

PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

18.050 P01



**TURNER
FLEISCHER**
67 Lesmill Rd
Toronto, ON, M3B 2T8
Contact Name: Raza Mehdi
Phone Number: 416-425-2222 ext 310
Email: raza.mehdi@turnerfleischer.com

**ISSUED FOR SITE PLAN APPROVAL #3
JANUARY 13, 2026**

Gradient Wind

Wind
127 Walgreed Rd,
Carp, ON, K0A 1L0
Contact Name: David Hurtime
Phone Number: (613) 836-0934
Email: david.hurtime@gradientwind.com

CGH Transportation

Traffic Consultant
13 Markham Ave
Ottawa, ON, K2G 3Z1
Contact Name: Andrew Harte
Phone Number: (613) 697-3797
Email: andrew.harte@cgtransportation.com

Egis

Civil Engineer
6240 Hwy 7, Suite 200
Woodbridge, ON, L4H 4G3
Contact Name: Alison Gosling
Phone Number: (613) 714-4629
Email: Alison.GOSLING@egis-group.com

Foten Planning + Design

Landscape & Urban Planner
396 Cooper Street, Suite 300
Ottawa, ON, K2P 2H7
Contact Name: Jillian Simpson
Phone Number: (613) 730-5709
Email: simpson@fotenn.com

Vollebakk Ltd.

Surveyor
14 Concourse Gate, Suite 500
Nepean, ON, K2E 7S6
Contact Name: Annia O'sullivan
Phone Number: (613) 727-0850
Email: Nepean@aovltd.com

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The site plan prepared by Turner Fleischer is based on a legal survey showing the boundaries of the lands together with the current location of any existing buildings, features or encroachments prepared by Annis, O'Sullivan, Vollebakk Ltd.

TOPOGRAPHIC PLAN OF SURVEY OF

LOT 1
REGISTERED PLAN 747
CITY OF OTTAWA
Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

Scale 1 : 400

Metric
DISTANCES AND COORDINATES SHOWN ON THIS PLAN
ARE IN METRES AND CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048.

Surveyor's Certificate

I CERTIFY THAT:
1. This survey and plan are correct and in accordance with the Surveys Act and the Surveyors Act and the regulations made under them.
2. The survey was completed on the 19th day of May, 2023.

May 23, 2023
Date
V. Andrew Rempel
Ontario Licensed Surveyor

Notes & Legend

- Denotes
- Survey Monument Planted
 - Survey Monument Found
 - Standard Iron Bar
 - Short Standard Iron Bar
 - Witness
 - Measured
 - Annis, O'Sullivan, Vollebakk Ltd.
 - Registered Plan 747
 - Plan 58-3157
 - Plan 4R-17039
 - (AOG) Plan dated June 14, 1995 (ADV Ref. 0-180-95)
 - Plan 4R-12750
 - Plan 5R-5421
 - Fire Hydrant
 - Water Valve
 - Water Stand Post
 - Maintenance Hole (Storm Sewer)
 - Maintenance Hole (Sanitary)
 - Maintenance Hole (Bell Telephone)
 - Maintenance Hole (Hydro)
 - Catch Basin
 - Catch Basin Inlet
 - M-W
 - Monitoring Well
 - Handhole
 - Cable Terminal Box
 - Sign
 - Chain Link Fence
 - Board Fence
 - Gates
 - Metall Pole
 - Utility Pole
 - Anchor
 - Light Standard
 - Deciduous Tree
 - Coniferous Tree
 - Shrub
 - Diameter
 - Location of Elevations
 - Top of Concrete Curb Elevation
 - Centreline
 - Property Line
 - Multiple trees

SITE AREA = 34,661 m²



Bearings are grid, derived from Can-Net 2016 Real Time Network GPS observations and are referenced to Specified Control Points 01915880105 and 019198434791, MTM Zone 9 (75°30' West Longitude) NAD-83 (original).

For comparison purposes, bearings shown on Plans (P), (P1) & (P3) are astronomic bearings.

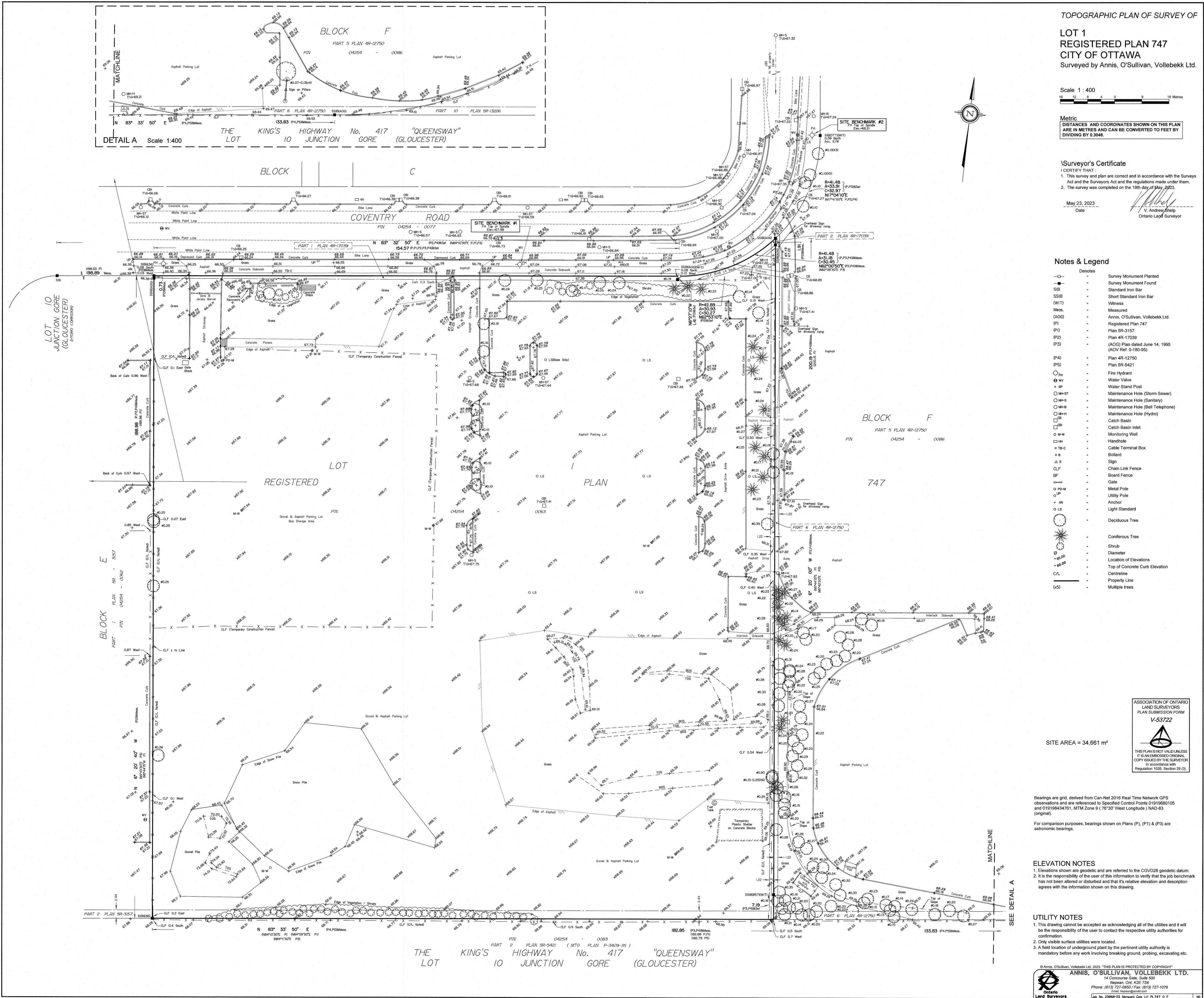
ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

- This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.
- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating, etc.

