



1  
A001 EXISTING KEY PLAN  
SCALE: N/A

| LEGEND                                                             |                                                             |
|--------------------------------------------------------------------|-------------------------------------------------------------|
|                                                                    | PROPERTY LINE                                               |
|                                                                    | YARD SETBACK                                                |
|                                                                    | 8ft HIGH CHAIN FENCE, REFER TO LANDSCAPE                    |
|                                                                    | FIRE HYDRANT                                                |
|                                                                    | CATCH BASIN - SEE CIVIL                                     |
|                                                                    | MANHOLE - SEE CIVIL                                         |
|                                                                    | MAIN ENTRANCE/EXIT                                          |
|                                                                    | GARBAGE ENCLOSURE C/W 2m HIGH OPAQUE SCREEN                 |
|                                                                    | EXISTING UTILITY POLE                                       |
|                                                                    | EXISTING ANCHOR                                             |
|                                                                    | EXTERIOR LIGHT POLE REFER TO ELEC.                          |
|                                                                    | T.W.S.I.                                                    |
|                                                                    | BIKE RACK FOR 4 BIKES 0.6 x 1.8 m SPACE PER BIKE            |
|                                                                    | FLAG POLE, REFER TO LANDSCAPE                               |
|                                                                    | LANDSCAPED AREA REFER TO LANDSCAPE PLAN                     |
|                                                                    | CONCRETE PAD AND SIDEWALK                                   |
|                                                                    | ASPHALT                                                     |
|                                                                    | 6m WIDE FIRE ROUTE, REFER TO CIVIL                          |
|                                                                    | PAVERS REFER TO LANDSCAPE PLAN                              |
|                                                                    | LOADING SPACE PER ZBL, SECTION 113, TABLE 113B              |
|                                                                    | NEW DEPRESSED CURB                                          |
|                                                                    | NEW CURB                                                    |
|                                                                    | IN-GROUND BOLLARD, REFER TO DETAIL 1/A002                   |
|                                                                    | BLOCK HEATER, REFER TO DETAIL 2/A002                        |
|                                                                    | RECEPTACLE, REFER TO DETAIL 1/A003                          |
|                                                                    | CONDUIT STUB UP FOR FUTURE ELEC. EQUIPMENT                  |
|                                                                    | EV CHARGER, REFER TO DETAIL 11/A002                         |
| SIGNAGE LEGEND:                                                    |                                                             |
| REFER TO SPEC SECTION 10 14 54 TRAFFIC SIGNAGE                     |                                                             |
|                                                                    | NO TRESPASSING                                              |
|                                                                    | FIRE ROUTE                                                  |
|                                                                    | BARRIER-FREE PARKING                                        |
|                                                                    | STOP SIGN                                                   |
| PAINTED SIGN LEGEND:                                               |                                                             |
| REFER TO SPEC SECTION 32 17 23 PAINTING TRAFFIC LINES AND MARKINGS |                                                             |
|                                                                    | WHITE PAINTED BARRIER-FREE PARKING SYMBOL AND PARKING LINES |
|                                                                    | WHITE PAINTED CAR PARKING LINES                             |
|                                                                    | WHITE PAINTED SYMBOL FOR ELECTRIC CAR CHARGING STATION      |

## PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:  
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 1 CONCESSION 9, GEOGRAPHIC TOWNSHIP OF GLOUCESTER; CITY OF OTTAWA, WEST OF OTTAWA ROAD, PIN 04324-0177 AND PIN 04324-0161, PER PLAN 4R-13964

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.  
DATED AUGUST 15, 2018

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION  
RG - RURAL GENERAL INDUSTRIAL ZONE  
AREA "D" OF SCHEDULE 1, CITY OF OTTAWA

BUILDING CLASSIFICATION:  
THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2020

OCCUPANCY:  
GROUP F DIVISION 2 - UP TO 2 STOREYS, SPRINKLERED (3.2.2.72.)  
GROUP D - UP TO 3 STOREYS, SPRINKLERED (3.2.2.54.)

