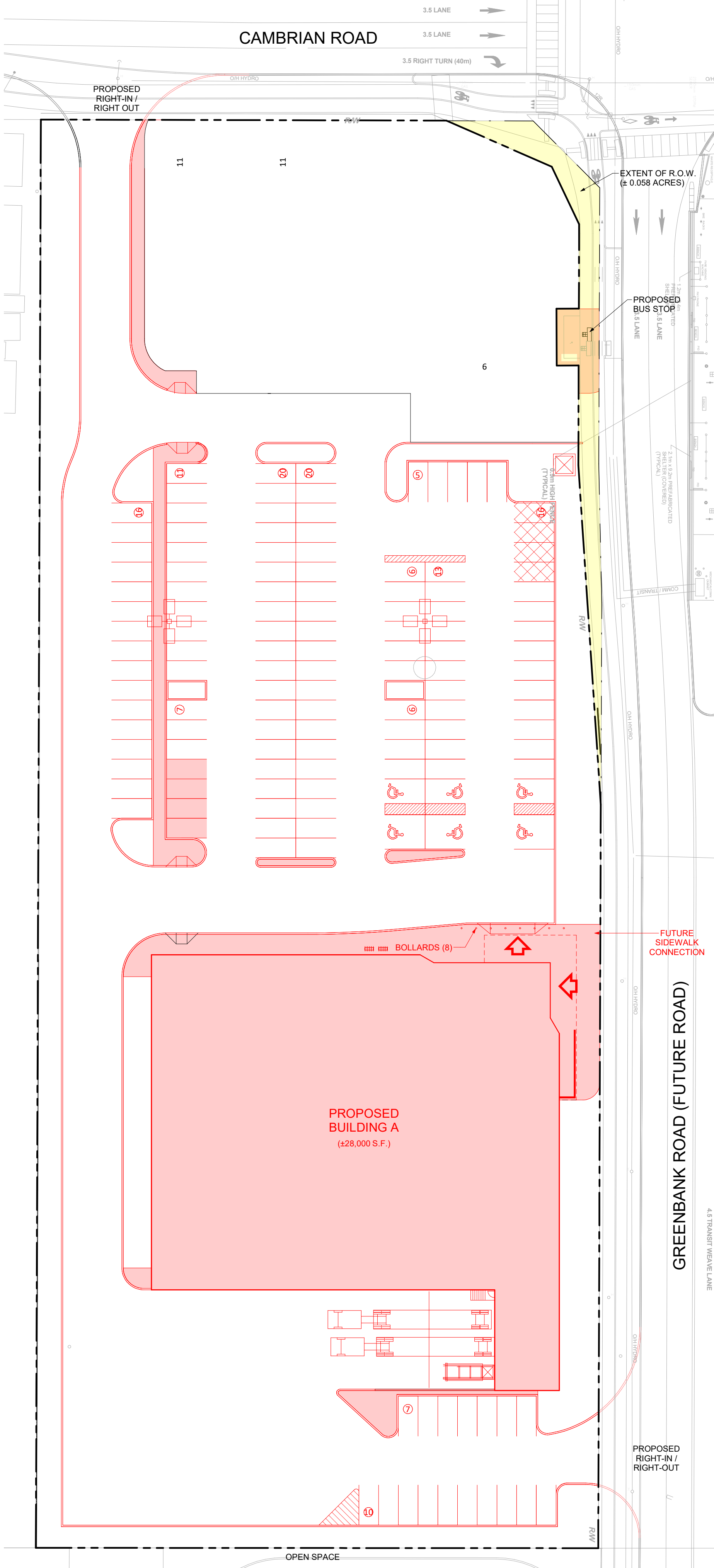
RCH

SCALE

