

# PROPOSED 28-STOREY RESIDENTIAL BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
 FILE #D07-12-24-0151  
 PLAN #19272

18.050 P01



TURNER  
FLEISCHER

67 Lesmill Rd  
 Toronto, ON, M3B 2T8  
 Contact Name: Raza Mehdi  
 Phone Number: 416-425-2222 ext 310  
 Email: raza.mehdi@turnerfleischer.com

ISSUED FOR SITE PLAN APPROVAL #3  
 JANUARY 13, 2026

**Gradient Wind**

Wind  
 127 Walgreen Rd,  
 Carp, ON, K0A 1L0  
 Contact Name: David Hurtima  
 Phone Number: (613) 836-0934  
 Email: david.hurtima@gradientwind.com

**CGH Transportation**

Traffic Consultant  
 13 Markham Ave  
 Ottawa, ON, K2G 3Z1  
 Contact Name: Andrew Harte  
 Phone Number: (613) 697-3797  
 Email: andrew.harte@cghtransportation.com

**Egis**

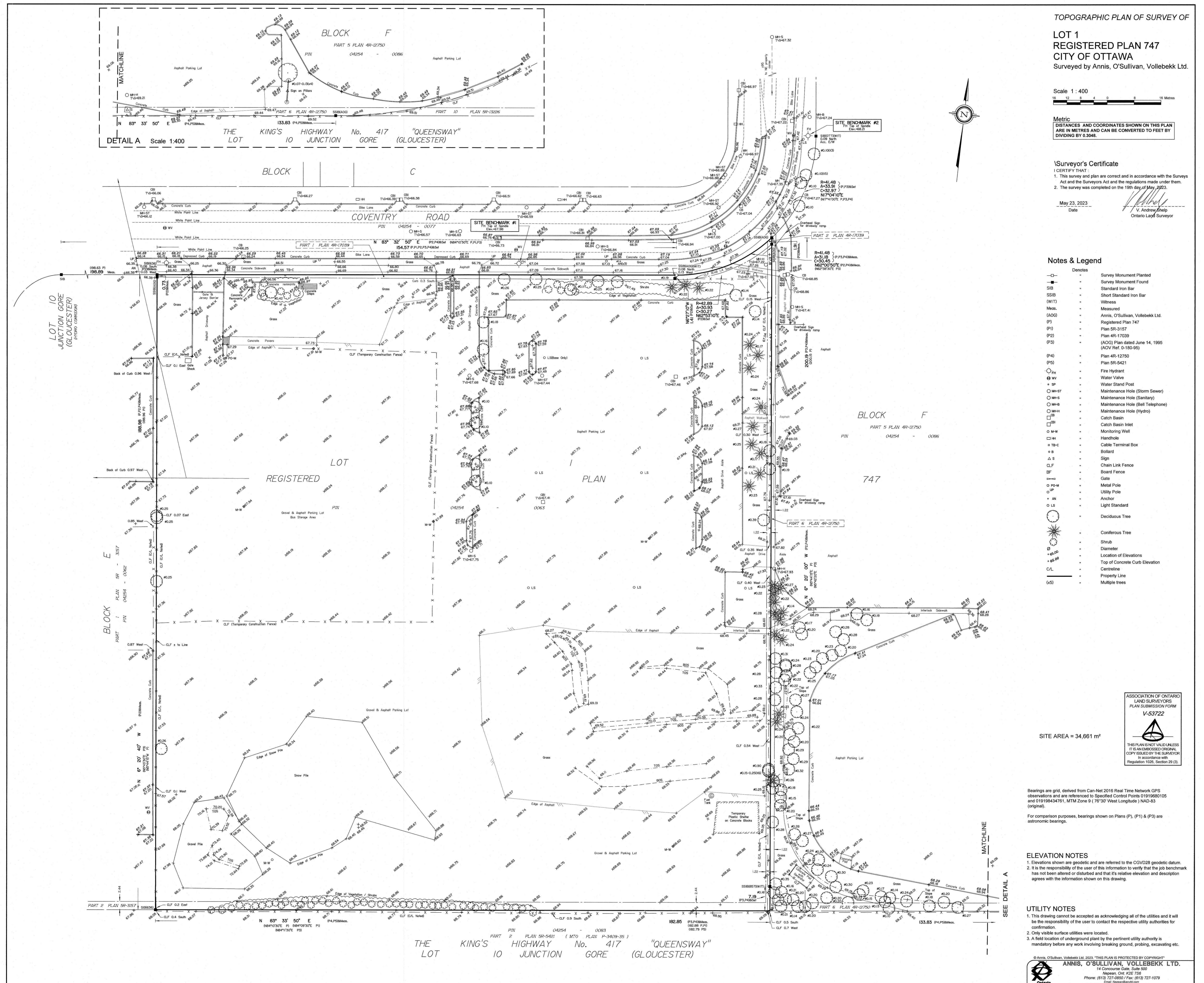
Civil Engineer  
 6240 Hwy 7, Suite 200  
 Woodbridge, ON, L4H 4G3  
 Contact Name: Alison Gosling  
 Phone Number: (613) 714-4629  
 Email: Alison.GOSLING@egis-group.com

**Foten Planning + Design**

Landscape & Urban Planner  
 396 Cooper Street, Suite 300  
 Nepean, ON, K2E 7S6  
 Contact Name: Jillian Simpson  
 Phone Number: (613) 730-5709  
 Email: simpson@fotenn.com

**Vollebekk Ltd.**

Surveyor  
 14 Concourse Gate, Suite 500  
 Nepean, ON, K2E 7S6  
 Contact Name: Anna O'Sullivan  
 Phone Number: (613) 727-0850  
 Email: Nepean@aovltd.com



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SPA DRAWINGS

SHEET NUMBER	SHEET NAME
SPA000	COVER SHEET
SPA001	SURVEY
SPA004	CONTEXT PLAN & DRAWING LIST
SPA005A	MASTER PLAN / CONCEPT PLAN
SPA005B	SITE PLAN / ROOF PLAN - OVERALL SITE
SPA005C	SITE PLAN / ROOF PLAN
SPA101	UNDERGROUND LEVEL 02
SPA102	UNDERGROUND LEVEL 01
SPA151	FLOOR 01
SPA152	FLOOR 02
SPA153	FLOOR 03 - 05
SPA154	FLOOR 06
SPA155	FLOOR 07
SPA156	FLOOR 08 - 28
SPA157	MPH
SPA301	ELEVATIONS
SPA302	ELEVATIONS
SPA401	EAST-WEST SECTION
SPA801	3D PERSPECTIVES
SPA802	3D PERSPECTIVES
SPA803	3D PERSPECTIVE
SPA804	3D PERSPECTIVES
SPA805	3D PERSPECTIVES
SPA806	3D PERSPECTIVES
SPA807	3D PERSPECTIVES
SPA808	3D PERSPECTIVES
SPA809	3D PERSPECTIVES - PARKING RAMP
SPA810	3D PERSPECTIVES - PARKING RAMP