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ANNIS, O'SULLIVAN, VOLLEBAKK LTD.
14 Commerce Court, Suite 300
Nepean, Ont. K2E 7S6
Phone: (613) 727-0800 / Fax: (613) 727-1079
Email: anniss@anniss.com
Lic. No. 28866-25 Measur. Eng. Lic. # 747 9 7



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SPA DRAWINGS

SHEET NUMBER	SHEET NAME
SPA000	COVER SHEET
SPA001	SURVEY
SPA004	CONTEXT PLAN & DRAWING LIST
SPA005A	MASTER PLAN / CONCEPT PLAN
SPA005B	SITE PLAN / ROOF PLAN - OVERALL SITE
SPA005C	SITE PLAN / ROOF PLAN
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03 - 05
SPA154	FLOOR 06
SPA155	FLOOR 07
SPA156	FLOOR 08 - 28
SPA157	MPH
SPA301	ELEVATIONS
SPA302	ELEVATIONS
SPA401	EAST-WEST SECTION
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA803	3D PERSPECTIVE
SPA804	3D PERSPECTIVES
SPA805	3D PERSPECTIVES
SPA806	3D PERSPECTIVES
SPA807	3D PERSPECTIVES
SPA808	3D PERSPECTIVES
SPA809	3D PERSPECTIVES - PARKING RAMP
SPA810	3D PERSPECTIVES - PARKING RAMP

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



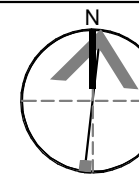
PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

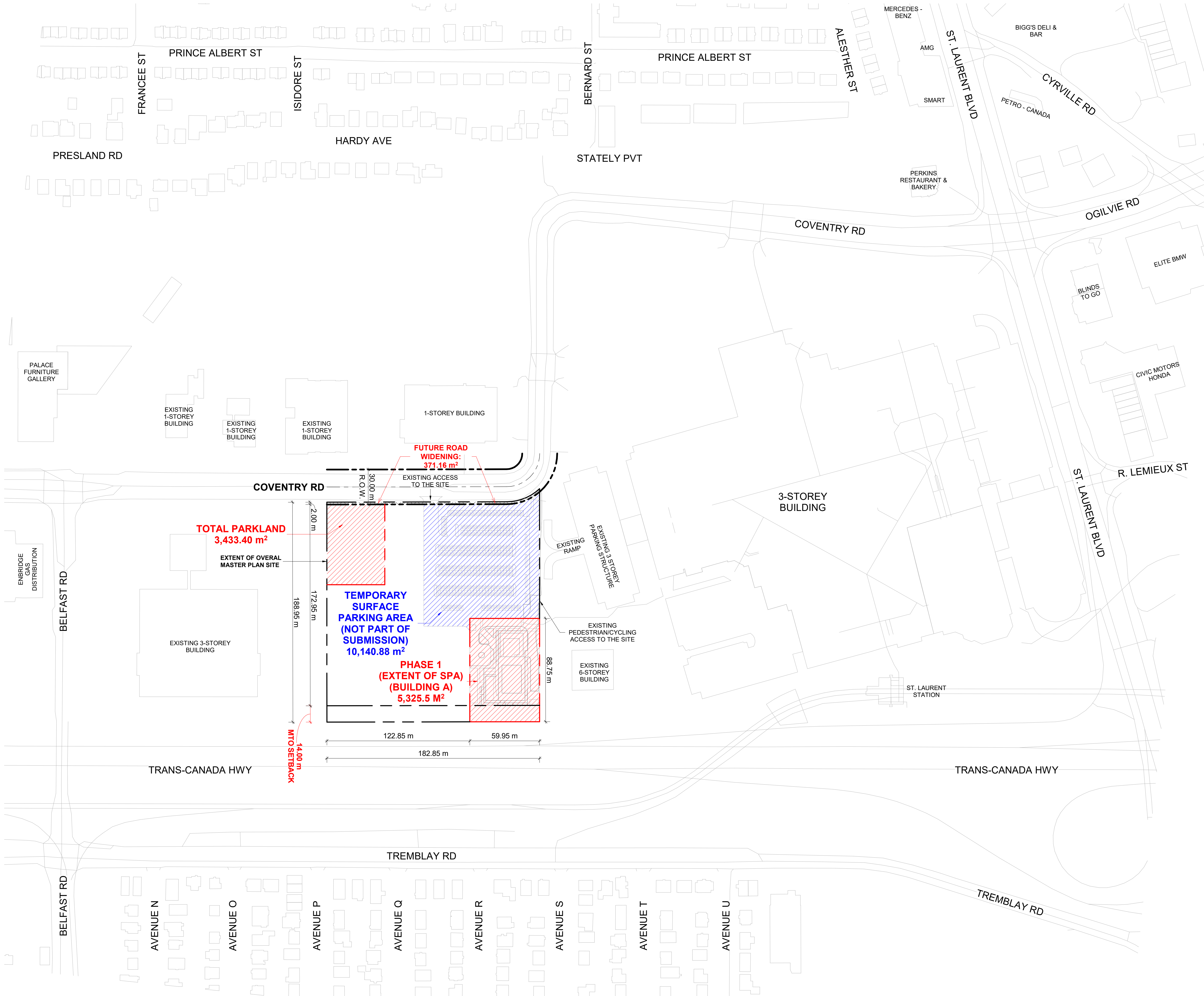
DRAWINGS

CONTEXT PLAN & DRAWING LIST

PROJECT NO.
18.050 P01
PROJECT DATE
2026-01-13
DRAWN BY
RYT
CHECKED BY
HHO
SCALE
1 : 1500



DRAWING NO.
SPA004
REV.
4



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SITE PLAN SYMBOLS

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	GAS/HYDRO METER
	PRIVATE ROAD
	PRIVATE ROAD - INTERNAL
	PARKLAND
	SOFT LANDSCAPING
	GREEN ROOF / AMENITY
	TWO-WAY CYCLE PATH
	OUTDOOR TERRACE
	SIDEWALK
	TWSI - AT PEDESTRIAN AND CYCLING CROSSINGS
	TOWNHOUSES AT GRADE
	EXTENT OF UNDERGROUND PARKING BELOW
	EXTENT OF SPA

REFER TO LANDSCAPE DRAWINGS FOR SURFACE TREATMENT

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
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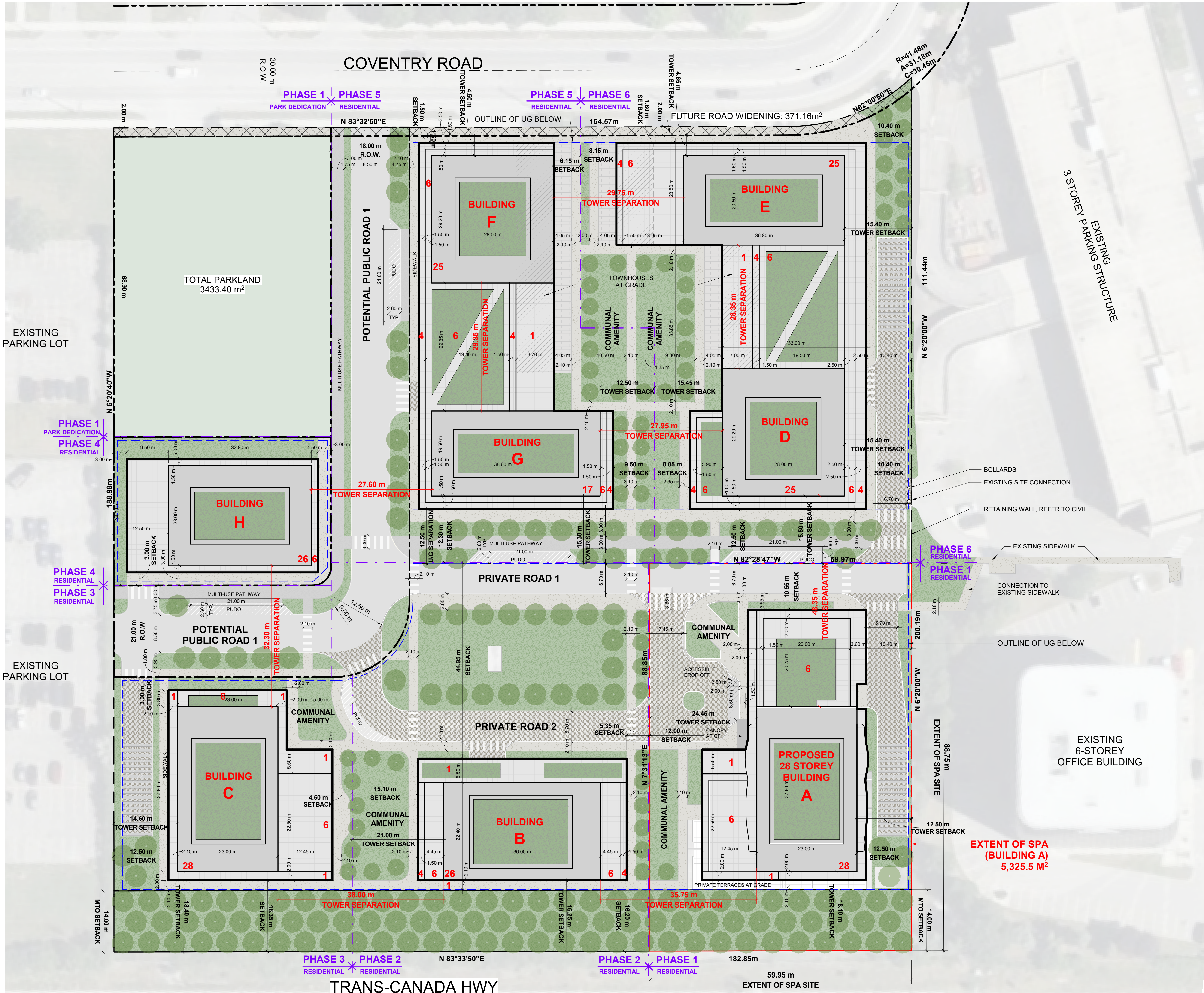
PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

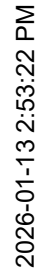
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
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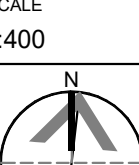
DRAWINGS
MASTER PLAN / CONCEPT PLAN

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1:400	

DRAWING NO. SPA005A	REV. 4
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PROJECT NO. 18.050 P01		
PROJECT DATE 2026-01-13		
DRAWN BY RYT		
CHECKED BY HHO		
SCALE 1:400		
		
