

24061

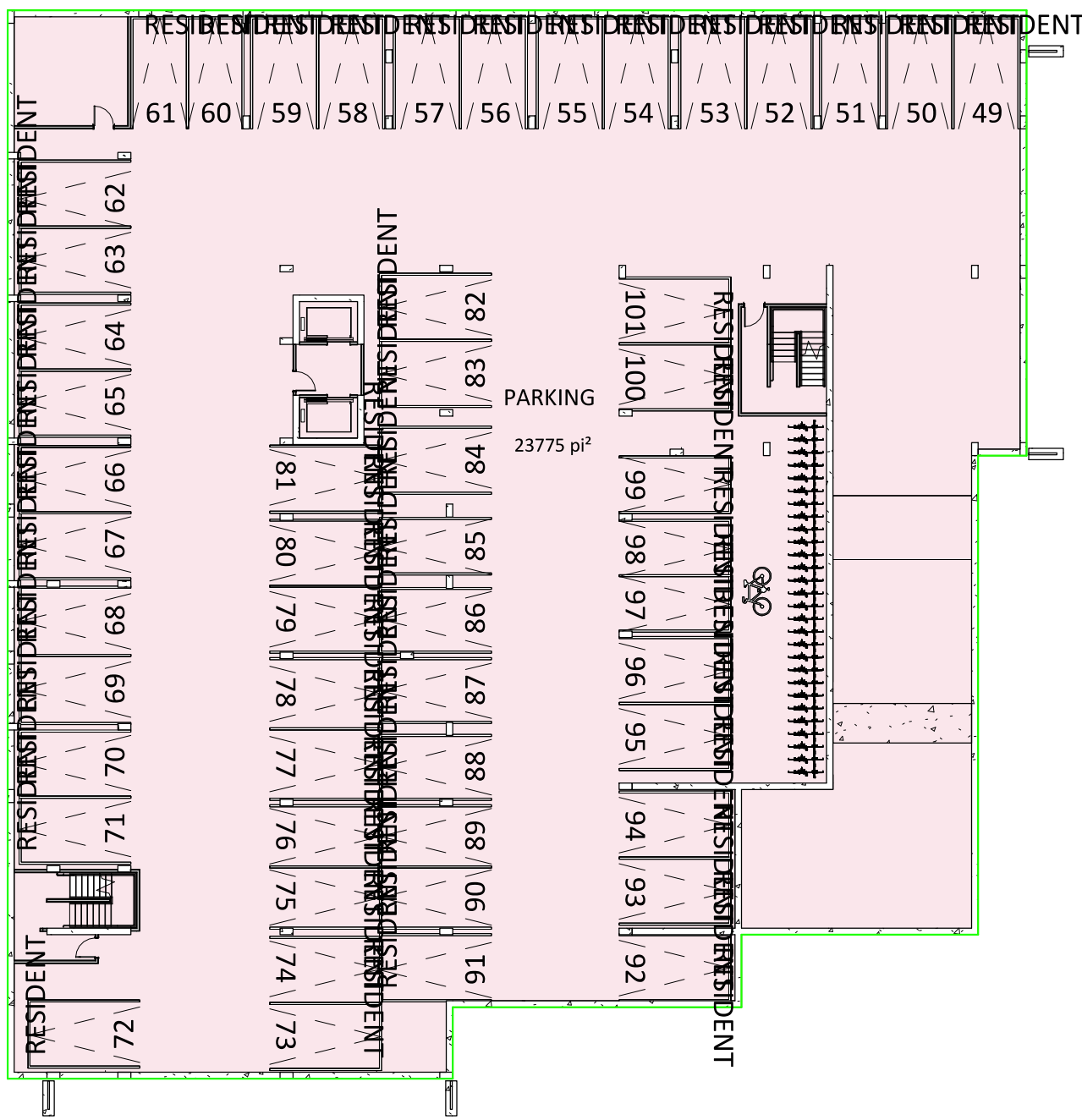
FINDLAY CREEK - BUILDING 2

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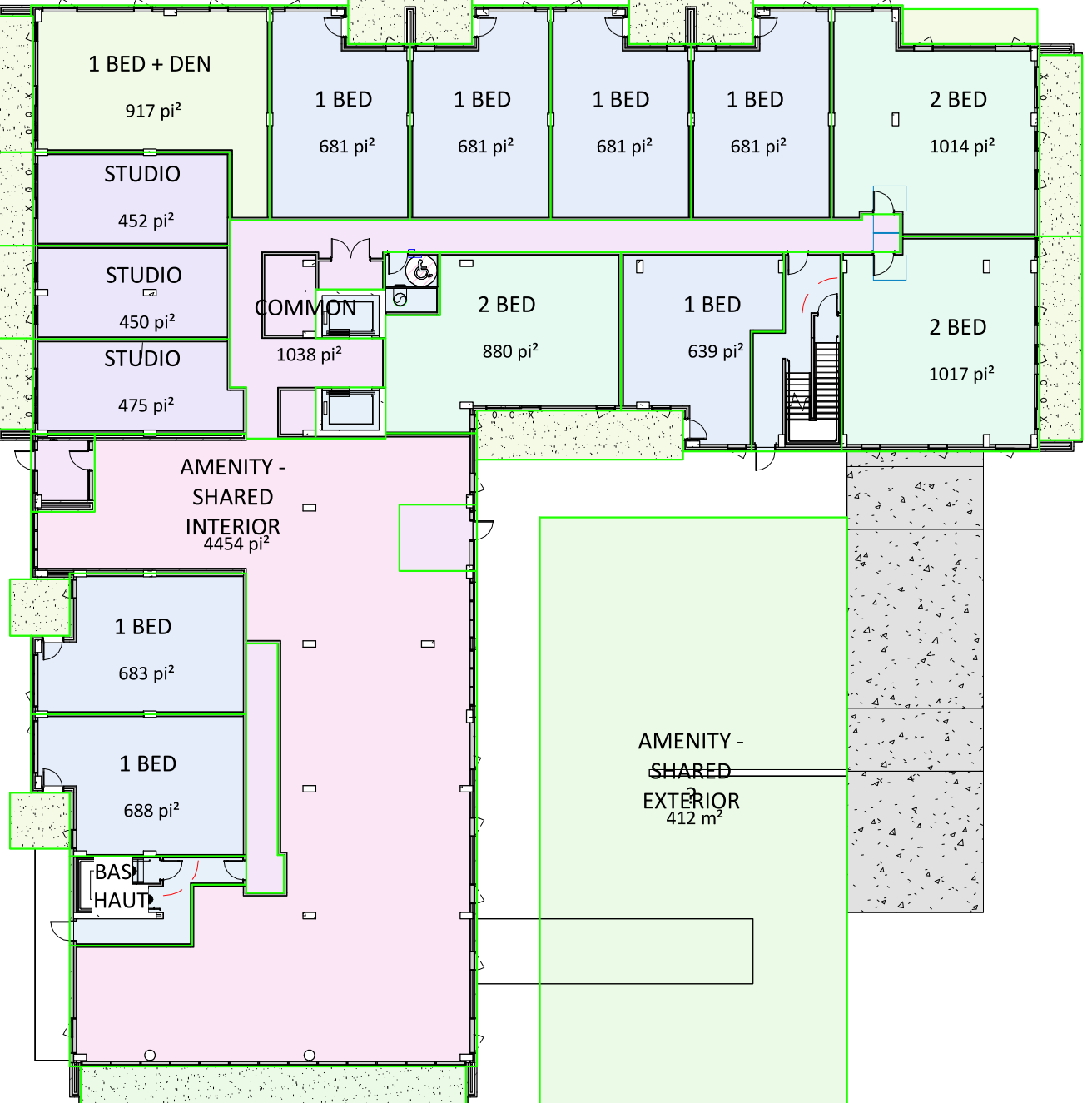
24061 FINDLAY CREEK - BUILDING 2