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

**Morguard**

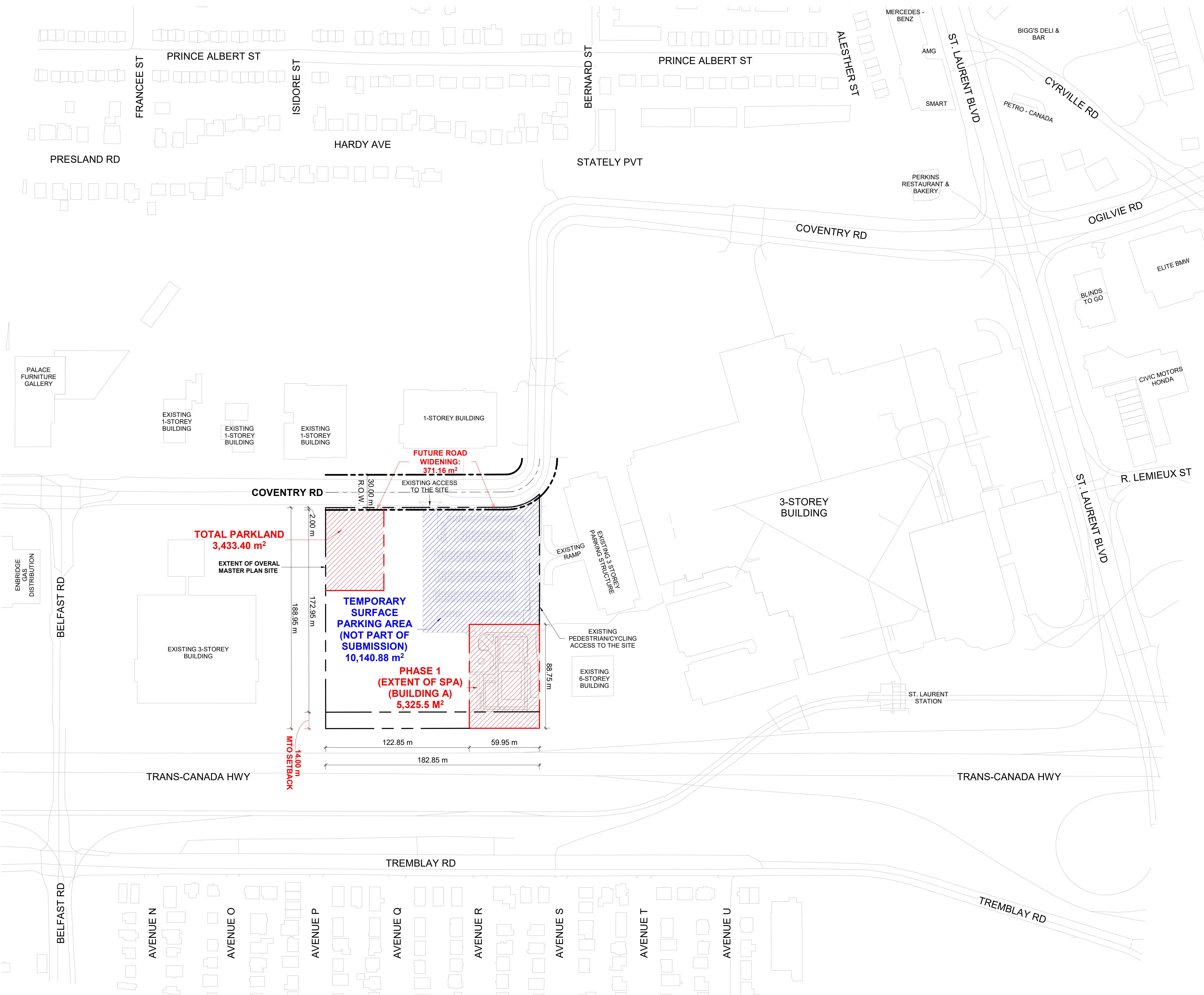
PROJECT  
**PROPOSED 28-STORY RESIDENTIAL BUILDING**  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING

CONTEXT PLAN & DRAWING LIST

PROJECT NO.	18.050 P01
PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1 : 1500
N	
DRAWING NO.	SPA004
REV	4

ONTARIO ASSOCIATION OF ARCHITECTS  
RUSSELL FLEISCHER LICENCE 5004



This architectural site plan illustrates a property boundary with various setbacks and future road widening plans. The property is divided into several phases: Phase 1 (Park Dedication), Phase 5 (Residential), and Phase 6 (Residential). Setbacks are marked along the property line, including a 2.00 m setback on the left, a 1.50 m setback, a 3.50 m setback, a 1.50 m setback, a 4.50 m corner setback, a 1.60 m setback, and a 2.00 m setback on the right. A dashed line indicates the 'OUTLINE OF UG BELOW'. A dimension of 154.57m is shown along the bottom. A note specifies 'FUTURE ROAD WIDENING: 371.16m²' with a slope of 'N 62° 0' 50"E'. A north arrow indicates 'N 83° 32'50"E'. A legend at the bottom right identifies 'CONCRETE' and 'SOIL'.