DRAWING NO. SPA005B		REV. 4

- DEVELOPER**
Morguard Corporation
55 City Centre Drive, Suite 1000
Mississauga, ON L5B 1M3
Contact Name: Mark Bradley
Phone Number: (905) 281-5831
Email: mbradley@morguard.com

WIND CONSULTANT
Gradient Wind
127 Walgreed Rd,
Carp, ON, K0A 1L0
Contact Name: David Hurtima
Tel.: (613) 836-0934
E-Mail: david.hurtima@gradientwind.com

CIVIL ENGINEER
Egis
6240 Hwy 7, Suite 200
Woodbridge, ON, L4H 4G3
Contact Name: Alison Gosling
Tel.: (613) 714-4629
E-Mail: Alison.GOSLING@egis-group.com

LANDSCAPE & URBAN PLANNING
Fotenn Planning + Design
 396 Cooper Street, Suite 300
 Ottawa, ON, K2P 2H7
 Contact Name: Jillian Simpson
 Tel.: (613) 730-5709
 E-Mail: simpson@fotenn.com

REFUGE REQUIREMENT (309 UNITS)		
	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd ³ /UNIT	17
RECYCLING GMP	0.018 yd ³ /UNIT	6
RECYCLING FIBER	0.038 yd ³ /UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

REV. 4

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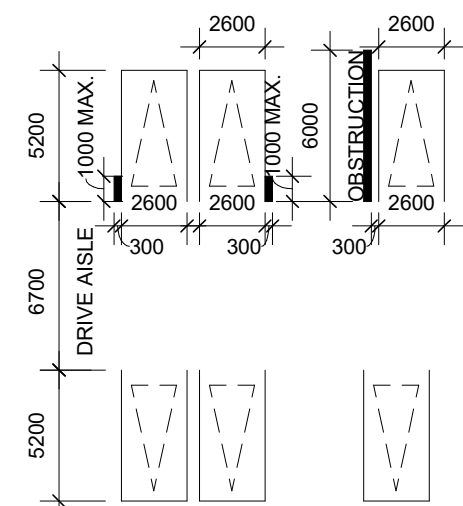
V VISITOR PARKING SPACE
R RESIDENTIAL PARKING SPACE

MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

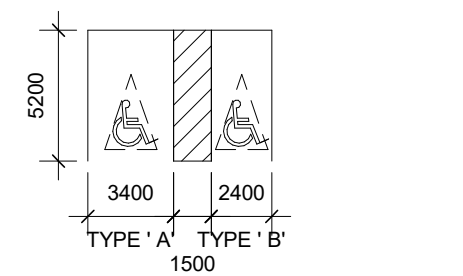
aisle width: min 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1 m HIGH



TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH



4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
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PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWING

UNDERGROUND LEVEL 02

PROJECT NO.

18.050 P01

PROJECT DATE

2026-01-13

DRAWN BY

RYT

CHECKED BY

HHO

SCALE

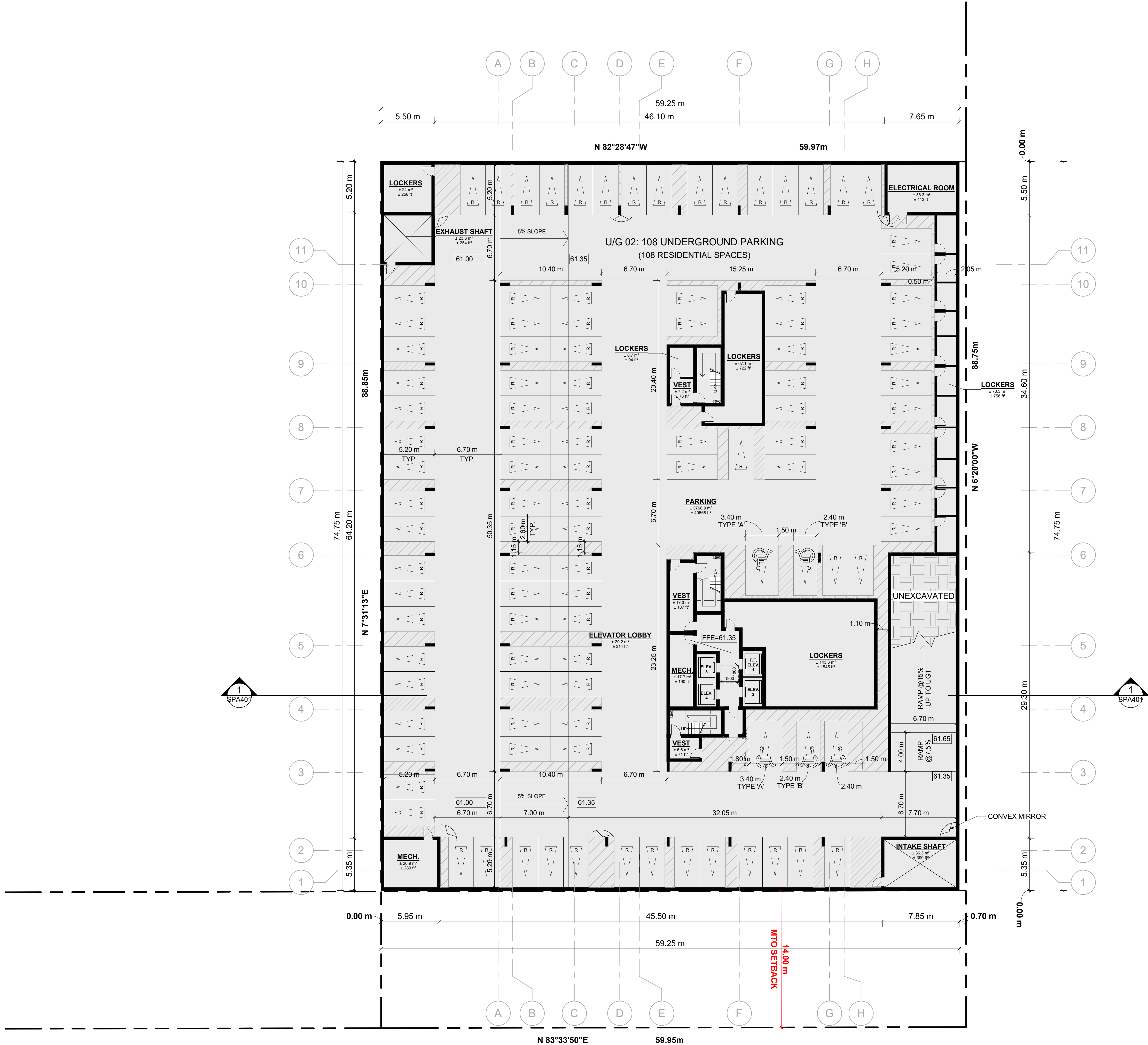
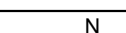
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DRAWING NO.

SPA101

REV.

4



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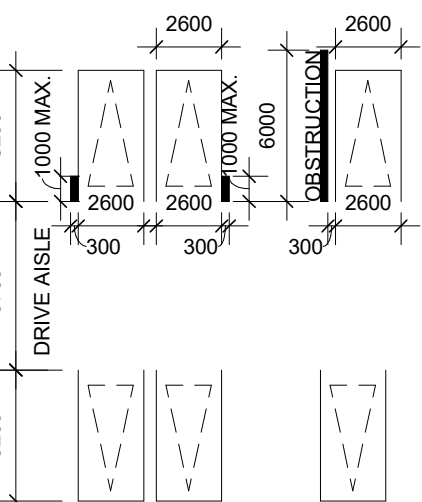
V VISITOR PARKING SPACE
R RESIDENTIAL PARKING SPACE

MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

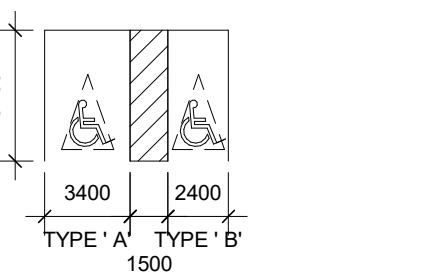
aisle width: MIN 6.7m

TYPICAL PARKING SPACE:
MIN 2.6 x 5.2 x 2.1 m HIGH

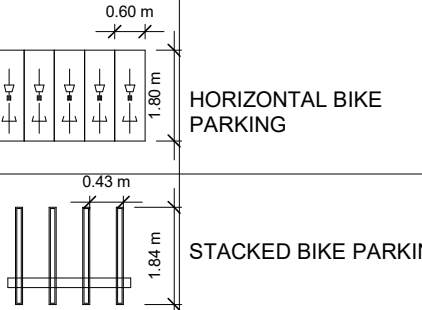


TYPICAL BARRIER FREE SPACE

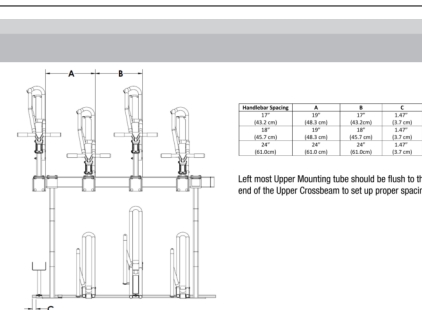
MIN 3.66 x 5.2 x 2.1m HIGH



BIKE PARKING LEGEND



STACKED BIKE PARKING DIAGRAM



4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
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1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