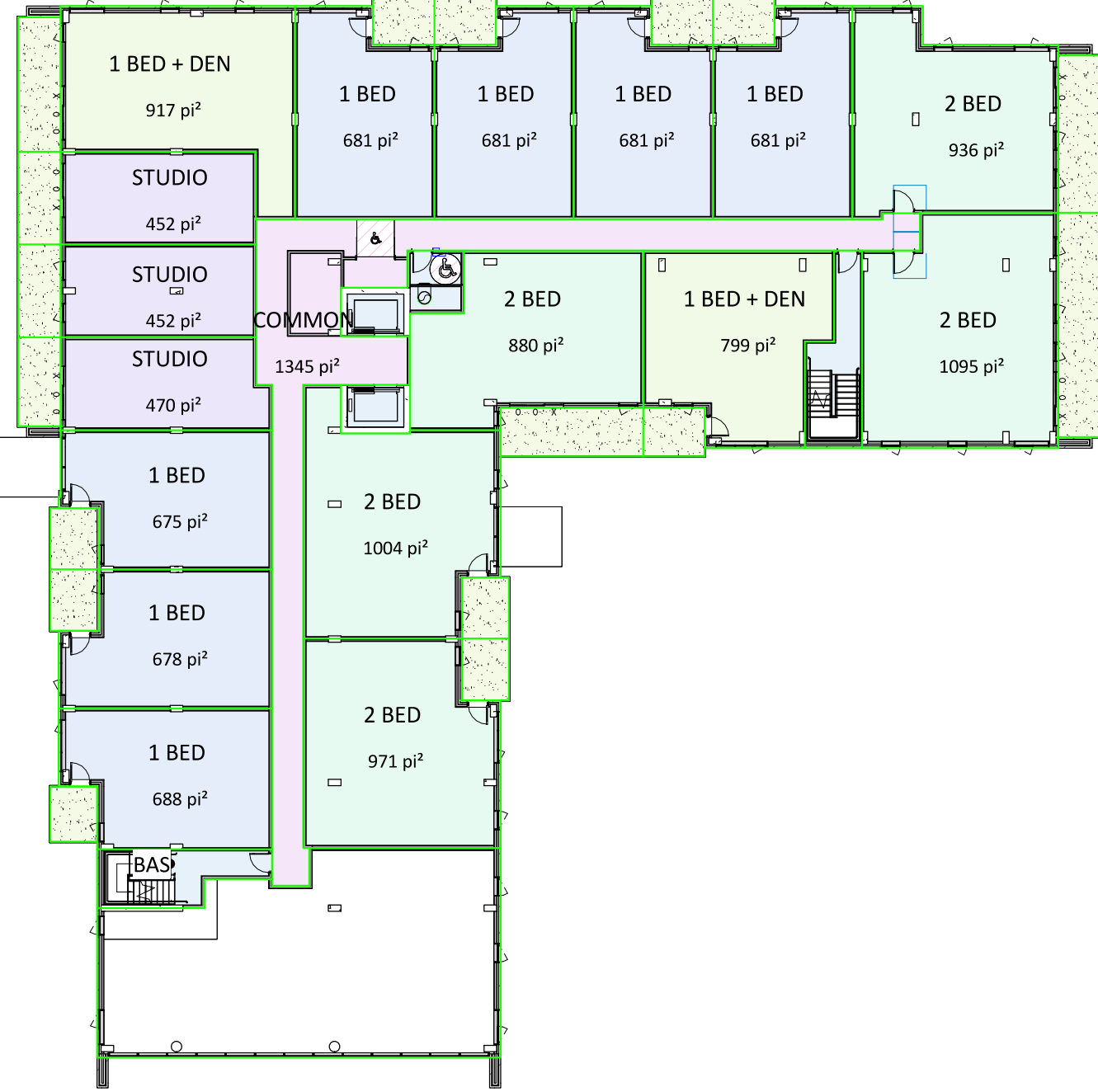
LEVEL U2
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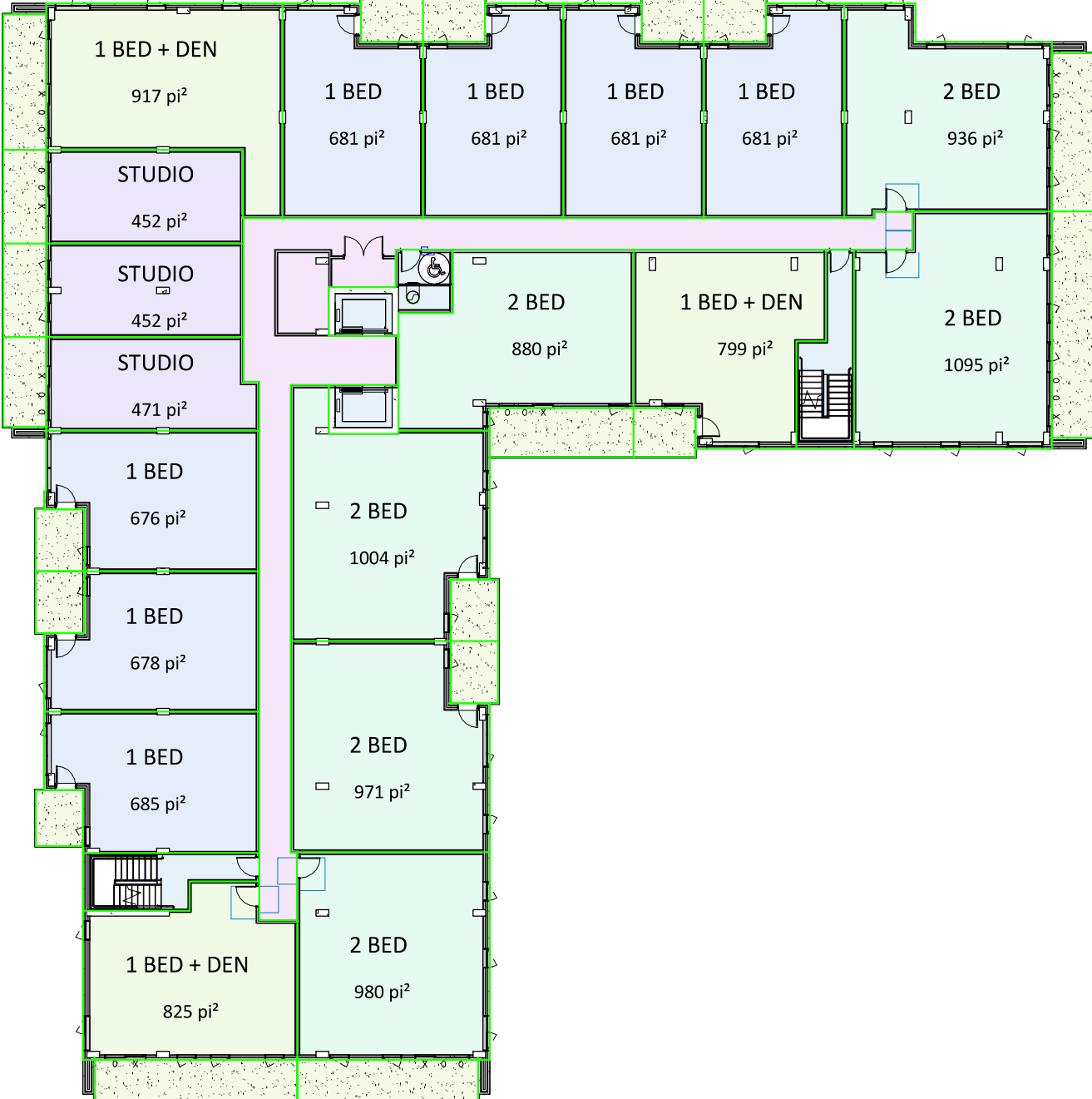