## SITE PLAN SYMBOLS

PRIMARY  
RESIDENTIAL ENTRANCE

SECONDARY RESIDENTIAL  
ENTRANCE

EXIT

FIRE HYDRANT

SIAMESE CONNECTION

CONVEX MIRROR

SPOT ELEVATION

GAS/HYDRO METER

PRIVATE ROAD

PRIVATE ROAD - INTERNAL

PARKLAND

SOFT LANDSCAPING

GREEN ROOF / AMENITY

TWO-WAY CYCLE PATH

OUTDOOR TERRACE

SIDEWALK

TWSI - AT PEDESTRIAN AND CYCLING CROSSING

TOWNHOUSES AT GRADE

EXTENT OF UNDERGROUND PARKING BELOW

EXTENT OF SPA

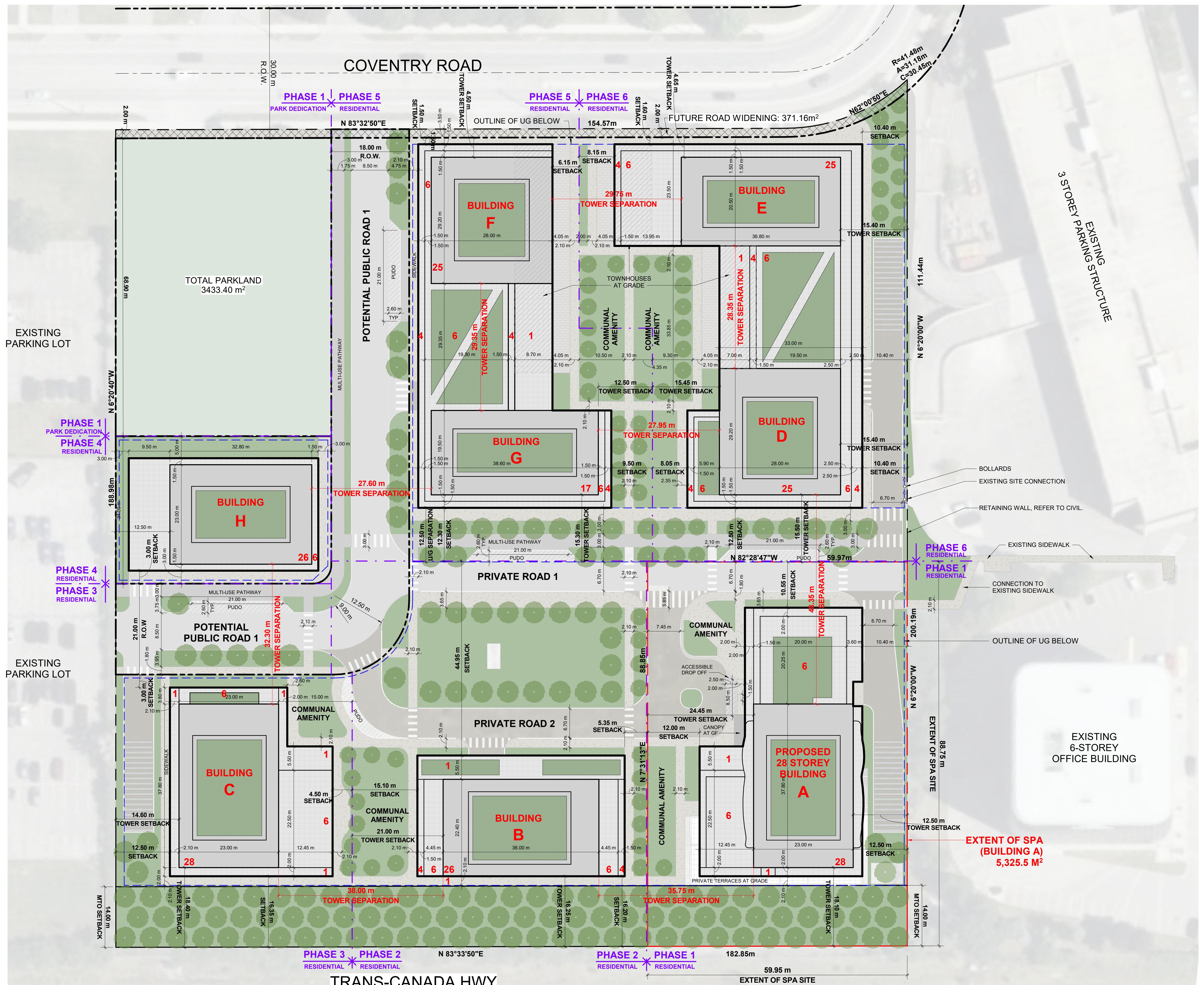
LANDSCAPE DRAWINGS FOR SURFACE

ISSUED FOR SITE PLAN APPROVAL #3	HHO
ISSUED FOR SITE PLAN APPROVAL #2	AYU
ISSUED FOR SITE PLAN APPROVAL	AYU
ISSUED FOR PRE-CONSTRUCTION	AYU

## **CLOSED 28-STOREY RESIDENTIAL BUILDING**

**1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151**

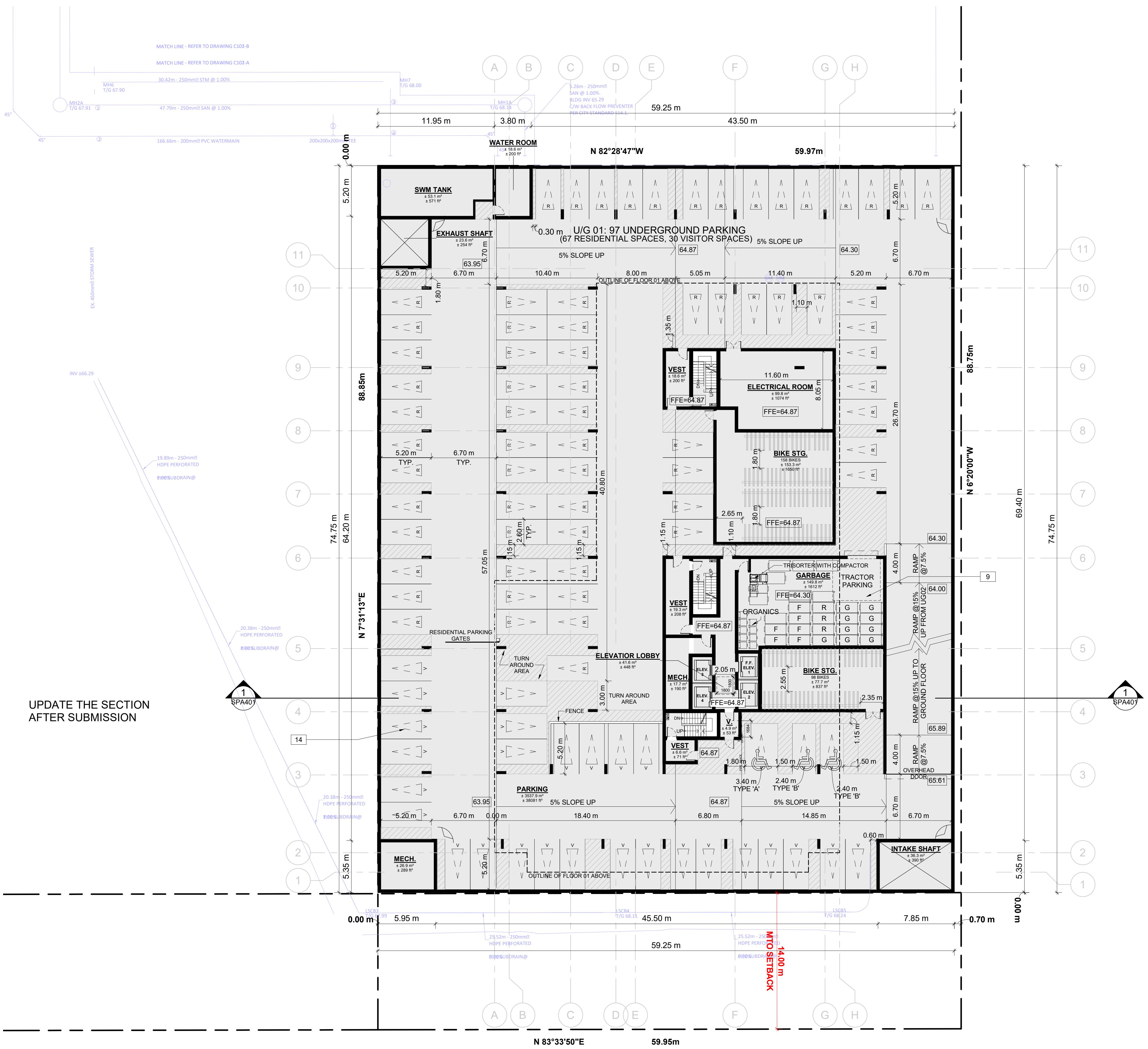
The logo of the Ontario Association of Architects is a circular emblem. The words "ONTARIO", "ASSOCIATION", and "OF" are arranged in an arc at the top, and "ARCHITECTS" is in the center. A large, stylized signature "RUSSELL L. FLEISCHER" is written across the center. Below the signature, "LICENCE" is written above the number "5004". The entire logo is set against a background of horizontal lines. At the bottom of the page, there is a stamp with the text "DRAWING NO." and "REV." followed by the number "4".













and is the property of Turner Fleischer  
responsible for all dimensions and conditions  
any variations from the supplied  
set is not responsible for the accuracy of  
shown on this drawing. Refer to the  
the work. Construction must conform to all  
jurisdiction. The contractor working from  
assume full responsibility and bear costs

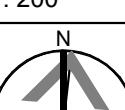


DATE	DESCRIPTION	PX
2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

EL 0008 03

PROJECT NO. 3.050 P01		
PROJECT DATE 026-01-13		
DRAWN BY Y.T.	RECHECKED BY H.O.	SCALE : 200
		
DRAWING NO. SPA152		REV. 1

as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions shown on this drawing. The architect is not responsible for the accuracy of the drawing. The drawing is not to be scaled. The architect is not responsible for the accuracy of the information shown on this drawing. Refer to the consultant's drawings before proceeding with the work. Construction must conform to all codes and requirements of authorities having jurisdiction. The contractor working from this drawing specifically marked 'For Construction' must assume full responsibility and bear costs of any damages resulting from his work.