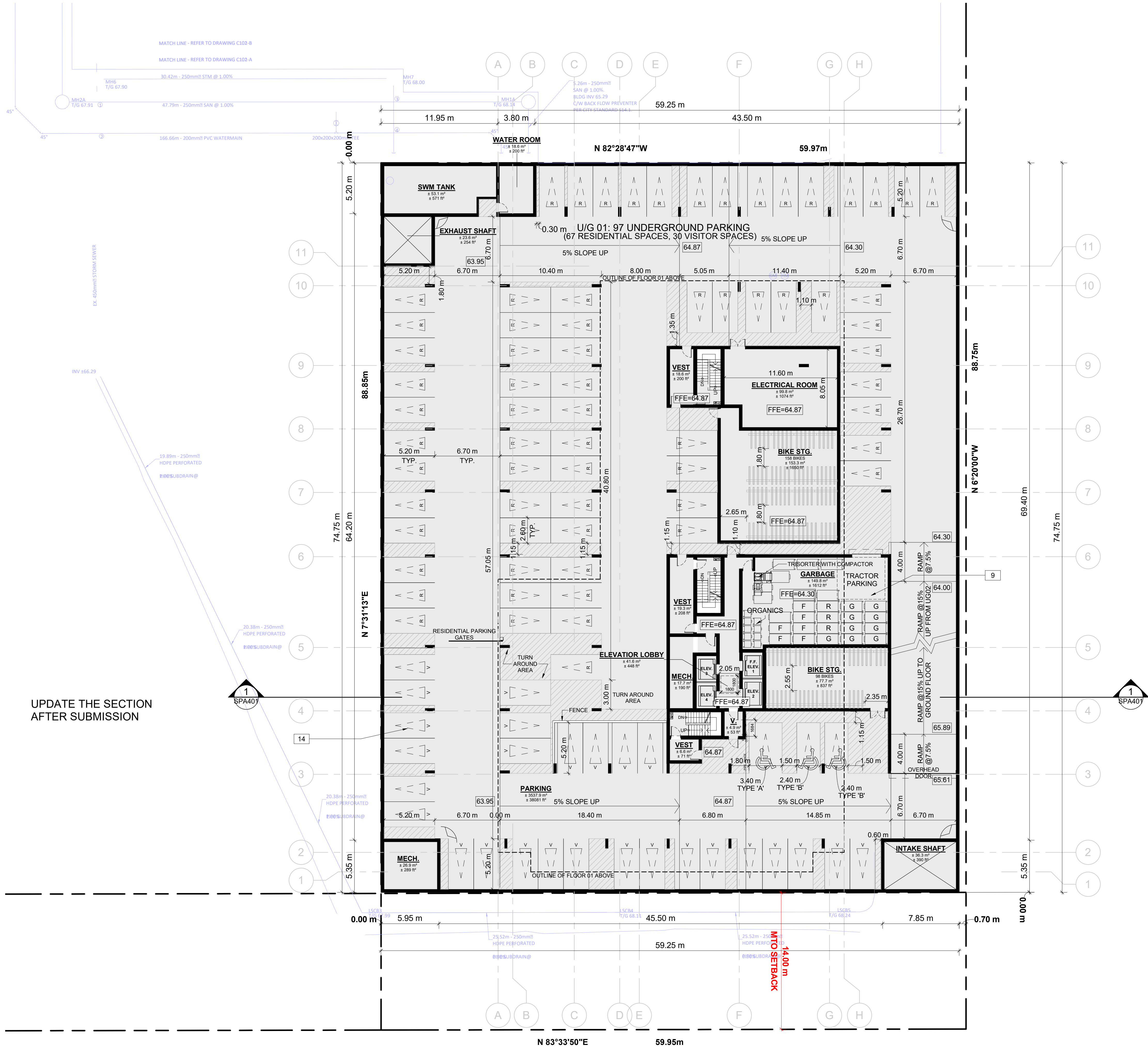
PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWING

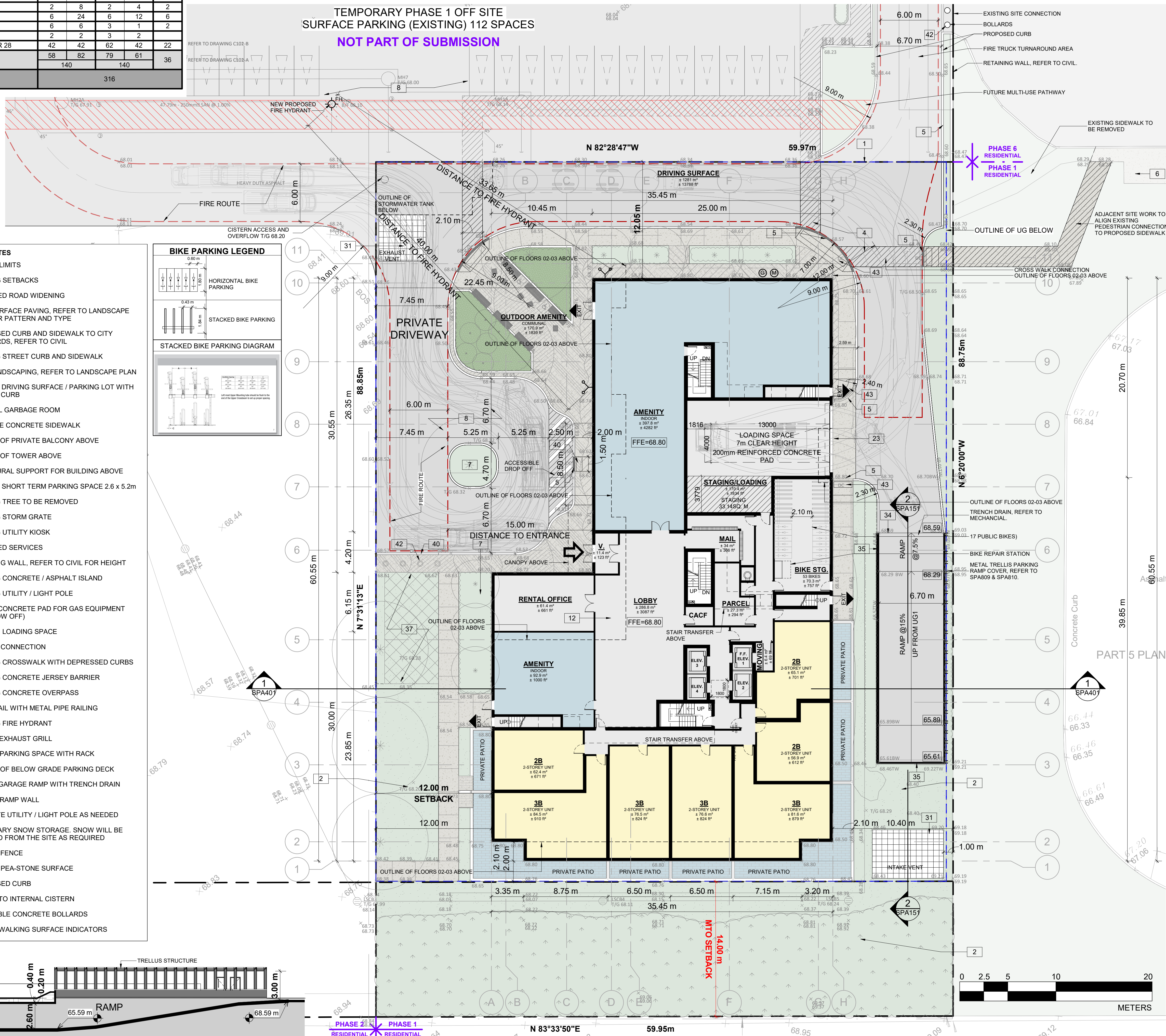
UNDERGROUND LEVEL 01

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1:200	
DRAWING NO. SPA102	
REV. 4	



UNIT BREAKDOWN					
LEVEL	1B	1B+D	2B	2B+D	3B
FLOOR 01			3		4
FLOOR 02	2	8	2	4	2
FLOOR 03-05	6	24	6	12	6
FLOOR 06	6	6	3	1	2
FLOOR 07	2	2	3	2	
FLOOR 08 - FLOOR 28	42	42	62	42	22
SUB TOTAL	58	82	79	61	36
	140		140		
GRAND TOTAL	316				

TEMPORARY PHASE 1 OFF SITE
SURFACE PARKING (EXISTING) 112 SPACES
NOT PART OF SUBMISSION



PROJECT INFORMATION		
Zoning By-law 2008-250 Consolidation		TD3
NET OVERALL SITE AREA BREAKDOWN		
AREA TYPE	m²	ACRE
SITE AREA - BLDG A	5,325.54	1.316
TOTAL PARKLAND AREA	3,433.40	0.848
FUTURE ROAD WIDENING AREA	371.16	0.092
TOTAL PHASE 1 & ASSOCIATED AREAS	9,130.10	2.256
TEMPORARY OFF SITE PARKING	10,140.88	2.573
REMAINING SITE AREA	15,120.12	3.736
TOTAL SITE AREA	34,661.0	8.565