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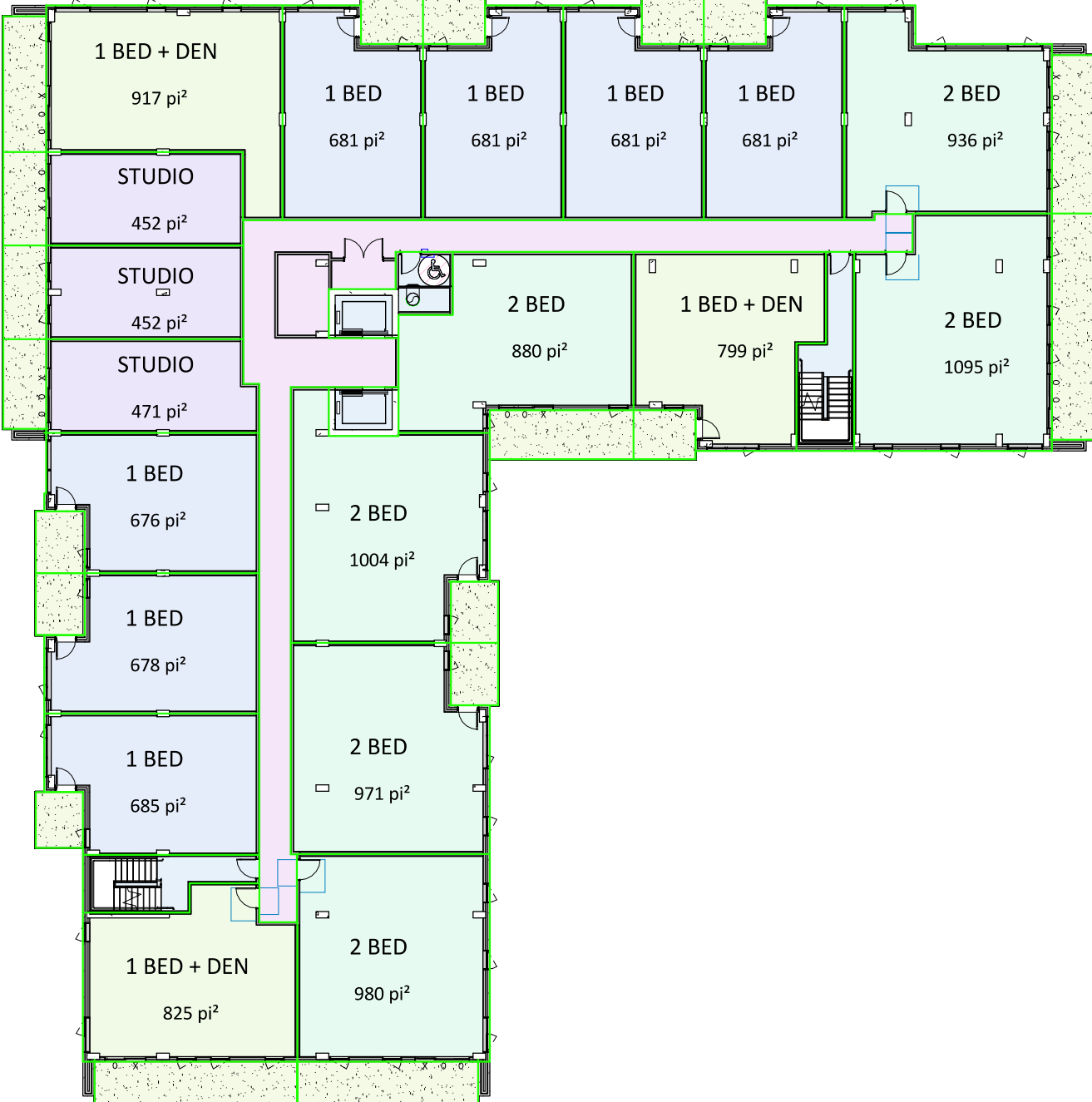
LEVEL 1
1:300