-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
-01	ISSUED FOR SITE PLAN APPROVAL	AYU
-30	ISSUED FOR PRE-CONSTRUCTION	AYU
EE	DESCRIPTION	BY

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PLAN #15272

NO. P01		
DATE -13		
BY		
	DRAWING NO. <b>SP1152</b>	REV. <b>1</b>

as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions shown on this drawing. The architect is not responsible for the accuracy of the drawing. The drawing is not to be scaled. The architect is not responsible for the accuracy of the information shown on this drawing. Refer to the consultant's drawings before proceeding with the work. Construction must conform to all codes and requirements of authorities having jurisdiction. The contractor working from this drawing specifically marked 'For Construction' must assume full responsibility and bear costs of any damages resulting from his work.



2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
DATE	DESCRIPTION	PY

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

**FLOOR 06**

PROJECT NO. 3.050 P01	ONTOARIO ASSOCIATION OF ARCHITECTS RUSSELL L.FLEISCHER LICENCE 5004
PROJECT DATE 026-01-13	
DRAWN BY YT	
CHECKED BY HO	
SCALE : 200	
N 	
DRAWING NO. SPA154	REV. 4

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-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
-01	ISSUED FOR SITE PLAN APPROVAL	AYU
-30	ISSUED FOR PRE-CONSTRUCTION	AYU
EE	DESCRIPTION	BY

**POSED 28-STOREY RESIDENTIAL  
BUILDING**

**FLOOR 07**

NO. |

P01 ASSOC

The logo for the Ontario Association of Architects (OAA) is located in the bottom right corner. It features a circular emblem with the text "ONTARIO ASSOCIATION" around the top and "OF ARCHITECTS" in the center, with a small "OAA" logo above it.

BY  
RUSSELL FLEISCHER

**RUSSELL L. ELLIOTT  
LICENCE**

5004

DRAWING NO. SPA155 REV. 1

STATS +

as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions shown on this drawing. The architect is not responsible for the accuracy of the drawing. The drawing is not to be scaled. The architect is not responsible for the accuracy of the information shown on this drawing. Refer to the consultant's drawings before proceeding with the work. Construction must conform to all codes and requirements of authorities having jurisdiction. The contractor working from this drawing specifically marked 'For Construction' must assume full responsibility and bear costs of any damages resulting from his work.



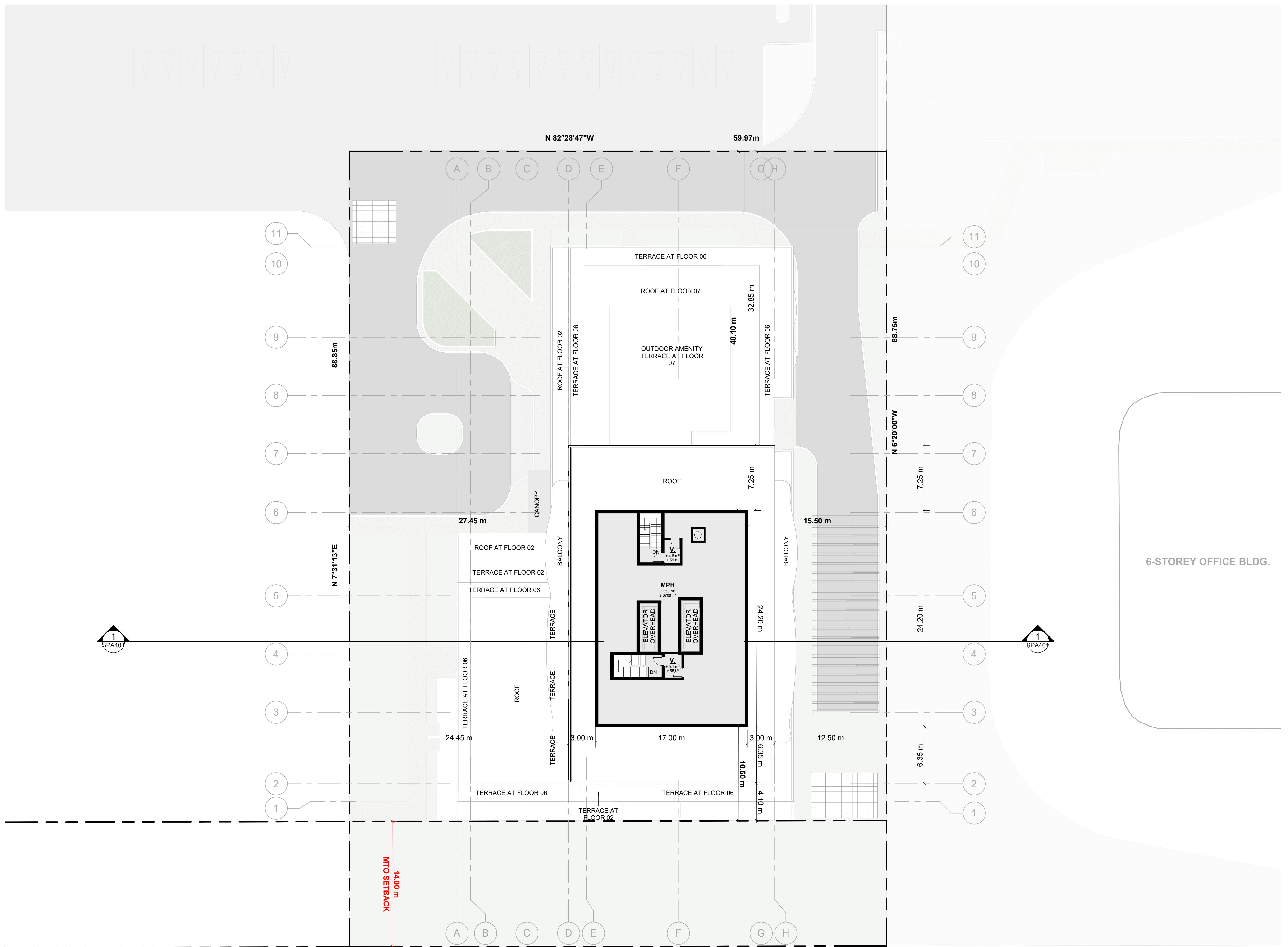
-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
-01	ISSUED FOR SITE PLAN APPROVAL	AYU
-30	ISSUED FOR PRE-CONSTRUCTION	AYU
EE	DESCRIPTION	BY

# POSED 28-STOREY RESIDENTIAL BUILDING

PLAN #15272

NO. P01		
DATE -13		
BY		
DRAWING NO. <b>SPA156</b>	REV. <b>4</b>	

is an instrument of service, is provided by and is the property of Turner Fleischer and the contractor must verify and accept responsibility for all dimensions and conditions just notify Turner Fleischer Architects Inc. of any variations from the supplied drawing is not to be scaled. The architect is not responsible for the accuracy of structural, mechanical, electrical, etc., information shown on this drawing. Refer to the consultant's drawings before proceeding with the work. Construction must conform to all codes and requirements of authorities having jurisdiction. The contractor working from specifically marked 'For Construction' must assume full responsibility and bear costs of damages resulting from his work.