ZONING	REQUIRED	PROVIDED
BUILDING HEIGHT	30 STOREYS / 90.0M	28 STOREYS / 90.0M
GRADE (GEODETIC ELEVATION - ASL)		68.80M
ALLOWABLE PROJECTION - AMENITY LEVEL	0.0M	22.7M
DENSITY - MINIMUM 350 units/hectare	206 UNITS	316 UNITS
FRONT YARD SETBACK	3.0M	11.075M
CORNER YARD SETBACK (East / West)	3.0M/3.0M	134.85M/12.5M
REAR YARD SETBACK (GROUND TO 6th FLOOR)	0.0M	16.10M
REAR YARD SETBACK (ABOVE 7th STOREY)	12.0M	18.10M
AMENITY AREA - TOTAL PER UNIT	6.0M ²	14.4M ²
AMENITY AREA - 50% COMMUNAL PER UNIT	3.0M ²	3.00M ²
AMENITY AREA - 2.0% OF LOT EXTERIOR AT GRADE COMMUNAL	117.15M ²	170.9M ²
VEHICLE PARKING - RESIDENTIAL (AREA "Z" - MAX 1.5/PER UNIT)	NOT REQUIRED	289
VEHICLE PARKING - VISITOR ONLY (MAX. 30, AFTER 12 UNITS)	30	30
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	158	309
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0M/6.7M	6.7M

GROSS FLOOR AREA (OTTAWA ZONING DEFINITION)			m²	ft²
UG 02-01			0	0
FLOOR 01			503.6	5,421
FLOOR 02			1,339.6	14,419
FLOOR 03-05	1,339.6 m² x 3		4,018.8	43,258
FLOOR 06			1,224.1	13,176
FLOOR 07			631.4	6,796
FLOOR 08 - FLOOR 28	725.2 m² x 21		15,229.8	163,933
TOTAL			22,947.3	247,003
TPP, FLOOR PLATE (INCLUDING EXTERIOR WALLS)			869.4	9,358

UNIT STATISTICS		UNITS
1B		58
1B+D		82
2B		80
2B+D		61
3B		35
TOTAL		316

VEHICULAR PARKING SPACES REQUIRED- AREA 'Z' ON SCHEDULE 1A		
VISITOR	0.1 SPACES PER UNIT AFTER 12 UNITS - MAX 30	30
RESIDENTIAL	N/A	0
TOTAL		30

VISITOR	0.1 SPACES PER UNIT (316 UNITS)	30
RESIDENTIAL	0.55 SPACES PER UNIT (316 UNITS)	175
TOTAL		205
EXISTING SURFACE PARKING LOT		112
TOTAL	1.03 PER UNIT (309 UNITS)	319

ACCESSIBLE PARKING SPACES REQUIRED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		4
TOTAL		7

ACCESSIBLE PARKING SPACES PROVIDED - (NOT INCLUDING SURFACE PARKING)		
TYPE 'A'		3
TYPE 'B'		5
TOTAL		8

STANDARD PARKING SPACE	2.6m X 5.2m
PARALLEL PARKING SPACE	2.6m X 6.7m
SMALL PARKING SPACE	2.4m X 4.6m
ACCESSIBLE PARKING SPACE ' TYPE A '	3.4m X 5.2m
ACCESSIBLE PARKING SPACE ' TYPE B '	2.4m X 5.2m
LOADING SPACE	3.5m X 7.0m

BICYCLE PARKING SPACES REQUIRED		
RESIDENTIAL	0.5 PER UNIT (316 UNITS)	158
TOTAL		158

RESIDENTIAL	INTERIOR	316
	EXTERIOR	0
TOTAL	1.0 PER UNIT (309 UNITS)	316

AMENITY AREA	m²	ft²
GRADE EXTERIOR - COMMUNAL	170.9	1,839
INTERIOR - COMMUNAL	582.9	6,275
07F EXTERIOR - COMMUNAL	202.1	2,175
TOTAL COMMUNAL	955.9	10,289
BALCONIES / TERRACE - PRIVATE	3,599.5	38,744
TOTAL	4,555.4	49,033

REQUIRED (316 UNITS X 6 m²) = 1,896.0 sq. m.
REQUIRED COMMUNAL @ 50% = 948.0 sq. m.

SITE COVERAGE		
	m ²	%
BUILDING FOOTPRINT	1,815.4	34.8%
DRIVING SURFACE	1,280.9	24.1%
LANDSCAPE AREA	2,229.2	41.1%
TOTAL BUILDING A	5,325.5	100%









REFUGE REQUIREMENT (309 UNITS)		
	COMPACTED RATIO	CUBIC YARDS
GARBAGE	0.053 yd ³ /UNIT	17
RECYCLING GMP	0.018 yd ³ /UNIT	6
RECYCLING FIBER	0.038 yd ³ /UNIT	12
COMPOST	240L PER 50 UNITS	7 BINS

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Lesmill Road
Toronto, ON, M3B 2T8
T 416 425 2222
turnerfleischer.com

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SITE PLAN SYMBOLS

	PRIMARY RESIDENTIAL ENTRANCE
	SECONDARY RESIDENTIAL ENTRANCE
	EXIT
	FIRE HYDRANT
	SIAMESE CONNECTION
	CONVEX MIRROR
	SPOT ELEVATION
	

REFER TO LANDSCAPE DRAWINGS FOR SURFACE
TREATMENT

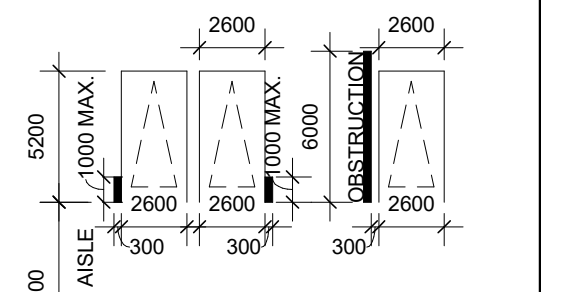
MINIMUM PERMITTED PARKING DIMENSIONS

TYPICAL PARKING DIMENSIONS

AISLE WIDTH: MIN 6.7m

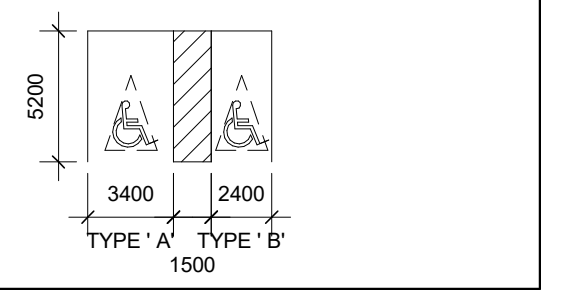
TYPICAL PARKING SPACE:
MIN 2.0 x 5.0 x 2.1' HIGH

MIN 2.0 X 3.2 X 2.1 IN HIGH



TYPICAL BARRIER FREE SPACE

MIN 3.66 x 5.2 x 2.1m HIGH



4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HMO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT

PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWING

FLOOR 01

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY	



DRAWING NO.	REV.
SPA151	4

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PROJECT

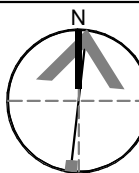
**PROPOSED 28-STOREY RESIDENTIAL
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWING

FLOOR 02

PROJECT NO. 18.050 P01	 <p>ONTARIO ASSOCIATION OF ARCHITECTS RUSSELL L. FLEISCHER LICENCE 5004</p>
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	



DRAWING NO. SPA152	REV. 4
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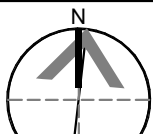


PROJECT

PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

FLOOR 03 - 05

PROJECT NO. 18.050 P01		
PROJECT DATE 2026-01-13		
DRAWN BY RYT		
CHECKED BY HHO		
SCALE 1 : 200		
	DRAWING NO. SPA153	REV. 4

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PROJECT

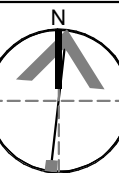
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