LEVEL 2
1:300



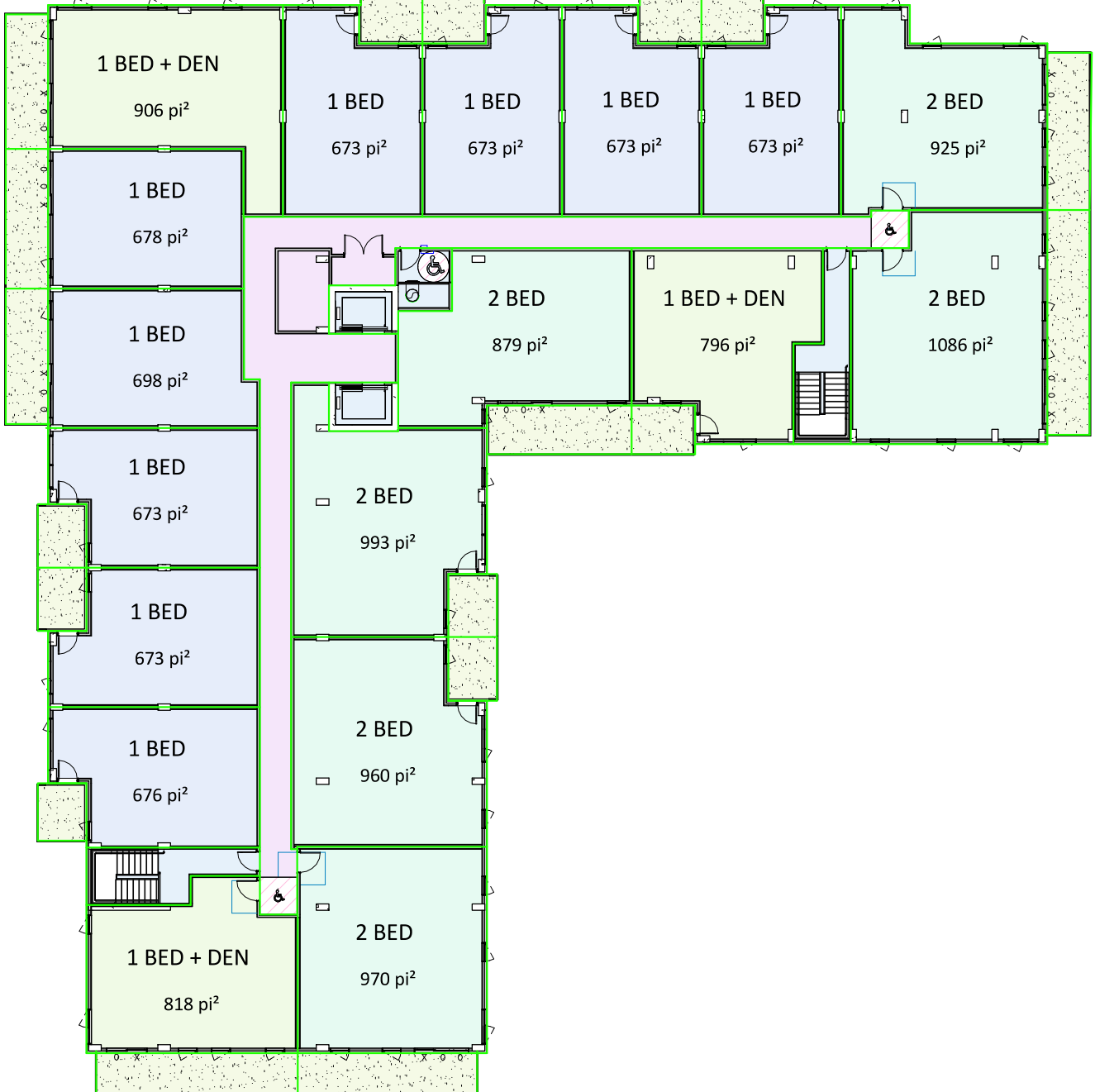
LEVEL 3
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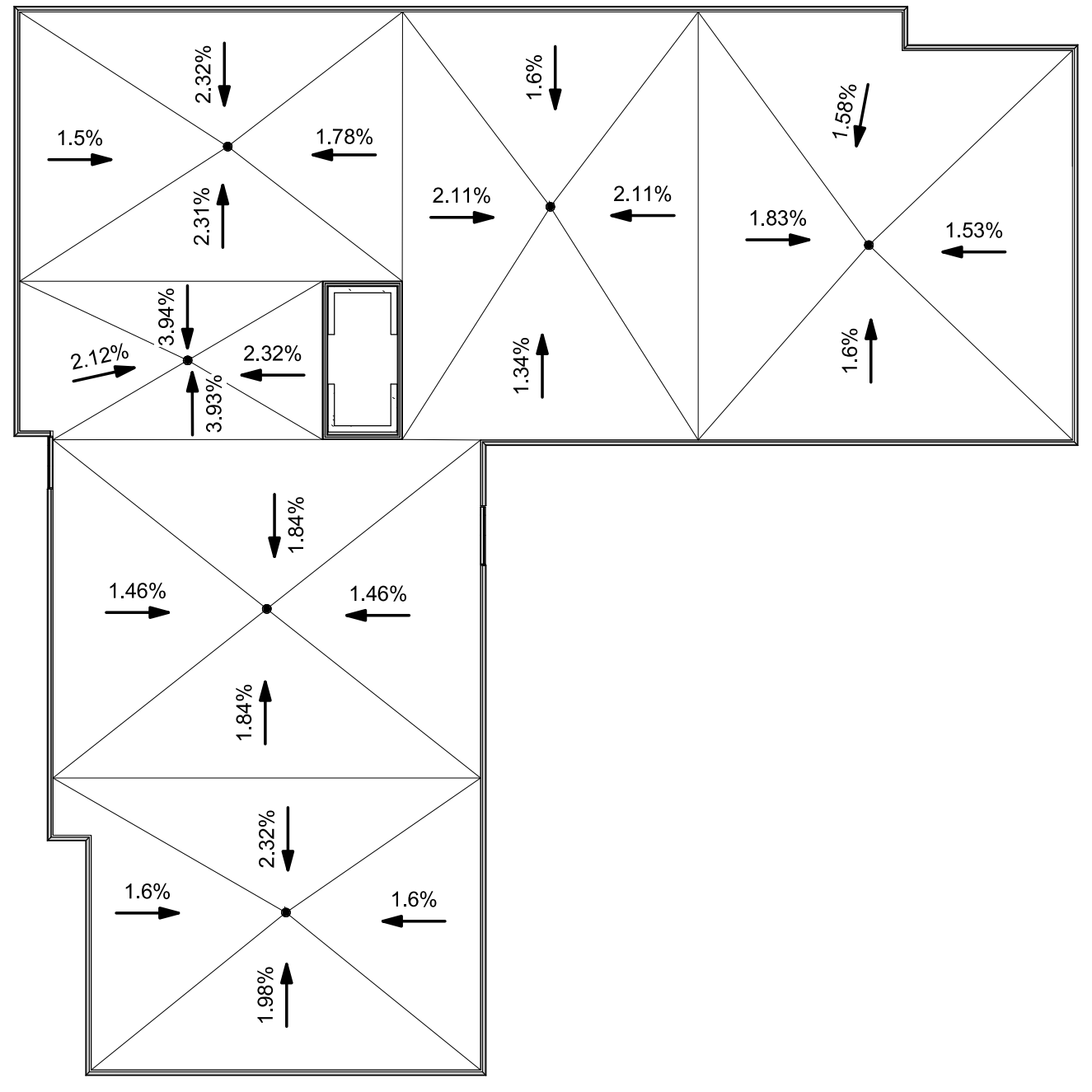
LEVEL 4
1:300