-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
-01	ISSUED FOR SITE PLAN APPROVAL	AYU
-30	ISSUED FOR PRE-CONSTRUCTION	AYU
EE	DESCRIPTION	BY

# **PROPOSED 28-STOREY RESIDENTIAL BUILDING**

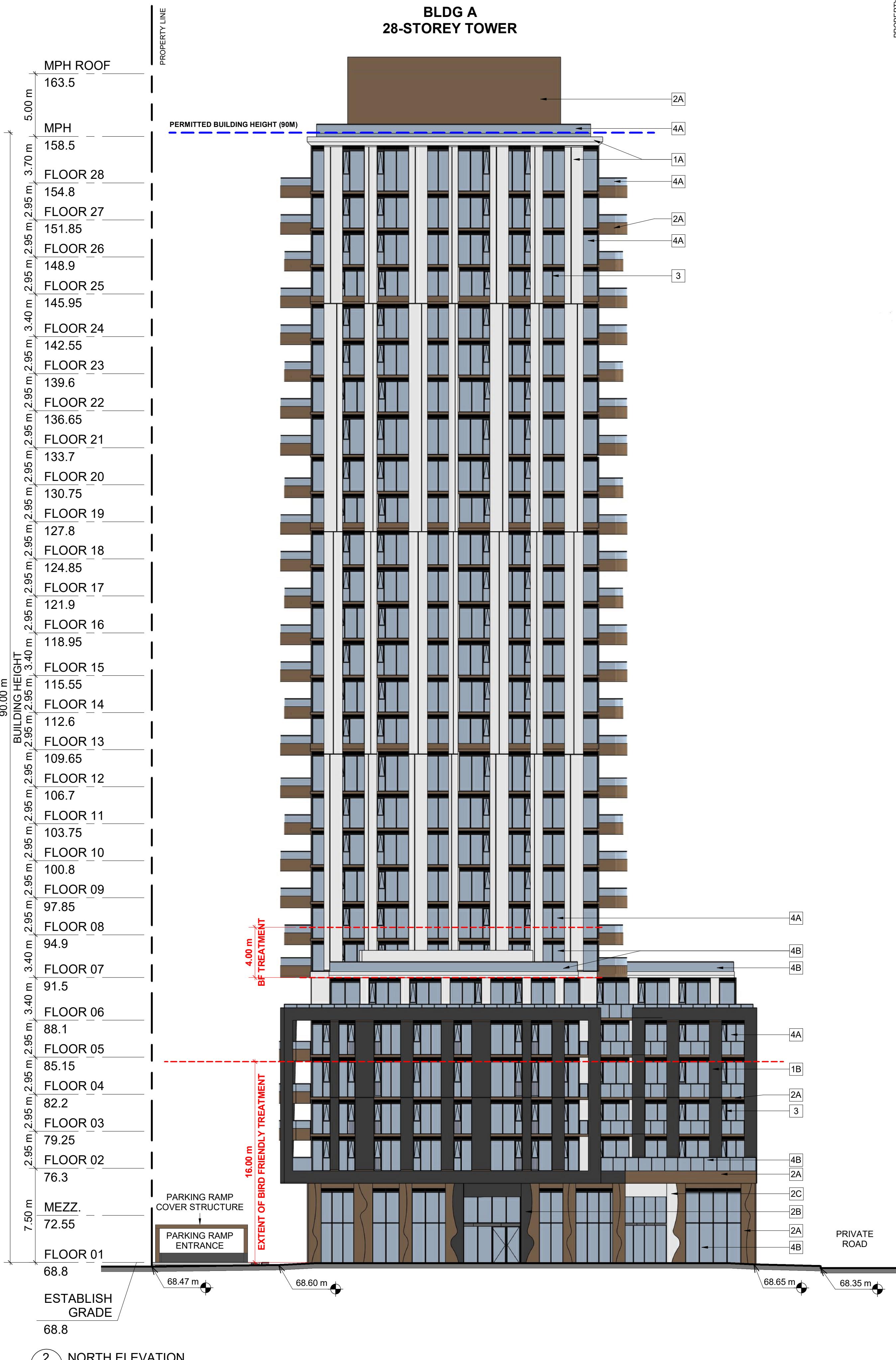
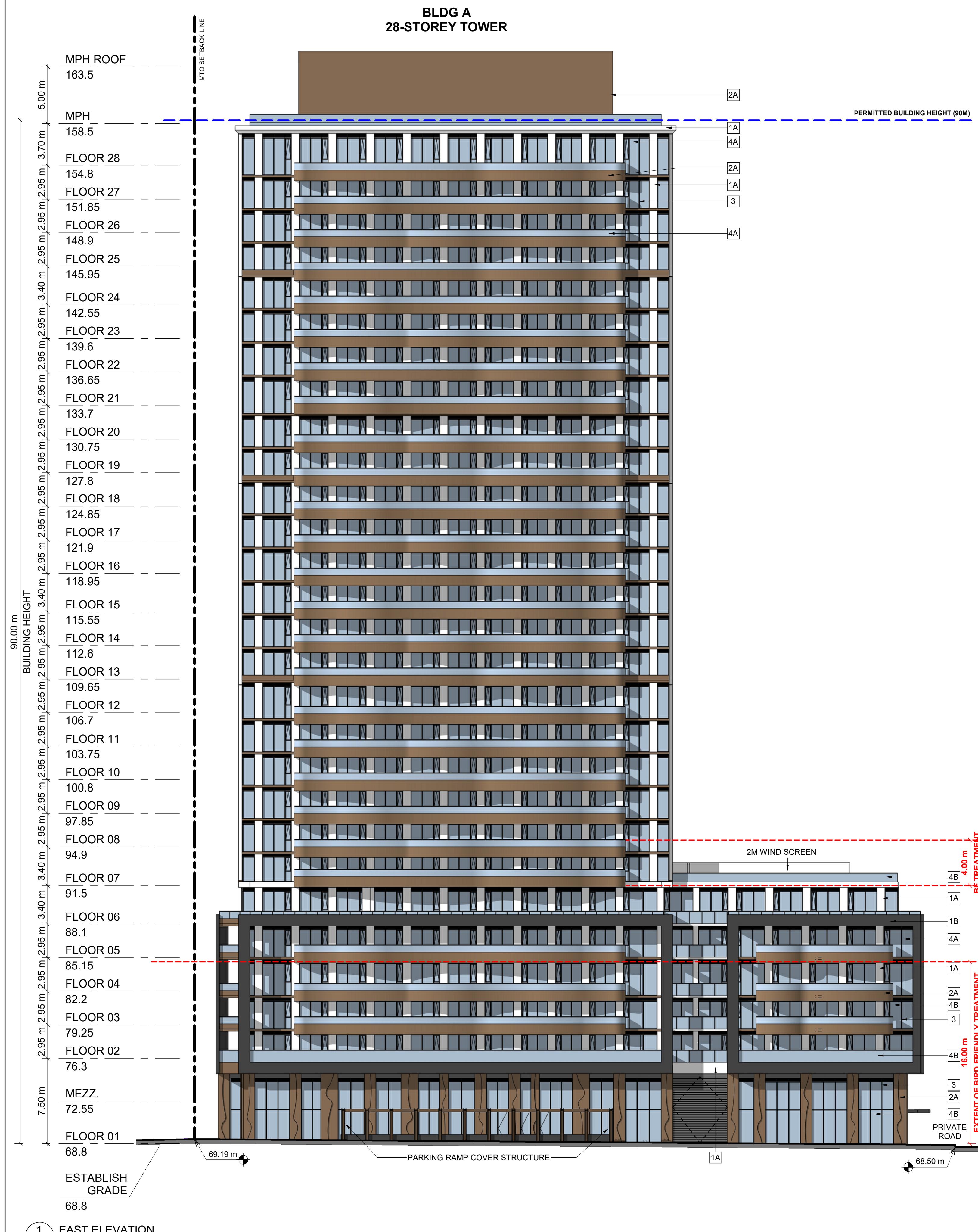
NO. P01	ONTARIO ASSOCIATION OF ARCHITECTS	
DATE -13	RUSSELL L.FLEISCHER LICENCE 5004	
BY		
DRAWING NO. <b>SPA157</b>		REV. <b>4</b>