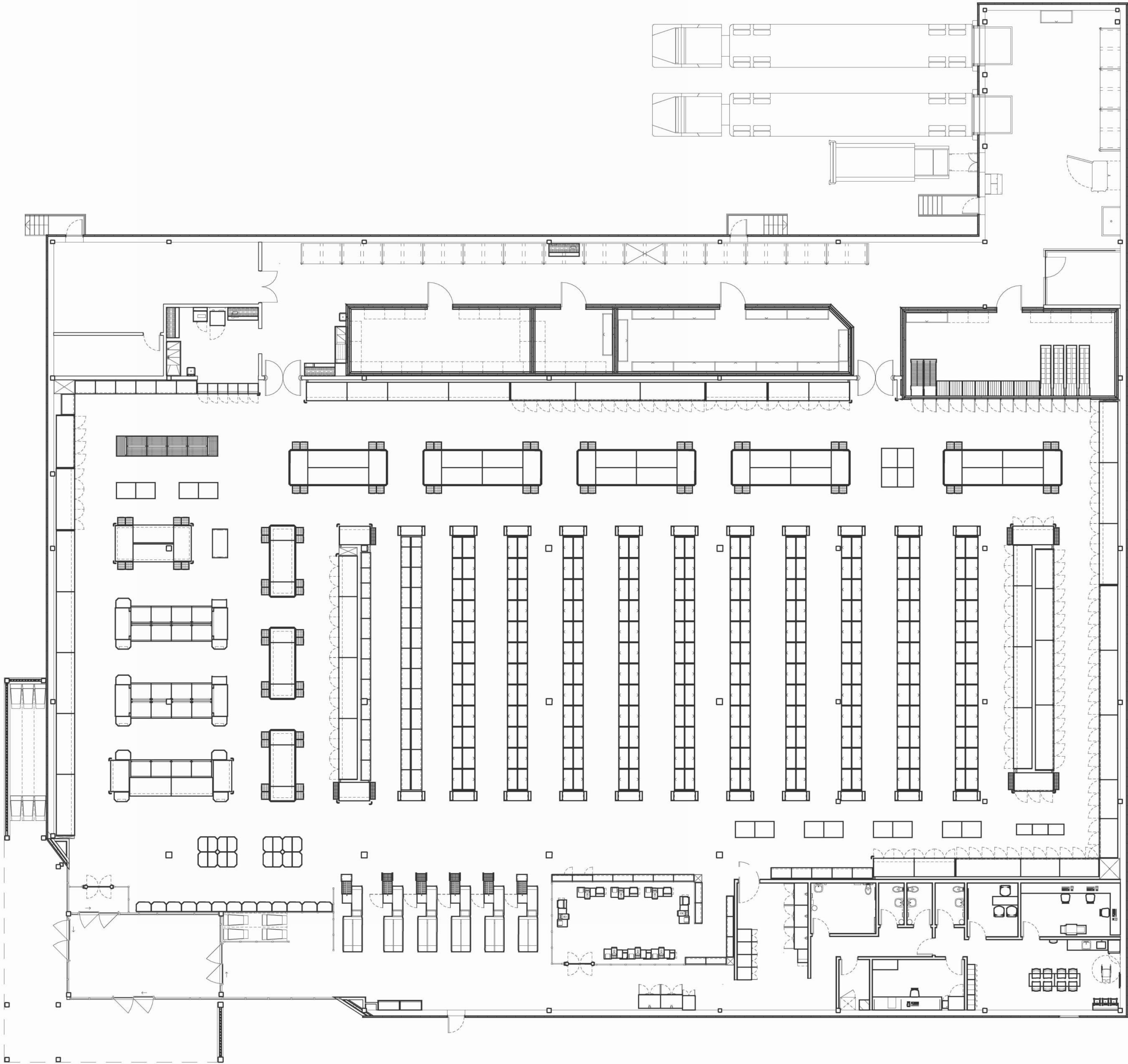
1:400

DRAWING NO.