LEVEL 5
1:300



LEVEL 6
1:300



ROOF
1:300

PMA_PROFORMAT							
LEVEL	GROSS AREA	GROSS AREA (NO BALCONIES)	PARKING	TECHNICAL	COMMON	RENTAL	BALCONIES
LEVEL U2	23,775 ft²	23,775 ft²	23,775 ft²	0 m²	0 ft²	0 ft²	0 ft²
LEVEL U1	23,775 ft²	23,775 ft²	23,775 ft²	0 m²	0 ft²	0 ft²	0 ft²
LEVEL 1	18,902 ft²	12,362 ft²	0 ft²	87 m²	1,483 ft²	9,940 ft²	6,540 ft²
LEVEL 2	16,491 ft²	14,765 ft²	0 ft²	63 m²	1,345 ft²	12,742 ft²	1,725 ft²
LEVEL 3	18,713 ft²	16,587 ft²	0 ft²	62 m²	1,371 ft²	14,546 ft²	2,126 ft²
LEVEL 4	18,713 ft²	16,587 ft²	0 ft²	62 m²	1,371 ft²	14,546 ft²	2,126 ft²
LEVEL 5	18,623 ft²	16,454 ft²	0 ft²	62 m²	1,371 ft²	14,438 ft²	2,169 ft²
LEVEL 6	18,623 ft²	16,454 ft²	0 ft²	63 m²	1,371 ft²	14,422 ft²	2,169 ft²
TOTAL	157,615 ft²	140,759 ft²	47,550 ft²	398 m²	8,312 ft²	80,614 ft²	16,856 ft²

STATISTICS - NUMBER OF UNITS				
TYPE	NUMBER	GROSS TOTAL PER TYPE (PL.CA.)	AV. AREA	DISTRIBUTION
1 BED	44	29,832 ft²	678 ft²	42%
1 BED + DEN	15	12,753 ft²	850 ft²	14%
2 BED	32	31,151 ft²	973 ft²	30%
STUDIO	15	6,878 ft²	459 ft²	14%
	106	80,614 ft²	2,960 ft²	

PARKING SPACES	
LEVEL	QUANTITY

R	
BUILDING 2 - EXTERIOR	6
	6

RESIDENT	
BUILDING 2 - P1	48
BUILDING 2 - P2	53
	101

V	
BUILDING 2 - EXTERIOR	21
	21

TOTAL 128

AMENITY AREA	
TYPE	AREA

AMENITY - PRIVATE 1118 m²

AMENITY - SHARED EXTERIOR 447 m²

AMENITY - SHARED INTERIOR 414 m²

BICYCLES PARKING SPACES	
LEVEL	QUANTITY

EXTERIOR	16
INTERIOR	66
TOTAL	82

GFA - CITY OF OTTAWA	
LEVEL	AREA

LEVEL 1	887 m²
LEVEL 2	1,131 m²
LEVEL 3	1,288 m²
LEVEL 4	1,288 m²
LEVEL 5	1,288 m²
LEVEL 6	1,288 m²
TOTAL	7,170 m²

NO	DESCRIPTION	DATE
5	FOR CITY REVIEW	2025-11-03
4	FOR CITY REVIEW	2025-07-18
3	FOR CITY REVIEW	2025-04-13
2	FOR CITY REVIEW	2025-01-17
1	FOR COORDINATION	2024-12-17
NO	DESCRIPTION	DATE

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	DRAWN P.POMERLEAU
PROJECT No 24061	CHECKED P.MARTIN
SHEET TITLE	

STATISTICS

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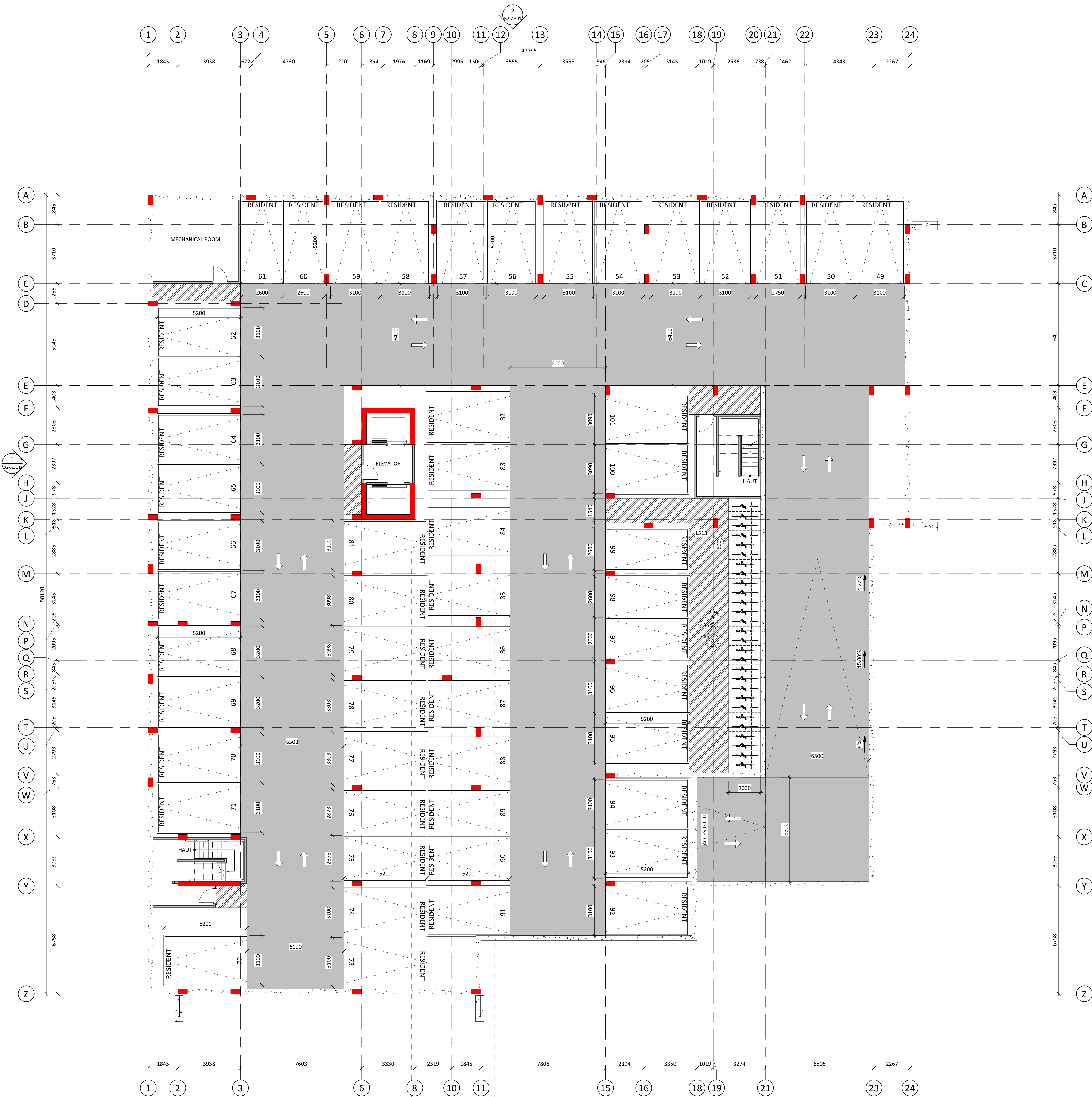
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PROJECT No
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SHEET TITLE