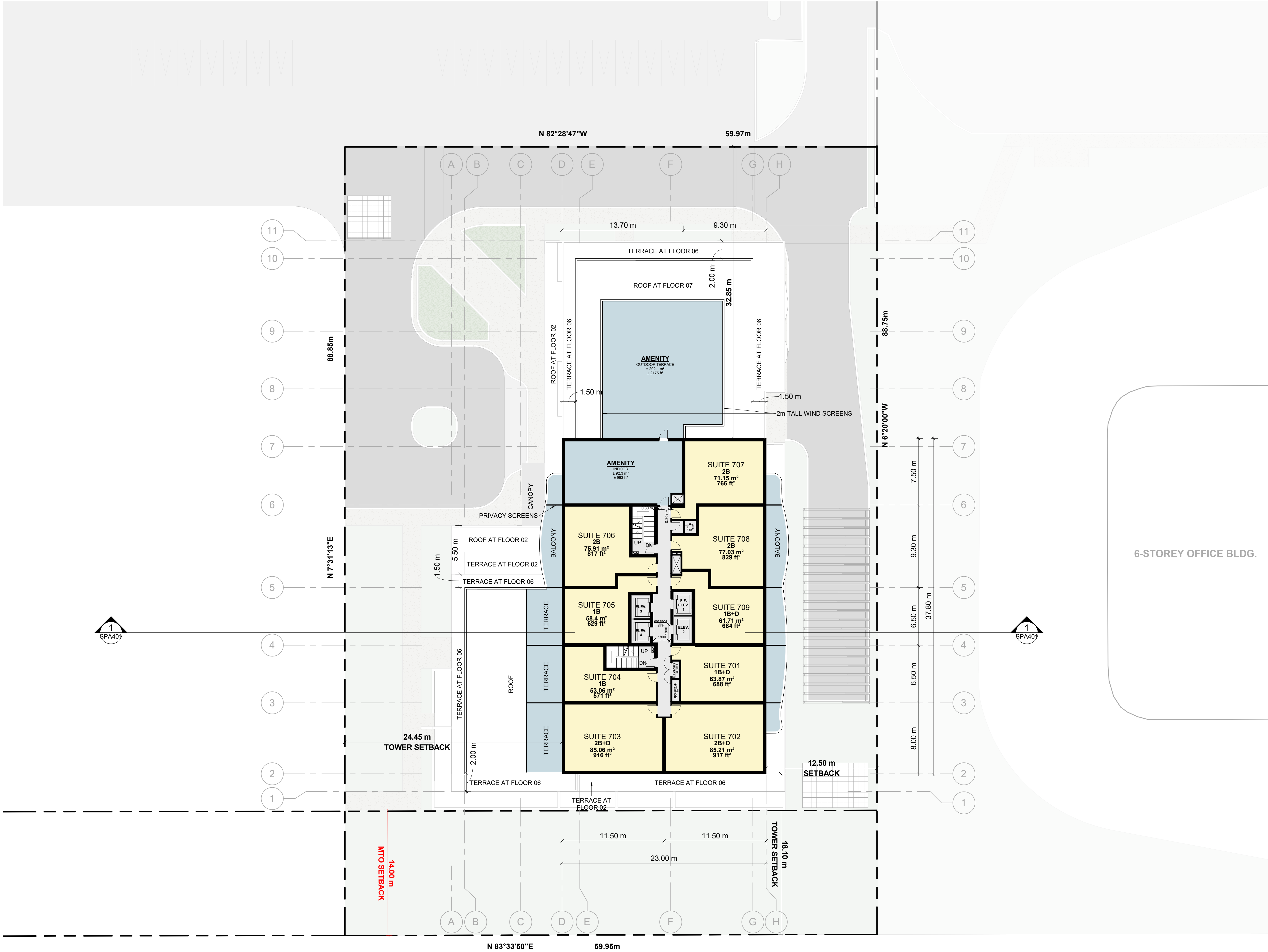
DRAWING

FLOOR 06

PROJECT NO. 8.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	



RAWING NO.	REV.
SPA154	4



4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS
FLOOR 07

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

DRAWING NO. SPA155	REV. 4
------------------------------	------------------



6-STOREY OFFICE BLDG.

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

FLOOR 08 - 28

PROJECT NO.

18.050 P01

PROJECT DATE

2026-01-13

DRAWN BY

RYT

CHECKED BY

HHO

SCALE

1 : 200

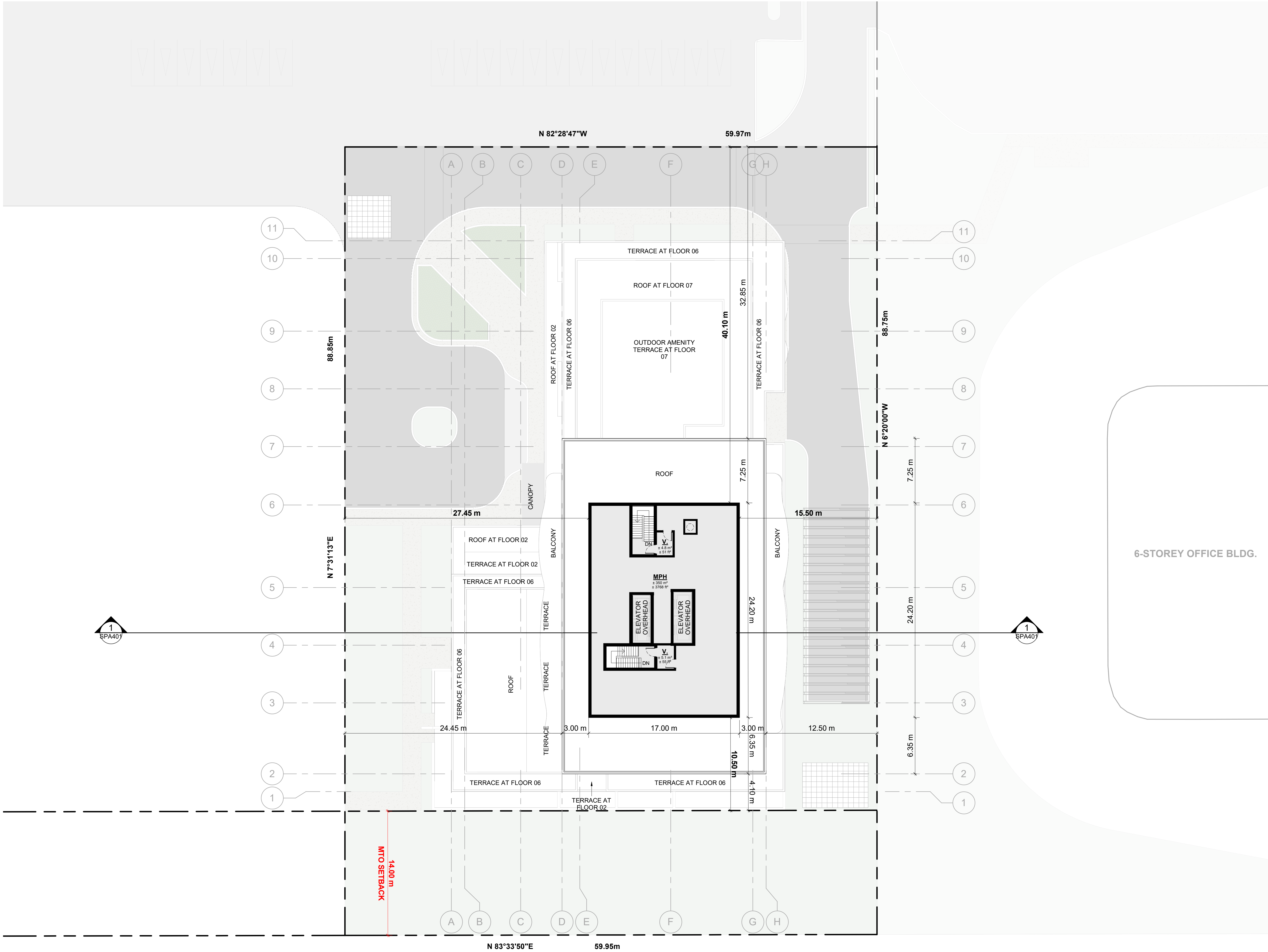
DRAWING NO.

SPA156

REV.