and is the property of Turner Fleischer  
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and any variations from the supplied  
specifications. The contractor is not responsible for the accuracy of  
any dimensions or conditions shown on this drawing. Refer to the  
work. Construction must conform to all  
jurisdiction. The contractor working from  
these drawings shall assume full responsibility and bear costs

**BLDG A  
28-STORY TOWER**

<b>PROPERTY LINE</b>	<p style="text-align: right;"><b>Turner Fleischer Architects Inc.</b></p> <p style="text-align: right;">67 Lesmill Road Toronto, ON, M3B 2T8 T 416 425 2222 <a href="http://turnerfleischer.com">turnerfleischer.com</a></p> <p>This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.</p>
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# BLDG A 28-STOREY TOWER



<b>EXTERIOR FINISH LEGEND</b>	
1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS -LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

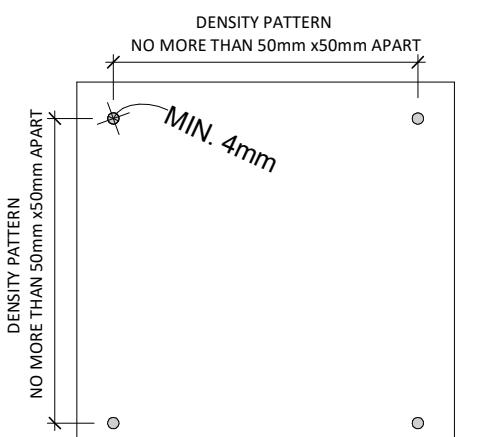
**GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):**

**PROVISION OF VISUAL MARKERS**

VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED.

METHODS OF ACHIEVING THIS ARE AS FOLLOWS:

- HIGH COLOUR CONTRAST TO THE GLASS SURFACE.
- MUST BE APPLIED TO THE **EXTERIOR (FIRST) SURFACE OF THE GLASS.**
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
- LOW REFLECTANCE OR OPAQUE MATERIALS
- BUILDING-INTERGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.



**DETAIL NOTES:**

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER.