A001.2



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21	2025-11-18	ISSUED FOR SPA	GEA
#	DATE	DESCRIPTION	BY

Loblaw
Companies
Limited

PROJECT
PROPOSED RETAIL DEVELOPMENT

CAMBRIAN RD (S. PARCEL)
BARRHAVEN, ONTARIO

DRAWING

FLOOR PLAN

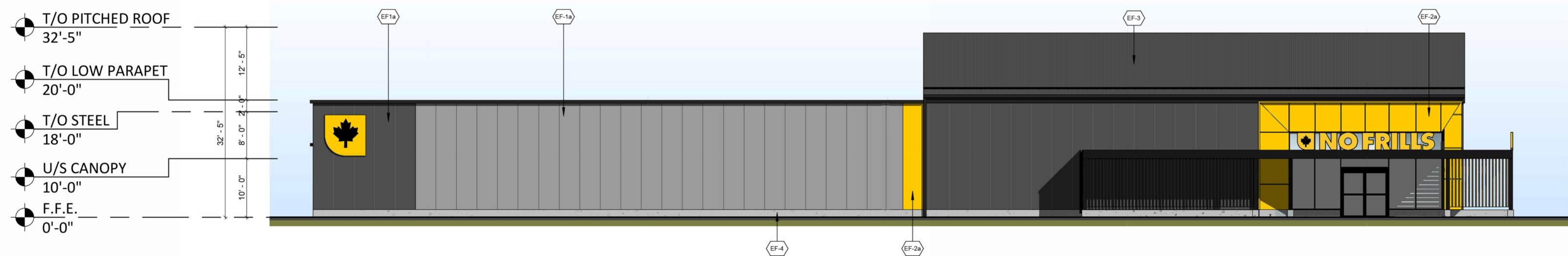
PROJECT NO. 21.326SD	
PROJECT DATE 2025-11-18	
DRAWN BY GEA	
CHECKED BY RCH	
SCALE	

DRAWING NO.