4





4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



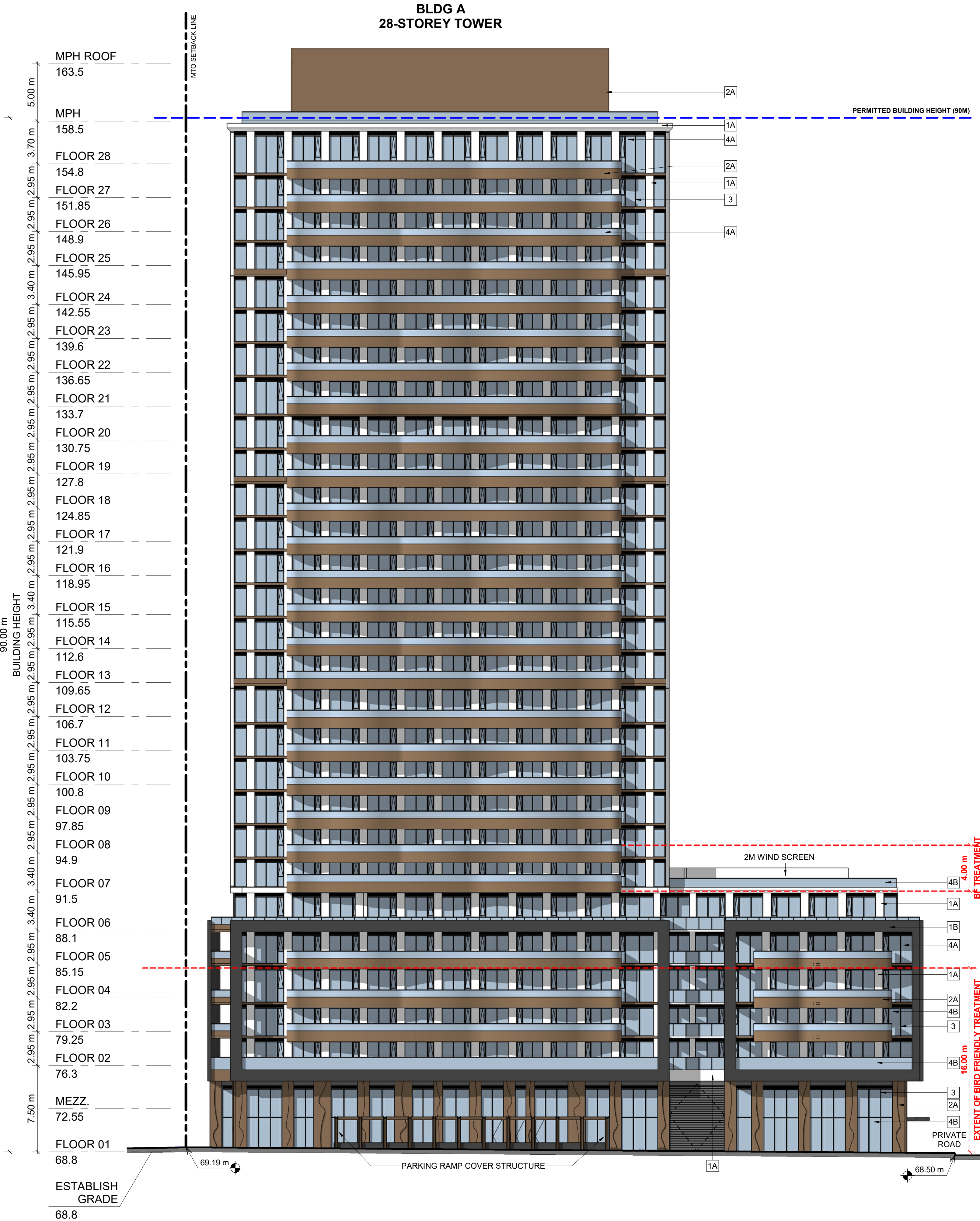
PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS
MPH

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	

	DRAWING NO. SPA157	REV. 4
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2026-01-13 2:53:38 PM



1
SPA301

EAST ELEVATION
1 : 200

2
SPA301

NORTH ELEVATION
1 : 200

TURNER
FLEISCHER

Turner Fleischer Architects Inc.

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EXTERIOR FINISH LEGEND

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

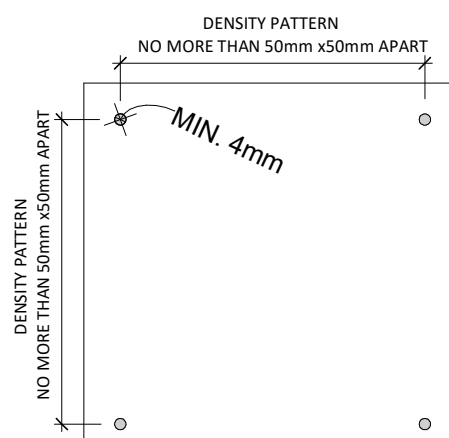
GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

PROVISION OF VISUAL MARKERS

VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.

METHODS OF ACHIEVING THIS ARE AS FOLLOWS:

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
- MUST BE APPLIED TO THE EXTERIOR (FIRST) SURFACE OF THE GLASS.
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

Morguard

PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

ELEVATIONS

PROJECT NO.

18.050 P01

PROJECT DATE

2026-01-13

DRAWN BY

RYT

CHECKED BY

HHO

SCALE

1:200



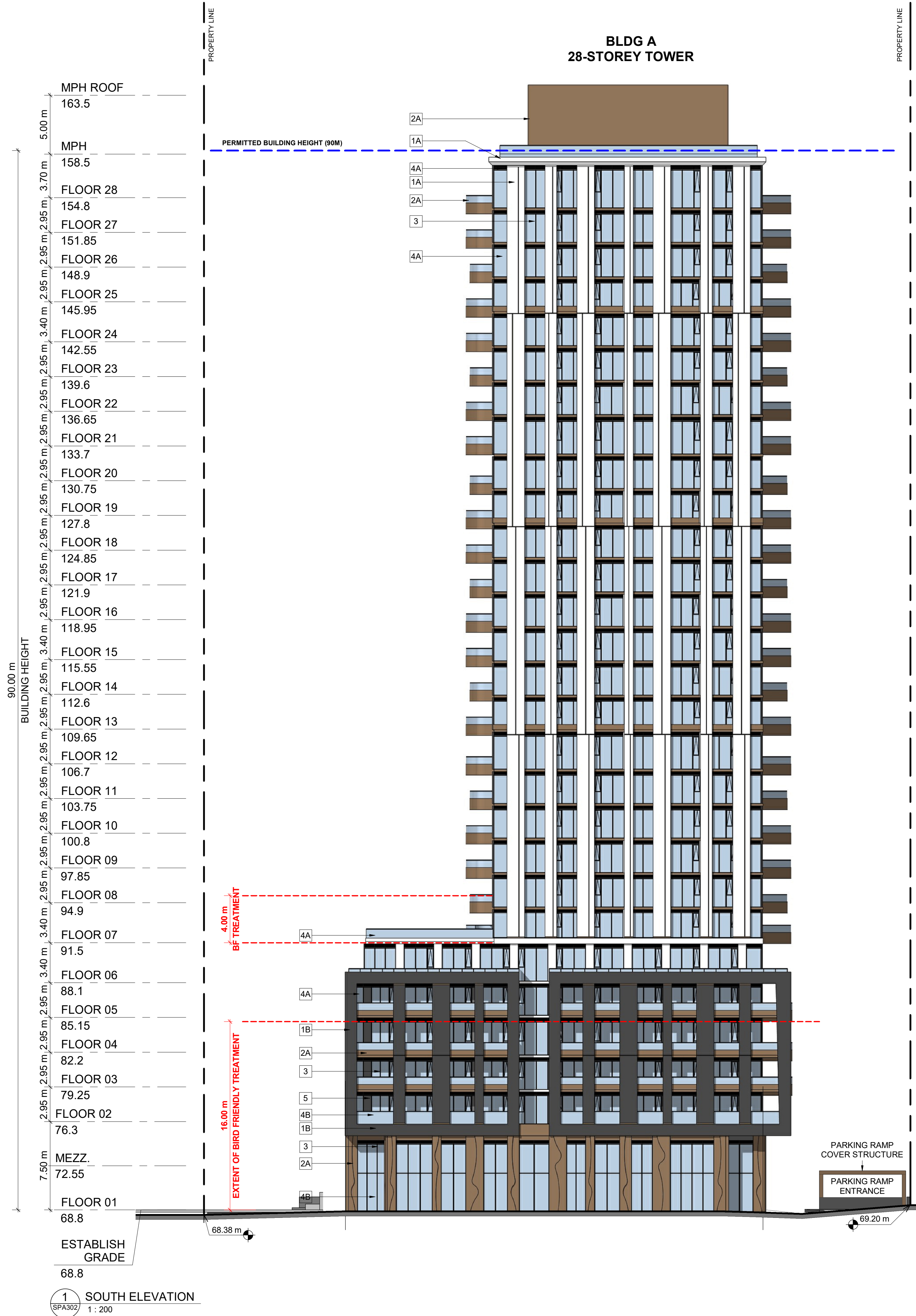
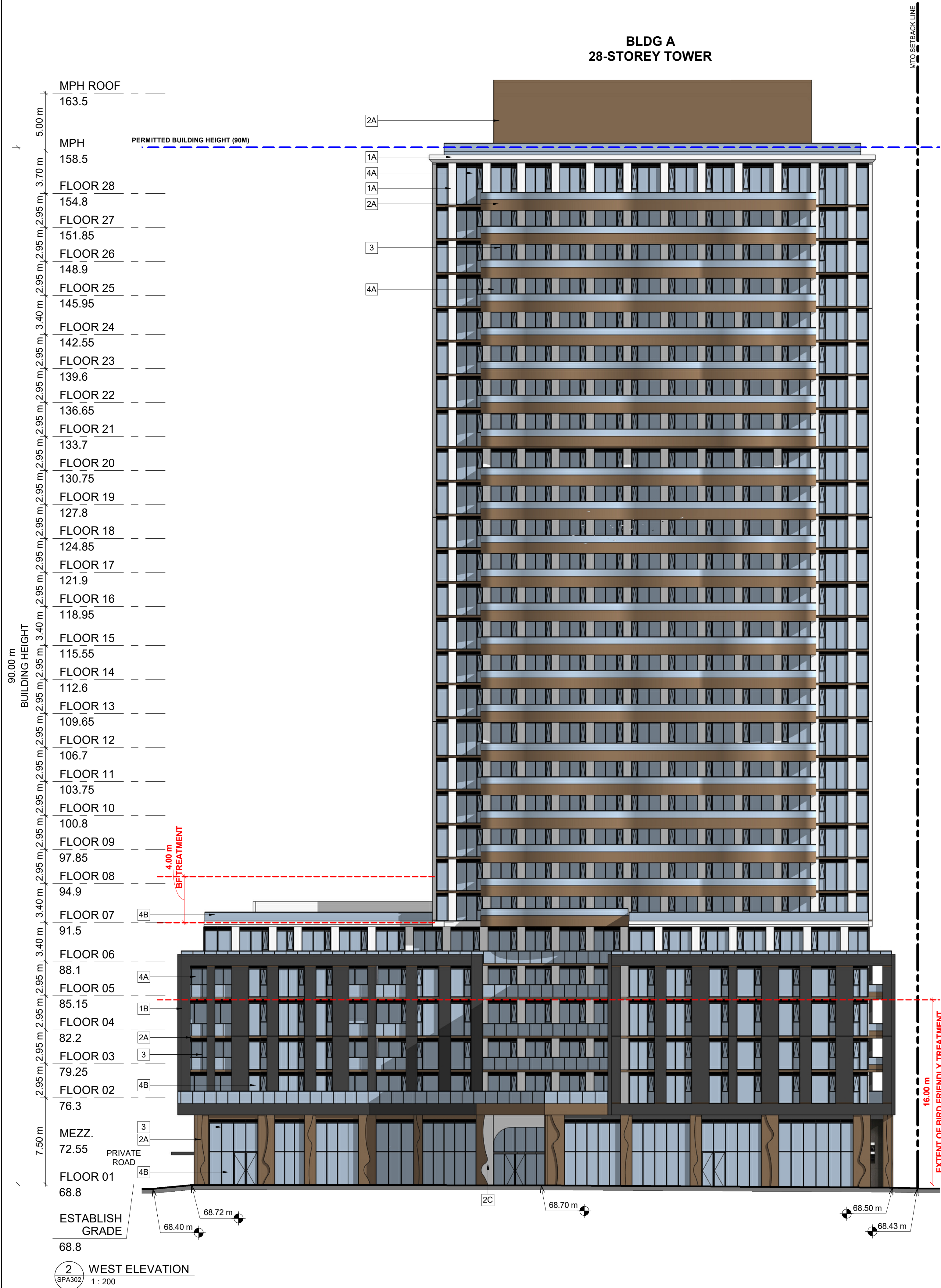
DRAWING NO.

