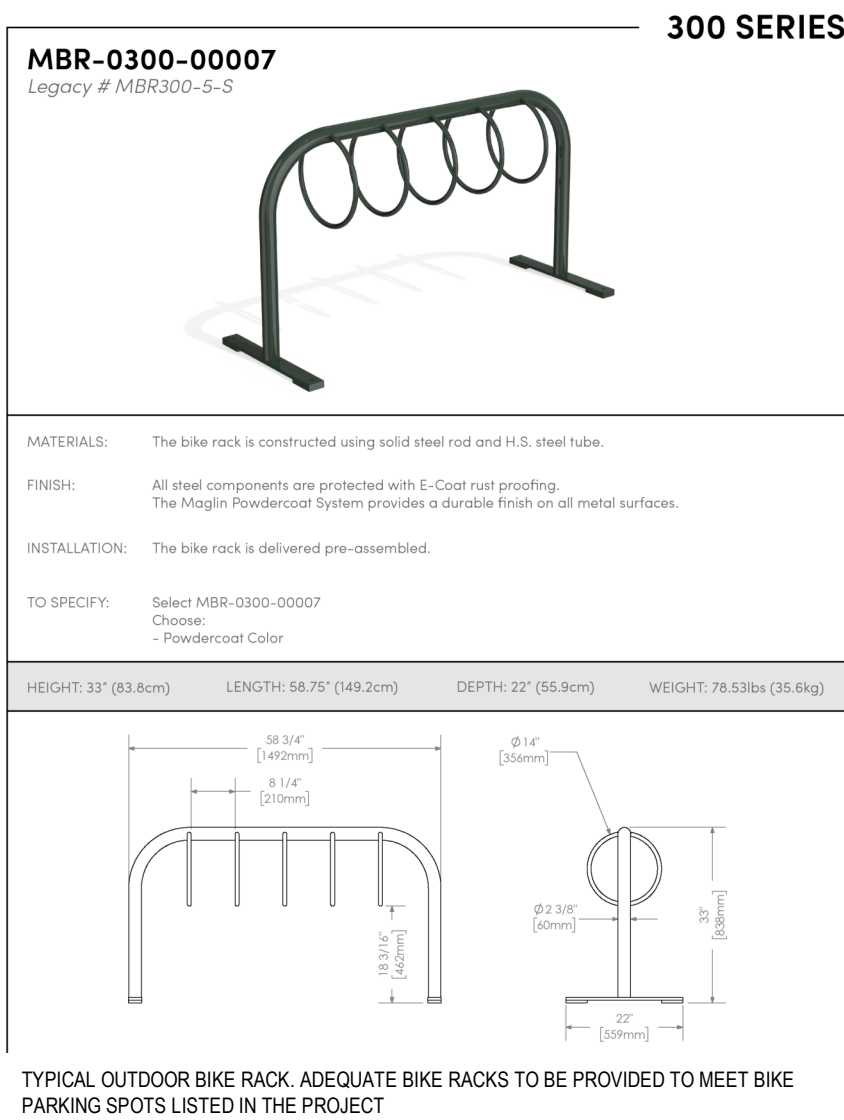

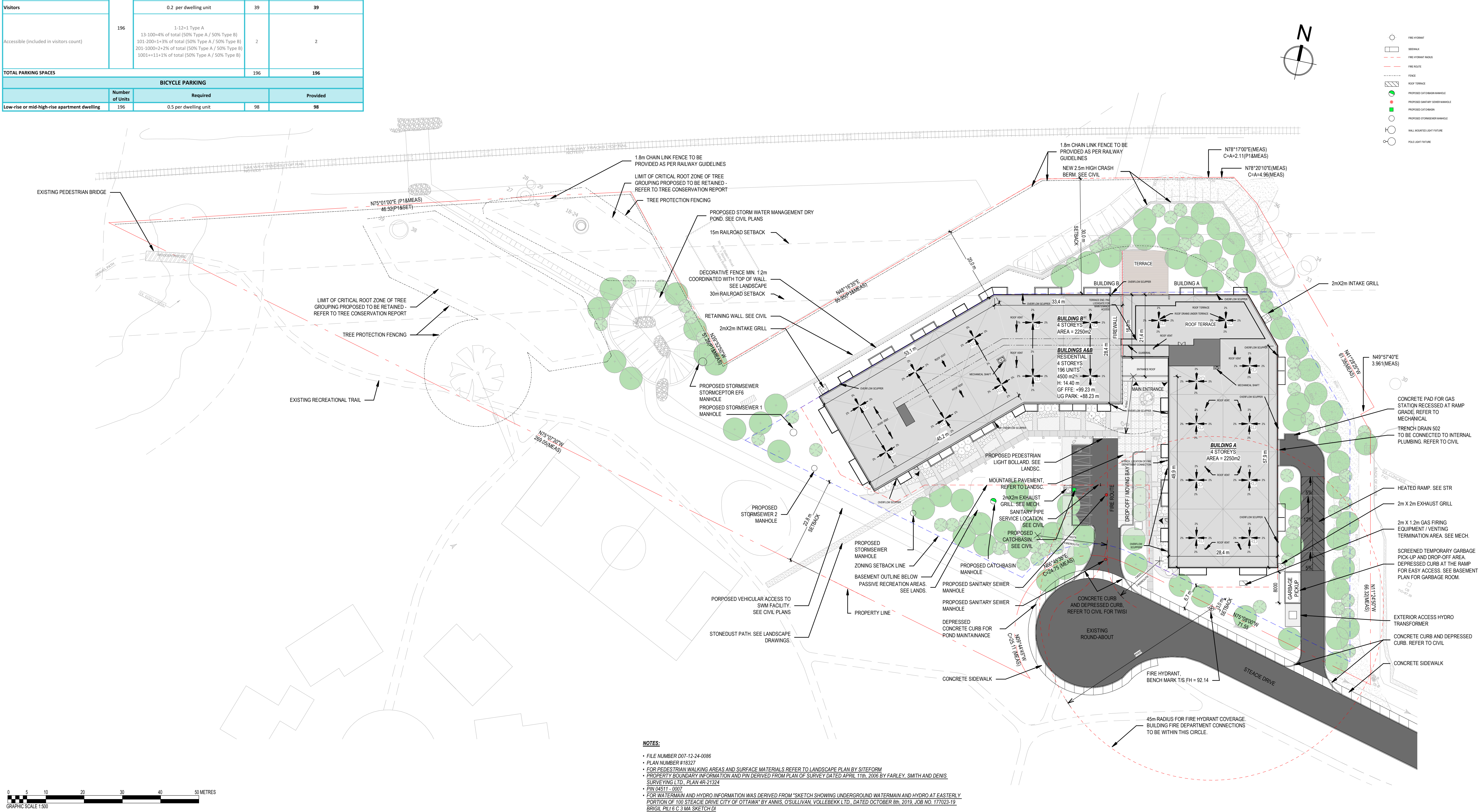


<b>ZONING MATRIX</b>					
<b>100 STEACIE DRIVE, KANATA, OTTAWA</b>					
<b>Bylaw 2008-250</b>					
<b>Zoning – R4Y(2809) S463-h</b>					
<b>Required (By-law)</b>				<b>Proposed</b>	
<b>Lot area (sq.m)</b>	22 475,22			22 475,22	
<b>Gross floor area of the building (sq.m)</b>				35 426	
<b>Min. lot width (m)</b>	18			95,5	
<b>Min. lot area (sq.m)</b>	450			22475,2	
<b>Min. landscaped area</b>	30%			76,6%	
<b>Building Height (m)</b>	16 m			14,4m	
<b>SETBACKS</b>					
<b>Minimum Front Setback (m)</b>	<p>Exception No 2809, as per schedule S463- see below</p>			Provided as per schedule S463	
<b>Minimum Side Setback (m)</b>					
<b>Minimum Interior Setback (m)</b>					
<b>Minimum Rear Yard Setback (m)</b>					
<b>AMENITY</b>					