#	DATE	DESCRIPTION	BY
4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU

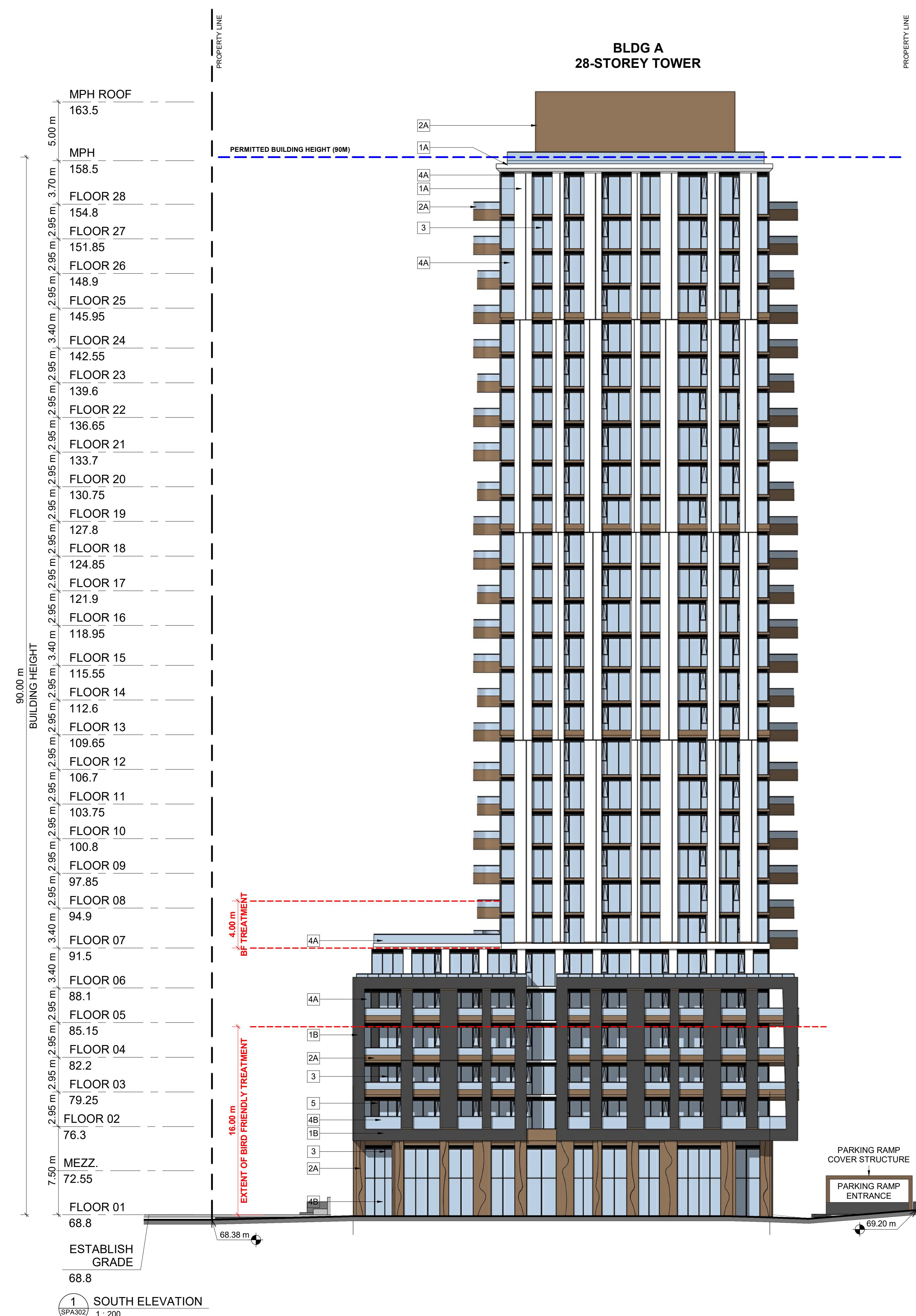
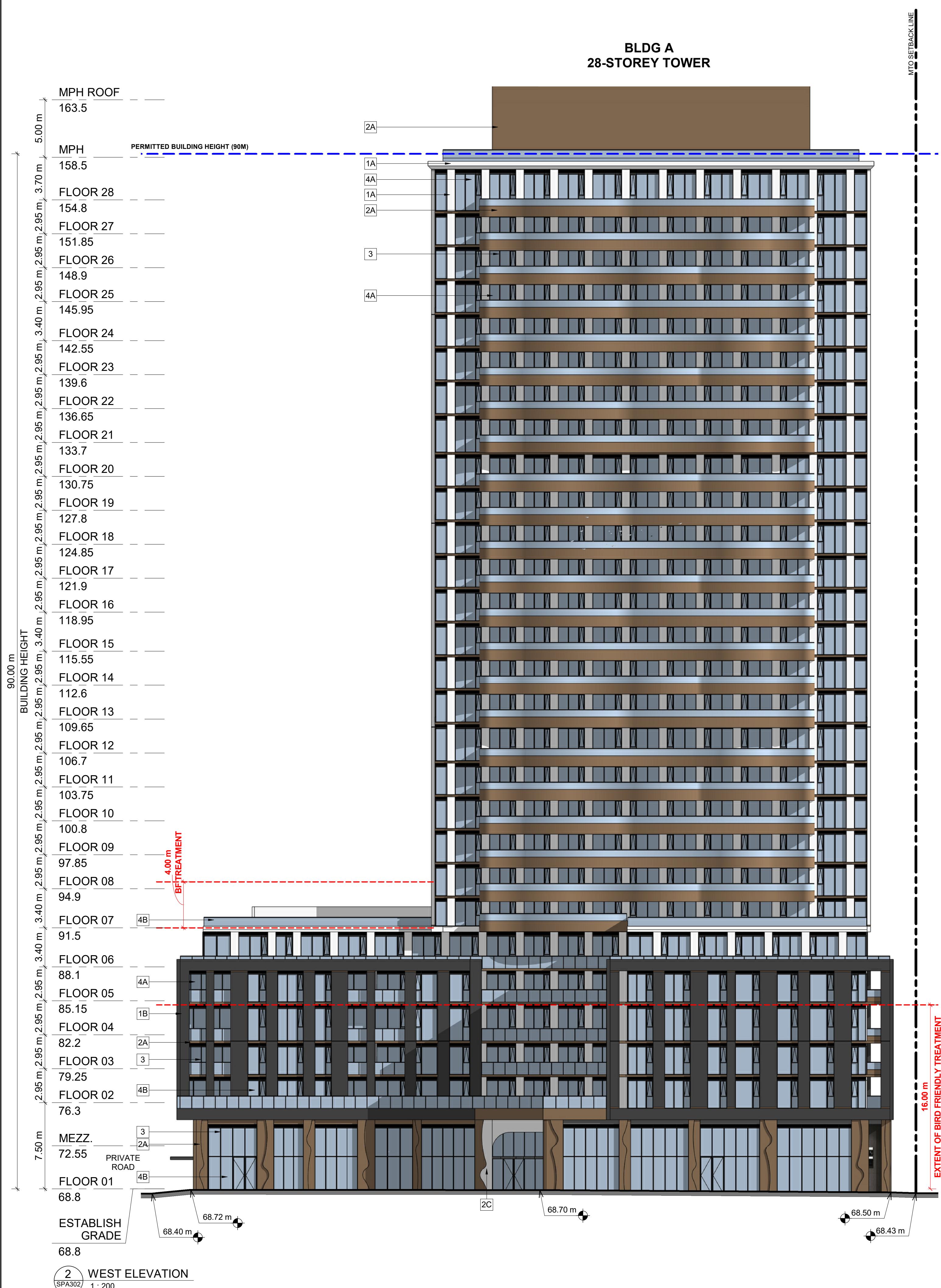
PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151

## ELEVATIONS

# ELLEVATIONS

PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	1:200
	



**EXTERIOR FINISH LEGEND**

1A	PRECAST CONCRETE - WHITE
1B	PRECAST CONCRETE - BLACK
2A	METAL PANEL - BRONZE
2B	METAL PANEL - BLACK
2C	METAL PANEL - WHITE
3	METAL MULLIONS - LIGHT GREY
4A	CLEAR GLAZING
4B	FRITTED GLASS
5	SPANDREL GLASS - LIGHT GREY

**GENERAL NOTES IN ACCORDANCE WITH THE BIRD-SAFE DESIGN GUIDELINES (MINIMUM 90% OF GLASS AREA AT FIRST 16 METERS ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER):**

**PROVISION OF VISUAL MARKERS**

VISUAL MARKERS TO ALERT BIRDS WILL BE PROVIDED. METHODS OF ACHIEVING THIS ARE AS FOLLOWS:

- HIGH COLOR CONTRAST TO THE GLASS SURFACE.
- VISUAL MARKERS APPLIED TO GLASS WITH A MAXIMUM SPACING OF 50mm x 50mm.
- INDIVIDUAL MARKER ELEMENTS SHOULD BE A MINIMUM OF 4 MM DIAMETER, OR 2 MM WIDE BY 8 MM LONG FOR LINEAR ELEMENTS.
- LOW REFLECTANCE OR OPAQUE MATERIALS.
- BUILDING-INTTEGRATED STRUCTURES TO MUTE REFLECTIONS ON GLASS SURFACES.

**DENSITY PATTERN**

NO MORE THAN 50mm x 50mm APART

MIN. 4mm

**DETAIL NOTES:**

FRITTED GLASS WILL BE TREATED WITH A DENSITY PATTERN OF VISUAL MARKERS NO MORE THAN 50mm X 50mm APART FOR THE FIRST 16M ABOVE GRADE AND 4 METERS ABOVE THE SURFACE OF THE ROOF/TERRACE OR THE HEIGHT OF THE ADJACENT MATURE VEGETATION, WHICHEVER IS GREATER)

**4** 2025-01-13 ISSUED FOR SITE PLAN APPROVAL #3 HHO  
**3** 2025-04-04 ISSUED FOR SITE PLAN APPROVAL #2 AYU  
**2** 2024-11-01 ISSUED FOR SITE PLAN APPROVAL AYU  
**1** 2024-01-30 ISSUED FOR PRE-CONSTRUCTION ATU  
**#** DATE DESCRIPTION BY

**Morguard**

**PROJECT**  
PROPOSED 28-STOREY RESIDENTIAL BUILDING  
PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

**DRAWING**

**ELEVATIONS**

**PROJECT NO.** 18.050 P01  
**PROJECT DATE** 2026-01-13  
**DRAWN BY** RYT  
**CHECKED BY** HHO  
**SCALE** 1:200

**ONTARIO ASSOCIATION OF ARCHITECTS**  
RUSSELL L. FLEISCHER  
LICENCE 5004

**DRAWING NO.** SPA302 **REV** 4





VIEW FROM TRANS-CANADA HWY LOOKING NORTH WEST

3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AVU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY

**Morguard**

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
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FILE #D07-12-24-0151  
PLAN #19272

DRAWING

3D PERSPECTIVES

PROJECT NO.	18.050 P01
PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	5004

DRAWING NO.