SPA301

REV.

4

2026-01-13 2:53:43 PM



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EXTERIOR FINISH LEGEND

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):

PROVISION OF VISUAL MARKERS
VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.
METHODS OF ACHIEVING THIS ARE AS FOLLOWS:
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- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTERGRADED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.

DETAIL NOTES:

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

Morguard

PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

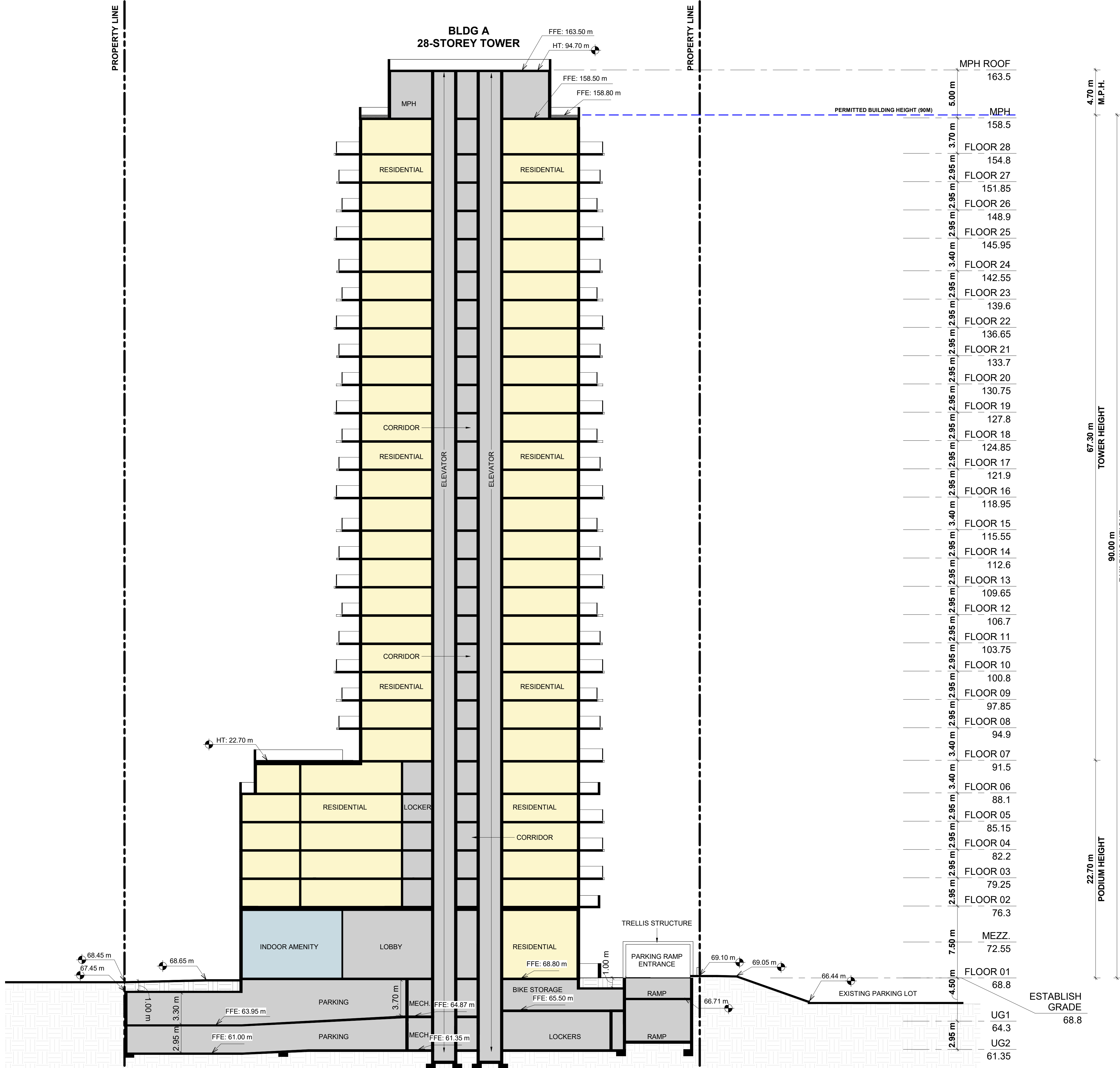
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

ELEVATIONS

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1:200	

DRAWING NO. SPA302	REV. 4
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1 EAST-WEST SECTION
SPA401 1 : 200

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4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWING
EAST-WEST SECTION

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE 1 : 200	



VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

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3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JATU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STORY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

3D PERSPECTIVES

PROJECT NO.
18.050 P01
PROJECT DATE
2026-01-13
DRAWN BY
RYT
CHECKED BY
HHO
SCALE

ONTARIO ASSOCIATION
OF
ARCHITECTS
RUSSELL L. FLEISCHER
LICENCE
5004

DRAWING NO.
SPA801
REV.
3

2026-01-13 2:53:44 PM



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JATU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

3D PERSPECTIVES

PROJECT NO.
18.050 P01
PROJECT DATE
2026-01-13
DRAWN BY
RYT
CHECKED BY
HHO
SCALE

DRAWING NO.
SPA802REV.
3



VIEW FROM TRANS-CANADA HWY LOOKING NORTH

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3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

3D PERSPECTIVE

PROJECT NO.
18.050 P01
PROJECT DATE
2026-01-13
DRAWN BY
RYT
CHECKED BY
HHO
SCALE



DRAWING NO.
SPA803
REV.
3



VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

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FLEISCHER

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3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	JATU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01	
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE	

DRAWING NO. SPA804	REV. 3
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VIEW LOOKING FROM THE WEST

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4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS

3D PERSPECTIVES

PROJECT NO. 18.050 P01		DRAWING NO. SPA805	REV. 4
PROJECT DATE 2026-01-13			
DRAWN BY RYT			
CHECKED BY HHO			
SCALE			



VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

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67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY



PROJECT
PROPOSED 28-STOREY RESIDENTIAL BUILDING
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.
FILE #D07-12-24-0151
PLAN #19272

DRAWINGS
3D PERSPECTIVES

PROJECT NO.
18.050 P01

PROJECT DATE
2026-01-13

DRAWN BY
RYT

CHECKED BY
HHO

SCALE



VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

TURNER FLEISCHER

Turner Fleischer Architects Inc.
67 Leslie Road
Toronto, ON M5B 2T8
T 416 425 2222
turnerfleischer.com

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3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	JATU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY



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PROJECT NO. 18.050 P01	
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SCALE	

DRAWING NO.
SPA807

REV.
3



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

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SPA808
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VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE

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67 Leslie Road
Toronto, ON M5B 2T8
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3D PERSPECTIVES - PARKING RAMP

PROJECT NO. 18.050 P01	A circular stamp from the Ontario Association of Architects. It contains the text "ONTARIO ASSOCIATION OF ARCHITECTS" around the top and "RUSSELL L. FLEISCHER LICENCE 5004" around the bottom. In the center, there is a signature.
PROJECT DATE 2026-01-13	
DRAWN BY RYT	
CHECKED BY HHO	
SCALE	

DRAWING NO. SPA809	REV. 3
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VIEW LOOKING WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE

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