UNDERGROUND PARKING U2





MAVERICK DEVELOPMENT CORPORATION
209 WICKSTEED AVENUE, SUITE 30
TORONTO, ON M4G 0B1



NOVATECH
240 MICHAEL COWPLAND DRIVE, SUITE 200,
OTTAWA, ON K2M 1P6



J.D. BARNES LIMITED
62 STEADIE DRIVE, SUITE 103,
KANATA, ON K2K 2A9



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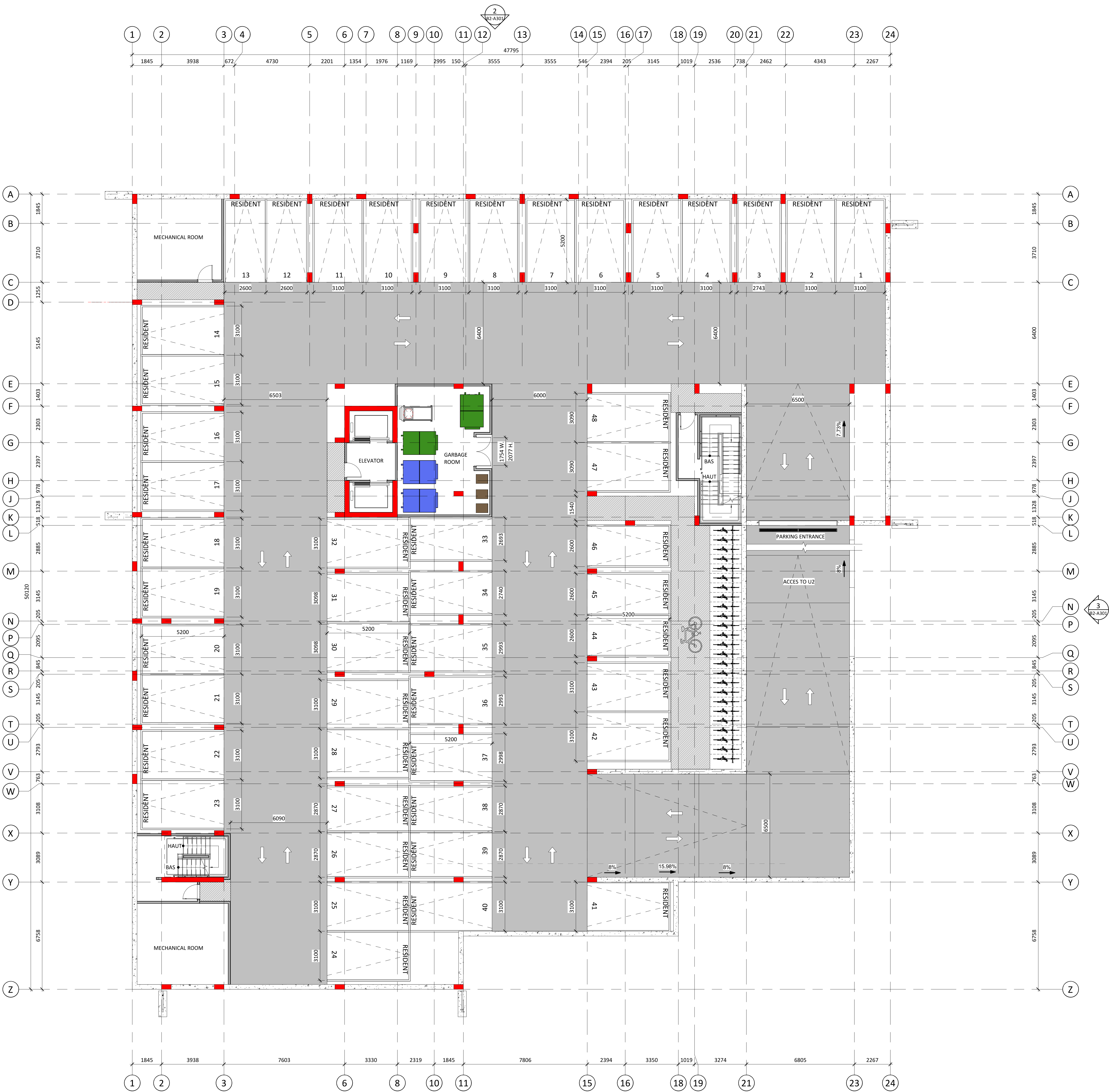
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UNDERGROUND PARKING U1