<b>Amenity Areas</b>	Total Amenity area required : 65qm/dwelling unit (65qm*196=1,176 sqm)  Communal area: Min. 50% of the required total amenity area (1,176sqm / 2 = 588 sqm.)			<b>Private Amenities (Balconies) = 1188 sqm.</b>  <b>Communal Interior Amenity = 312,50 sqm.</b> <b>Communal Exterior amenity = 330 sqm.</b>  <b>Total Amenity area = 1,830,50 sqm.</b>	
<b>PARKING</b>					
<b>AREA C - AS PER SCHEDULE 1A</b>	<b>Number of Units</b>	<b>Required</b>	<b>Provided</b>		
<b>Low-rise or mid-high-rise apartment dwelling</b>	196	0.8 per dwelling unit	157	157	
<b>Visitors</b>		0.2 per dwelling unit	39	39	
Accessible (included in visitors count)		1:12+1 Type A 13:100+4% of total (50% Type A / 50% Type B) 101:200+1+3% of total (50% Type A / 50% Type B) 201:1000+2+3% of total (50% Type A / 50% Type B) 1001+1+13% of total (50% Type A / 50% Type B)	2	2	
<b>TOTAL PARKING SPACES</b>			196	196	
<b>BICYCLE PARKING</b>					
	<b>Number of Units</b>	<b>Required</b>	<b>Provided</b>		
<b>Low-rise or mid-high-rise apartment dwelling</b>	196	0.5 per dwelling unit	98	98	



