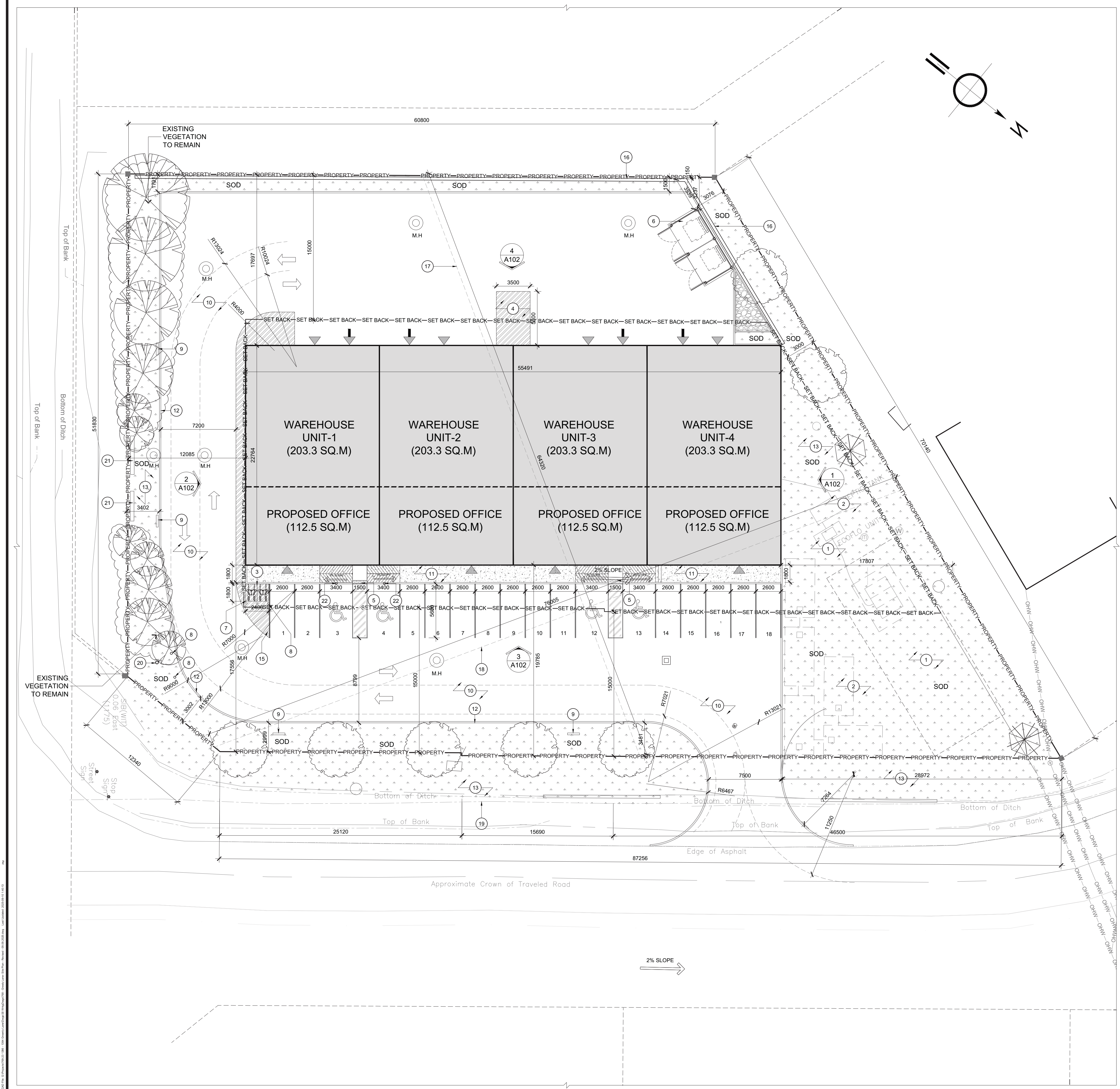




LEGEND FOR DRAWING A100:

- PROPERTY LINE
- SETBACK
- OVERHEAD UTILITY WIRES
- FENCE
- SOD
- HARD LANDSCAPING
- ASPHALT PAVING
- PAINT LINES - ASPHALT
- ENTRANCE
- OVERHEAD DOOR ENTRANCE
- STANDARD IRON BAR
- IRON BAR
- LAMP STANDARD
- MONITORING WELL
- MANHOLE
- UTILITY POLE
- GUY WIRE
- WELL
- STREET SIGN / STOP SIGN
- GAS METER
- CATCH BASIN
- VEGETATION/PLANTING/TREES

PROJECT INFORMATION		
ZONING BY-LAW 2008-250	RG3	
SITE AREA	4679.76 SQ.M	
AVERAGE MEAN GRADE (GEODECTIC ELEVATION)		
PROJECT STATISTICS		
	REQUIRED	PROVIDED
BUILDING HEIGHT	15M MAX.	6.8 M
MINIMUM FRONT SETBACK	15 M	19.785 M
MINIMUM REAR YARD SETBACK	15 M	17.69
MINIMUM CORNER YARD SETBACK	12M	12.085 M
MINIMUM INTERIOR SIDE YARD SETBACK	3M	3M
MAXIMUM LOT COVERAGE	50%	27%
MINIMUM LOT WIDTH	30M	76.00 M
MINIMUM LOT AREA	2000 SQ.M	4678.69 SQ.M