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1ST FLOOR
1:100



PROJECT

FINDLAY CREEK
DEVELOPMENT

1140 CEDAR CREEK DRIVE,
OTTAWA, ON K1X 0G3

OWNER

MAVERICK
DEVELOPMENT CORPORATION

MAVERICK DEVELOPMENT CORPORATION
209 WICKSTEED AVENUE, SUITE 30
TORONTO, ON M4G 0B1

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CIVIL / LANDSCAPE / PLANNER

NOVATECH
Engineers, Planners & Landscape Architects

NOVATECH
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OTTAWA, ON K2M 1P6

SURVEYOR

J.D.BARNES
SURVEYING
AND INFORMATION SPECIALISTS

J.D. BARNES LIMITED
62 STEADIE DRIVE, SUITE 103,
KANATA, ON K2K 2A9

STRUCTURAL

MECHANICAL

KEY PLAN

ARCHITECT SEAL



REVISIONS

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M.AUBÉ

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SHEET TITLE

1ST FLOOR

SHEET No

B2-A203

FILE NUMBER D07-12-25-0005 PLAN NUMBER #19311



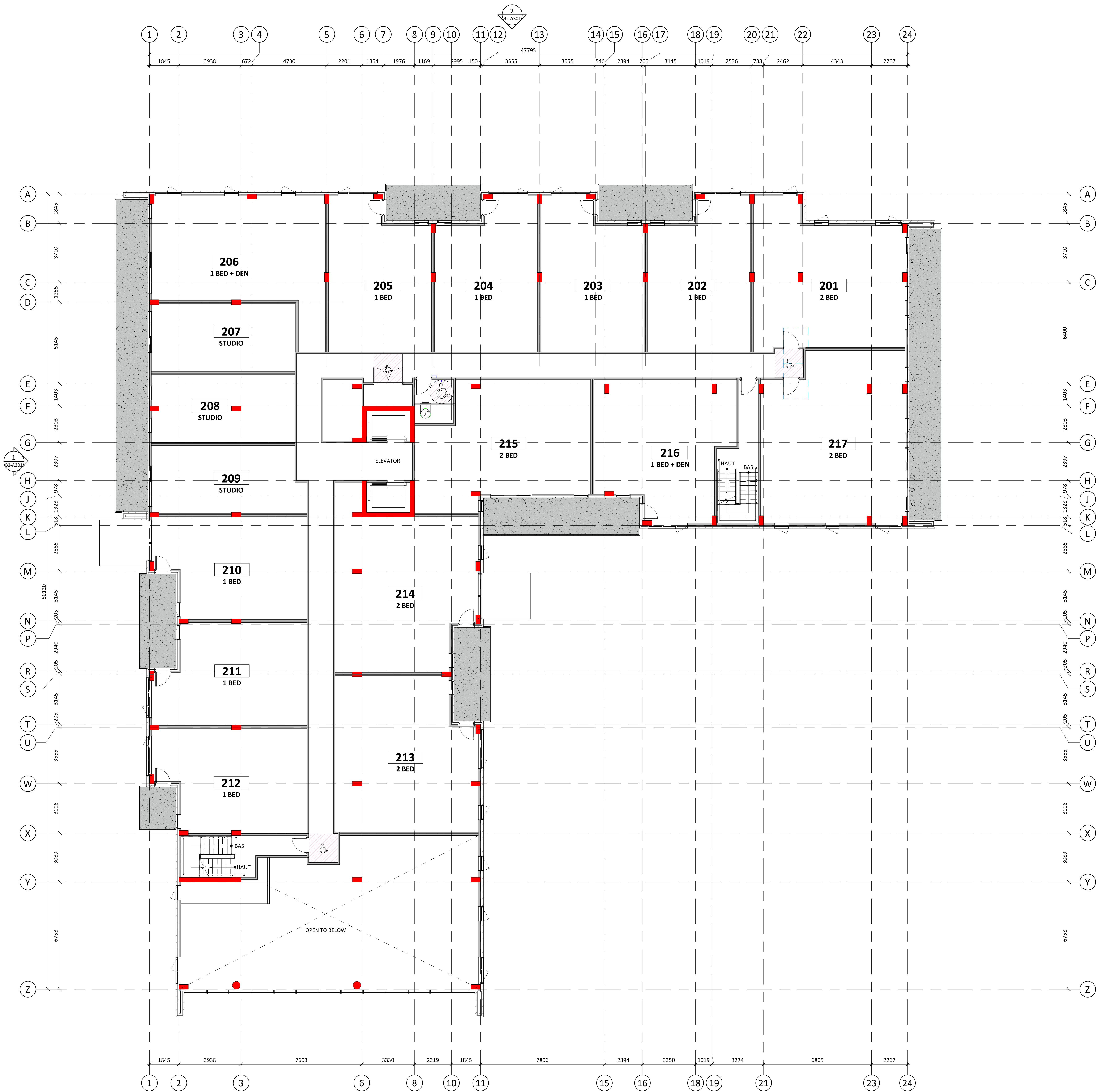
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PROJECT No 24061	CHECKED P. MARTIN



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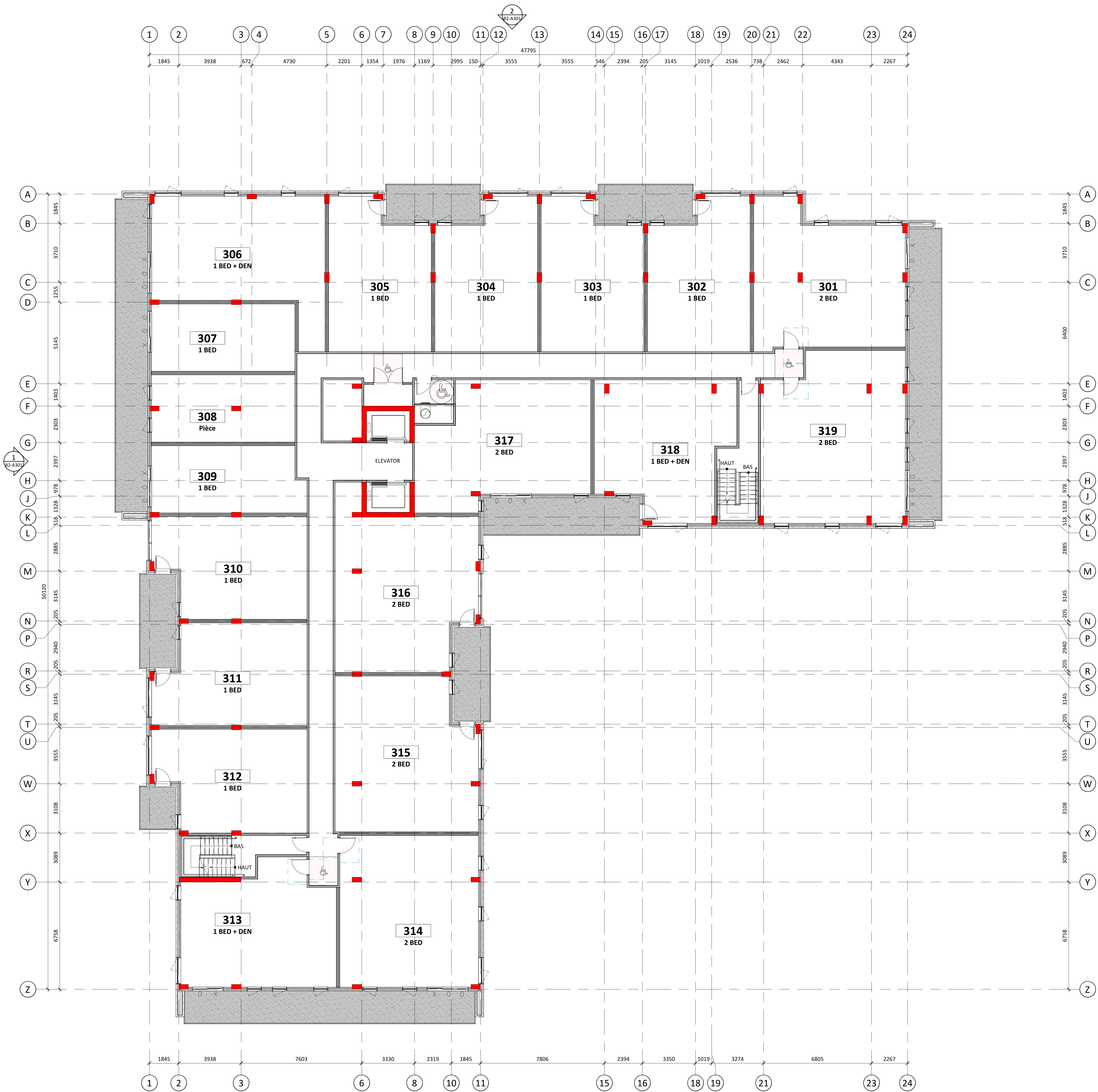
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SHEET TITLE