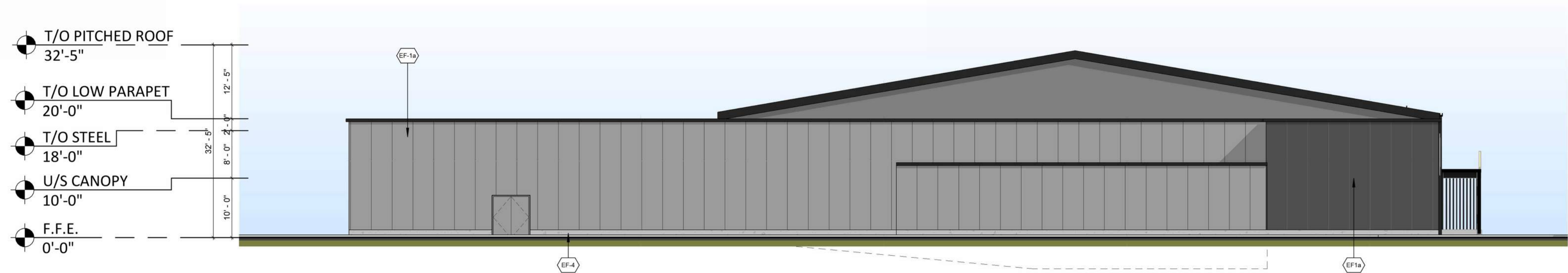
A101



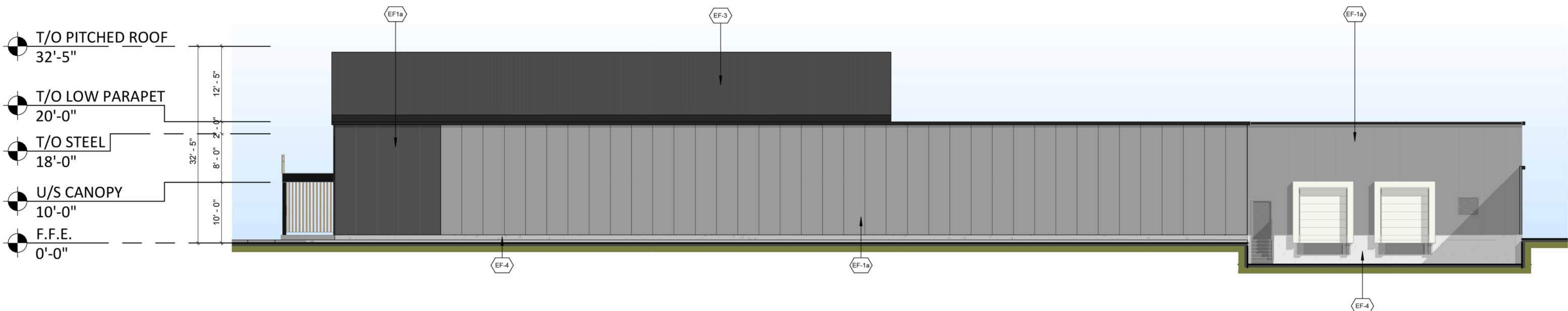
4 NORTH ELEVATION
A301 1 : 150



3 EAST ELEVATION
A301 1 : 150



2 SOUTH ELEVATION
A301 1 : 150



1 WEST ELEVATION
A301 1 : 150

Name of Practice:		Name of Project:			
Turner Fleischer Architects Inc.		Cambrian BIDG A			
67 Lesmill Road, Toronto, ON M3B 2T8					
contact information here. (PM)					
Date:		Location:			
4/28/2023		Cambrian road, South parcel			
Ontario Building Code Data Matrix					Building Code Reference
Part 3					
3.00	Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14			
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: <u>New Retail Building</u>			[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Use E Mercantile			3.1.2.1(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.7
3.04	Building Area (m²)	Description:	Existing	New	Total
		Food store	0	3205	3205
			Total	0	3205
3.05	Gross Area (m²)	Description:	Existing	New	Total
		first floor	0	3205	3205
			Total	0	3205
3.06	Mezzanine Area (m²)	Description:	Existing	New	Total
		first floor mezzanine	0	241	241
			Total	0	241
3.07	Building Height	1 Storeys above grade 7.5 (m) Above grade 0 Storeys below grade			[A] 1.4.1.2. & 3.2.1.1.
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.6
3.09	Number of Streets/ Firefighter access	3 street(s)			3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	3.2.2.60 Group /Div Group E, up to 3 Storeys, Sprinklered			3.2.2.60
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None			3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required			3.2.9.
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None			3.2.4.
3.14	Water Service/ Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes			
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes			3.2.2.60 3.2.1.4.0

EXTERIOR FINISH SCHEDULE	
EF-1a	INSULATED METAL PANEL: - NORBEC METAL PANEL - COLOUR: ELEMENT GREY - NOROC - L PROFILE
EF-1b	INSULATED METAL PANEL: - NORBEC METAL PANEL - COLOUR: CHARCOAL - NOROC - L PROFILE
EF-2a	PREFINISHED ALUMINUM COMPOSITE PANEL - COMPOSITE ALUMINUM PANEL - COLOUR: YELLOW - C0 M19 Y89 K0
EF-2b	PREFINISHED ALUMINUM COMPOSITE PANEL - ALPOLIC COMPOSITE ALUMINUM PANEL - COLOUR: BLACK
EF-3	STANDING SEAM METAL ROOF - COLOUR: BLACK
EF-4	CONCRETE FOUNDATION CURB - EXPOSED CONCRETE FOUNDATION

TURNER FLEISCHER

Turner Fleischer Architects Inc.

67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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9	2024-04-23	ISSUED FOR COORDINATION	FPI
8	2024-04-03	ISSUED FOR SPA	FPI
7	2023-09-06	ISSUED FOR COORDINATION	FPI
6	2023-08-16	ISSUED FOR COORDINATION	FPI
5	2023-05-24	ISSUED FOR COORDINATION	FPI
4	2023-05-01	ISSUED FOR COORDINATION	FPI
3	2023-04-24	ISSUED FOR COORDINATION	FPI
2	2023-03-24	ISSUED FOR COORDINATION	FPI
1	2023-01-24	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION	BY

Loblaw Companies Limited

PROJECT
CAMBRIAN RD (S. PARCEL)

BARRHAVEN, ONTARIO

DRAWING

BUILDING A ELEVATIONS

PROJECT NO.