GROSS FLOOR AREA	
TOTAL BUILDING AREA (SUM OF BELOW)	1263.20 SQ.M
WAREHOUSE UNIT-1	203.3 SQ.M
WAREHOUSE UNIT-2	203.3 SQ.M
WAREHOUSE UNIT-3	203.3 SQ.M
WAREHOUSE UNIT-4	203.3 SQ.M
OFFICE AUXILIARY TO WAREHOUSE-1	112.5 SQ.M
OFFICE AUXILIARY TO WAREHOUSE-2	112.5 SQ.M
OFFICE AUXILIARY TO WAREHOUSE-3	112.5 SQ.M
OFFICE AUXILIARY TO WAREHOUSE-4	112.5 SQ.M

PARKING REQUIREMENT		
	REQUIRED	PROVIDE
WAREHOUSE / OFFICE	17.3 (0.8 per 100 SQ.M) 0.8 x(813.21/100)=6.5 / (2.4 per 100 SQ.M) 2.4 x (450/100) = 10.8	18
BICYCLE	1 (1 per 2000 SQ.M)	4
LOADING SPACE	1	1

LEGAL DESCRIPTION:
PART OF BLOCK 3, REGISTERED PLAN 4M-351, GEOGRAPHIC TOWNSHIP OF OSGOODE, CITY OF OTTAWA BEING PARTS 4 & 5, PLAN 4R-5327 AS IN ALL OF PIN 04319-0701 & PIN 04319-0702 RESPECTIVELY.

SURVEYOR:
FAIRHALL, MOFFATT & WOODLAND LTD
Ontario Land Surveyors
100-600 Terry Fox Drive, Kanata, Ottawa, ON, K2L 4B6
Tel: 613-591-2580

LANDSCAPE ARCHITECT:
LEVSTEK CONSULTANTS INC.
5871 HUGH CRESCENT, OTTAWA, ON, K0A 2W0
TEL: (613) 826 0518

CIVIL ENGINEER
D.B. GRAY ENGINEERING INC.
700 Long Point Circle, Ottawa, ON, K1T 4E9
(613) 435 - 8044 ; EMAIL: D.GRAY@DBREYENGINEERING.COM

PROPERTY INFORMATION DERIVED FROM:
FAIRHALL MOFFATT WOODLAND LTD.
JULY 12, 2024

PROJECT DEVELOPER
CASSIDY CONSTRUCTION
1011 Thomas Spratt Place, Ottawa, K1G 5L5
TEL: (613) 728-2112; EMAIL: chris@cassidyconstruction.com

CELEBRATING 40 YEARS
CASSIDY CONSTRUCTION OF EXCELLENCE

CONSTRUCTION NORTH
TRUE NORTH

NOTES FOR DRAWING A101:

- LOCATION FOR SEPTIC.
- STORAGE TANKS FOR FIRE FIGHTING.
- PRE MANUFACTURE BICYCLE RACK, SECURED TO CONCRETE PAD.
- LOCATION FOR LOADING.
- TACTILE WARNING STRIP.
- GARBAGE BIN ENCLOSURE.
- CONCRETE PAD.
- BOLLARD.
- FIRE ROUTE NO PARKING SIGN.
- ASPHALT DRIVEWAY.
- CONCRETE SIDEWALK.
- CONCRETE CURB.
- SOFT CAPPING.
- PAINTED PARKING LINE.
- PAINTED AREA
- RETAINING WALL (REFER TO STRUCTURAL)
- LOT DEPTH
- LOT WIDTH
- RIGHT OF WAY
- WELL LOCATION
- HEADWALL
- BARRIER FREE PARKING SIGNAGE (BILINGUAL FRENCH/ENGLISH).

GENERAL NOTES FOR DRAWING A101:

A. SNOW SHALL NOT BE STORED ON SITE. SNOW TO BE REMOVED BY SNOW REMOVAL CONTRACTOR.

3	Issued for City's Comments	10.09.25
2	Issued for City's Comments	29.04.25
1	Issued for Site Plan Approval	10.01.25
No	ISSUE/REVISION ÉMISSION/REVISION	DATE DD/MM/YY

BRYDEN GIBSON ARCHITECTS INCORPORATED

1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME
NOM DU PROJET

1386-1394 GREELY LANE

1386-1394 Greely Ln, Greely, ON K4P 1A1

DRAWING TITLE
TITRE DU DESSIN

SITE PLAN

JOB No 768-23	N° DE PROJET	DATE APR 2025	DATE
SCALE 1:200	ECHELLE	PRINTING SCALE/ ECHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
DRAWN BY SB	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTEZ VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR		

ARCHITECT'S STAMP
OF
ONTARIO ASSOCIATION
Suzanne Gibson
SUZANNE GIBSON
LICENCE
8808

DRAWING No
DESSIN N°

A101

REVISION No
RÉVISION N° 1