3RD FLOOR





NO	DESCRIPTION	DATE
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SHEET TITLE
4TH FLOOR



NO	DESCRIPTION	DATE
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1
B2-A208
6TH FLOOR
1:100



PROJECT

FINDLAY CREEK
DEVELOPMENT

1140 CEDAR CREEK DRIVE,
OTTAWA, ON K1X 0G3

OWNER

MAVERICK
DEVELOPMENT CORPORATION

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MECHANICAL

KEY PLAN

ARCHITECT SEAL



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6TH FLOOR

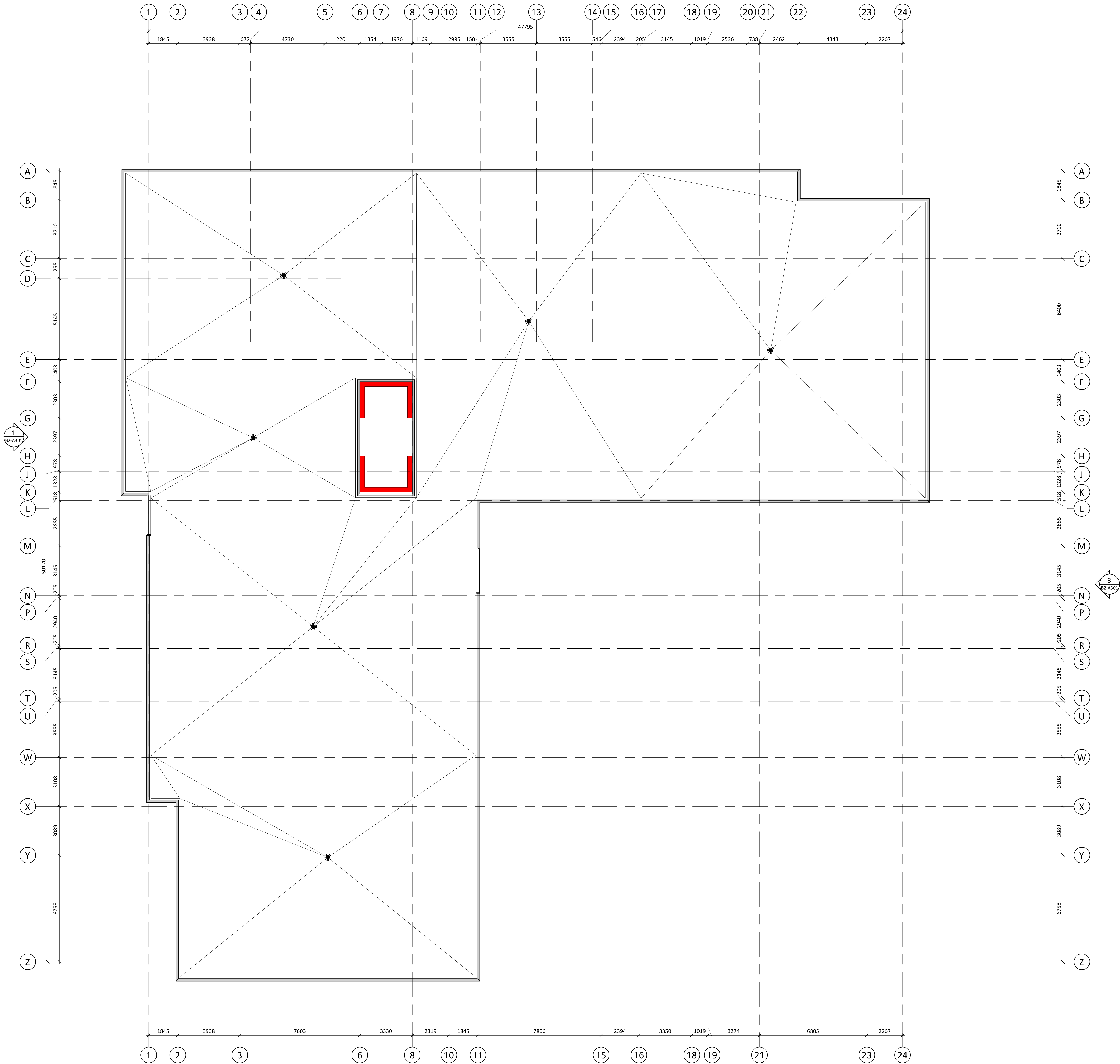
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FILE NUMBER D07-12-25-0005 PLAN NUMBER #19311

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1
B2-A209
1:100



PROJECT

FINDLAY CREEK
DEVELOPMENT

1140 CEDAR CREEK DRIVE,
OTTAWA, ON K1X 0G3

OWNER



MAVERICK DEVELOPMENT CORPORATION
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ROOF PLAN

SHEET No

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FILE NUMBER D07-12-25-0005 PLAN NUMBER #19311