SPA801

REV

ONTARIO  
ASSOCIATION  
OF  
ARCHITECTS  
RUSSELL L. FLEISCHER  
LICENCE  
5004

DRAWING NO.

SPA801

REV



## VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST



## **VIEW FROM TRANS-CANADA HWY LOOKING NORTH**

2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
DATE	DESCRIPTION	BY

**Norguard**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

## 0 PERSPECTIVE



VIEW LOOKING SOUTH WEST FROM EXISTING BUS STOP

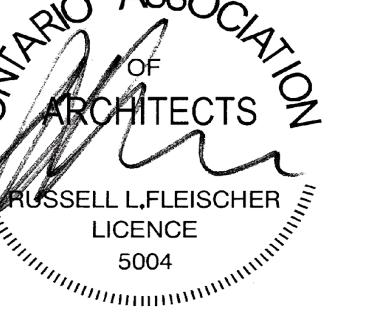
3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
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1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTON	BY

**Morguard**

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
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PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
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DRAWING

3D PERSPECTIVES

PROJECT NO.	18.050 P01	 <b>ONTARIO ASSOCIATION OF ARCHITECTS</b> RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE	2026-01-13	
DRAWN BY	RYT	
CHECKED BY	HHO	
SCALE	5004	
DRAWING NO.	SPA804	



VIEW LOOKING FROM THE WEST

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-01-30	ISSUED FOR PRE-CONSTRUCTION	AYU
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BY

**Morguard**

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
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DRAWING

3D PERSPECTIVES

PROJECT NO.	18.050 P01
PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	5004
RUSSELL L. FLEISCHER	
LICENCE 5004	

DRAWING NO. **SPA805** REV **4**

ONTARIO  
ASSOCIATION  
OF  
ARCHITECTS

RUSSELL L. FLEISCHER

LICENCE 5004



VIEW LOOKING WEST FROM EXISTING 6-STOREY OFFICE BUILDING

4	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
3	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AYU
2	2024-1-10	ISSUED FOR SITE PLAN APPROVAL	AYU
1	2024-1-30	ISSUED FOR PRE-CONSTRUCTION	AYU
#	DATE	DESCRIPTION	BY

BY

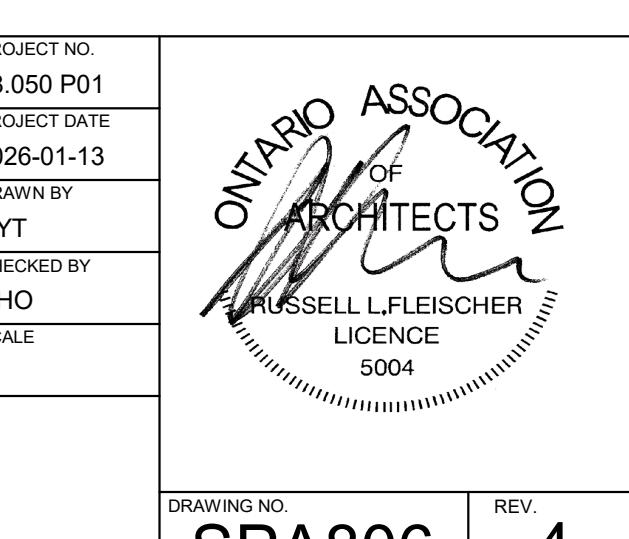
**Morguard**

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING

3D PERSPECTIVES



This drawing, as an instrument of service, is provided by and is the property of Turner Fleischer Architects Inc. It is the responsibility of the contractor to make all necessary arrangements on site and must notify Turner Fleischer Architects Inc. of any variations from the supplied information. The contractor must assume full responsibility for the accuracy of the survey, structural, mechanical, electrical, etc. information shown on this drawing. Refer to the applicable codes and regulations of the appropriate authority having jurisdiction. The contractor working from this drawing must assume full responsibility and bear costs for any corrections or damages resulting from his work.



VIEW LOOKING TOWARDS MAIN ENTRANCE AND DROP-OFF AREA

3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-04-04	ISSUED FOR SITE PLAN APPROVAL #2	AVU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY

**Morguard**

PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING

3D PERSPECTIVES

PROJECT NO.	18.050 P01
PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	5004
DRAWING NO. SPA807 REV 3	

ONTARIO ASSOCIATION OF ARCHITECTS  
RUSSELL L. FLEISCHER  
LICENCE 5004



VIEW FROM TRANS-CANADA HWY LOOKING NORTH EAST

3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2025-01-04	ISSUED FOR SITE PLAN APPROVAL #2	AVU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY



PROJECT  
**PROPOSED 28-STOREY RESIDENTIAL  
BUILDING**

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-015  
PLAN #19272

DRAWING

**3D PERSPECTIVES**

PROJECT NO.	18.050 P01	 RUSSELL L. FLEISCHER LICENCE 5004
PROJECT DATE	2026-01-13	
DRAWN BY	RYT	
CHECKED BY	HHO	
SCALE		

DRAWING NO.

REV

SPA808

3



VIEW LOOKING SOUTH WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE

3	2026-01-13	ISSUED FOR SITE PLAN APPROVAL #3	HHO
2	2026-01-04	ISSUED FOR SITE PLAN APPROVAL #2	AVU
1	2024-11-01	ISSUED FOR SITE PLAN APPROVAL	ATU
#	DATE	DESCRIPTION	BY



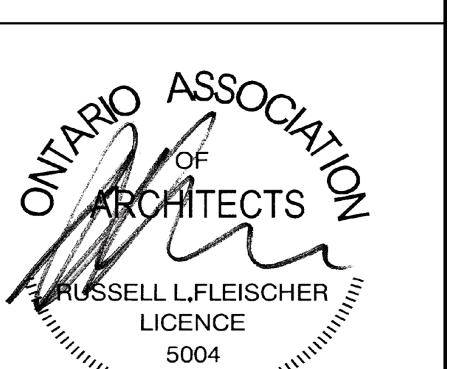
PROJECT  
PROPOSED 28-STOREY RESIDENTIAL  
BUILDING

PHASE 1 - 500 COVENTRY ROAD, OTTAWA, ON.  
FILE #D07-12-24-0151  
PLAN #19272

DRAWING

3D PERSPECTIVES - PARKING RAMP

PROJECT NO.	18.050 P01
PROJECT DATE	2026-01-13
DRAWN BY	RYT
CHECKED BY	HHO
SCALE	5004





## **VIEW LOOKING WEST TOWARDS THE PARKING RAMP TRELLIS STRUCTURE**