20:159P01

PROJECT DATE

2025-07-16

DRAWN BY

GEA

CHECKED BY

RCH

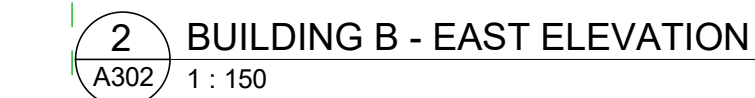
SCALE

As indicated



DRAWING NO.

A301



Ontario Building Code Data Matrix						Building Code Reference
Part 3						
3.00	Building Code Version:	<u>O_Reg_332/12</u>		Last Amendment	<u>O_Reg_191/14</u>	
3.01	Project Type:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Additional <input type="checkbox"/> Renovation <input type="checkbox"/> Change of use <input type="checkbox"/> Addition and renovation Description: <u>New Retail Building</u>				[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy	Use <u>Mercantile</u>			3.1.2.1(1)
3.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.2.7
3.04	Building Area (m²)	Description:	Existing	New	Total	[A] 1.4.1.2.
		<u>Retail</u>	0	519	519	
			0	519	519	
3.05	Gross Area (m²)	Description:	Existing	New	Total	[A] 1.4.1.2.
		<u>First floor</u>	0	519	519	
			0	519	519	
3.06	Mezzanine Area (m²)	Description:	Existing	New	Total	3.2.1.1.
			0	0	0	
			0	0	0	
3.07	Building Height	<u>1</u> Storeys above grade	<u>7.5</u> (m) Above grade			[A] 1.4.1.2. & 3.2.1.1.
		<u>0</u> Storeys below grade				
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.6
3.09	Number of Streets/ Firefighter access	<u>3</u> street(s)				3.2.2.10. & 3.2.5.
3.10	Building Classification: (Size and Construction Relative to Occupancy)	<u>3.2.2.61</u> Group /Div <u>Group E, up to 2 Storeys</u>				3.2.2.61.
3.11	Sprinkler System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required Proposed: <input type="checkbox"/> Entire building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected floor areas <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating <input type="checkbox"/> None				3.2.1.5. & 3.2.2.17.
3.12	Standpipe System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.9.
3.13	Fire Alarm System	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required				3.2.4.
		Proposed: <input type="checkbox"/> Single Stage <input type="checkbox"/> Two Stage <input type="checkbox"/> None				
3.14	Water Service/ Supply is Adequate	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes				
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required Actual: <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes				3.2.20-83 & 3.2.1.4.0

TURNER FLEISCHER

67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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2025-02-14	ISSUED FOR SPA	RCH
2024-04-03	ISSUED FOR SPA	FPI
2023-09-06	ISSUED FOR COORDINATION	FPI
2023-08-16	ISSUED FOR COORDINATION	FPI
2023-05-01	ISSUED FOR SPA	FPI
2023-04-19	ISSUED FOR COORDINATION	FPI
2023-02-23	ISSUED FOR COORDINATION	FPI
#	DATE	DESCRIPTION
		BY

Loblaw
Companies
Limited

PROJECT

CAMBRIAN RD (S. PARCEL)

BARRHAVEN, ON

DRAWING

**BUILDING B ELEVATIONS & FLOOR
PLAN**

PROJECT NO.	21.326SD
PROJECT DATE	2024-04-03
DRAWN BY	FPI
CHECKED BY	RCH
SCALE	As indicated

A circular stamp from the Ontario Association of Architects. The text "ONTARIO ASSOCIATION" is curved along the top, "OF ARCHITECTS" is in the center, and "POPE, JEREMY DAVID" and "LICENCE 4983" are at the bottom. A large, stylized signature is written across the stamp.

DRAWING NO.

A302