Waste Management Building A+B			
Total number of Units			196
<b>Required</b>			
Stream	Guideline	Number of Bins	Cubic Yards Required
Garbage	0.053 cubic yard per unit, rounded up		10,388
Recycling	0.018 cubic yards per unit FEL GMP		3,528
	0.038 cubic yards per unit FEL Fibre		7,448
Organics	240L bin per 50 units	3,92	
<b>Total Required</b>			<b>21,364</b>
<b>Provided</b>			
Stream	Guideline	Number of Bins	Cubic Yards Provided
4 yard Bins	Garbage	3	12
	Recycling GMP	1	4
	Recycling FEL Fibre	2	8
240L Bins	Organics	4	
	<b>Total Provided</b>	<b>10</b>	<b>24</b>

	Nom de Projet : 1204 - <i>Stance Drive</i>		Date : 2025/05/25		Préparé par : <i>NEUF anthoine</i>		Plans émis le :	
			Date : 2025/04/09		Vérifié par : <i>Chirag Gaurtel</i>		Plans émis le :	



NOTES GÉNÉRALES General Notes

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GÉOTECHNIQUE Geotechnical

**PATERSON GROUP**  
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**STRUCTURE** Structure

Leroux + Cvr

130 Boulevard Henri-Bourassa Est, Montreal, QC, H3L 1B7  
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ARCHITECTURE DE PAYSAGE Landscape Architect

Siteform Inc. Landscape Architecture

150 Elgin Street, 8th Floor, Ottawa, K2P 1L4  
613.796.4537 [www.sileform.ca](http://www.sileform.ca)

CMI Cio

**Stantec Consulting Ltd.**

400 - 1331 Clyde Avenue, Ottawa, ON  
613.722.4420 [www.starter.com](http://www.starter.com)

ARCHITECTES Architect

**NELIE Architects Inc.**

630, boul. René-Lévesque O. 32e étages, Montréal QC H3B 1S8

SCEAU / Séa

CLIENT Client

**brigil**

A: 98 Lois Street, Gatineau QC J8Y 3R7  
T: 819-243-7392 Email: JL.Rivard@brqil.com; anthony.johnston@brqil.com

OUVRAGE Project

## STEACIE DRIVE

EMPLACEMENT Location

100 STEACIE DRIVE,  
KANATA, OTTAWA, ON

NO	RÉVISION	DATE (aa-mm-jj)
1	SITE PLAN APPLICATION	2024.07.24
2	SITE PLAN APPLICATION	2024.12.02
3	SITE PLAN APPLICATION	2025.07.11
4	EXCAVATION PERMIT	2025.07.18
5	EXCAVATION PERMIT	2025.09.26
6	SPA RESUBMISSION	2025.11.28

DESSINÉ PAR Drawn by  
AT/SN  
DATE (aa.mm.jj)  
2023-01-01

VÉRIFIÉ PAR Checked by  
FP  
ÉCHELLE Scale  
1 : 500

## SITE PLAN

REVISION Revision

NO. DESSIN Draw Number