BUILDING STATISTICS:  
NUMBER OF STOREYS = 1  
THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1  
NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

OWNER  
DAY & ROSS INC.  
358 MAIN STREET  
HARTLAND, NB  
E7P 1G6

SURVEYOR  
ANNIS, O'SULLIVAN, VOLLEBEKK LTD  
14 CONCOURSE GATE, SUITE 500  
NEPEAN, ON  
K2E 7S6

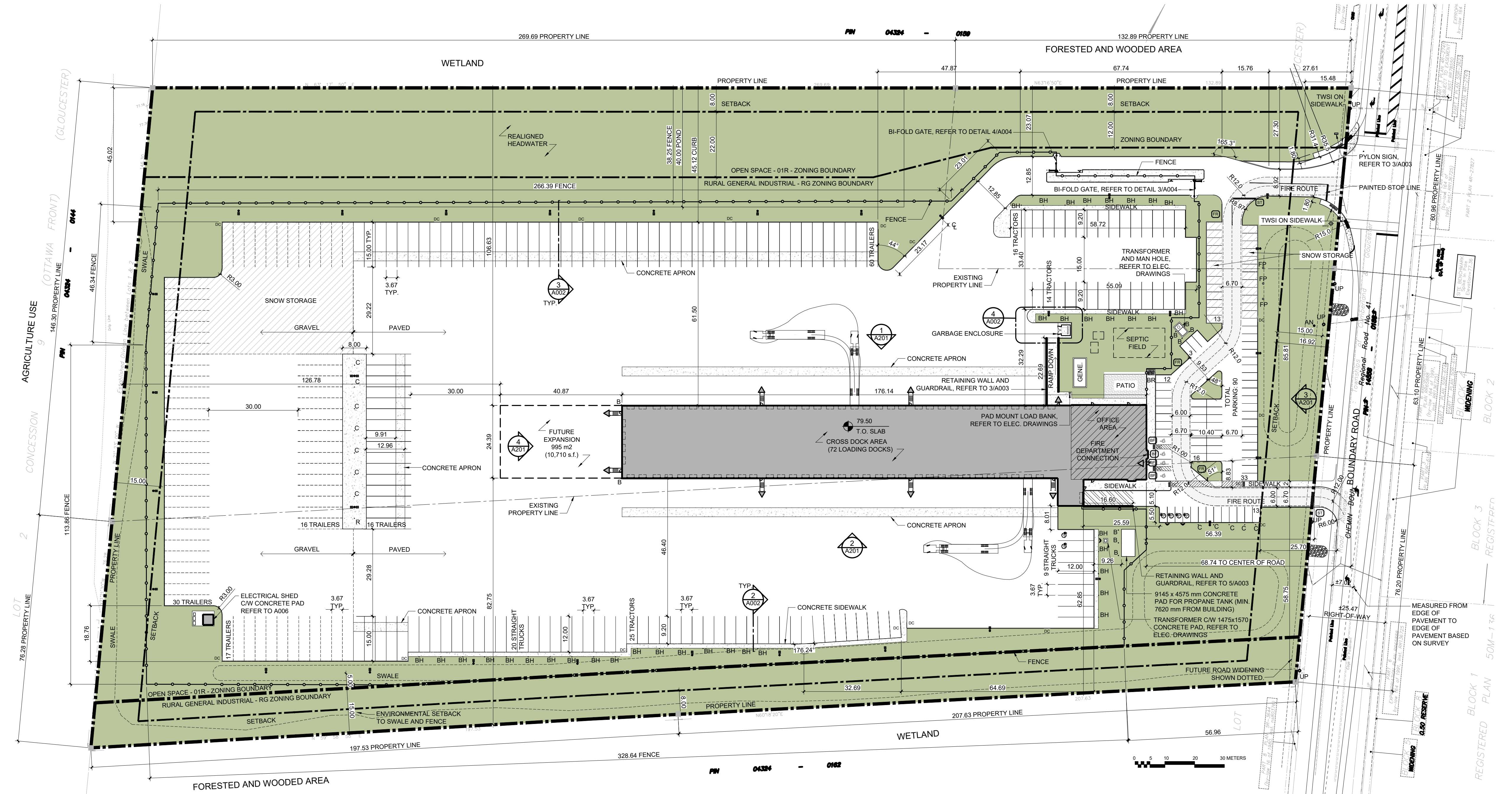
CIVIL ENGINEER  
NOVATECH  
240 MICHAEL COWPLAND DRIVE, SUITE 200  
OTTAWA, ON  
K2M 1P6

ARCHITECT  
N45 ARCHITECTURE INC.  
ROBERT MATTHEWS  
71 BANK STREET, 7TH FLOOR  
OTTAWA, ON  
K1P 5N2

## ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

| ZONING MECHANISM                      | REQUIRED                                                                                | PROVIDED                                     | FUTURE EXPANSION                   |
|---------------------------------------|-----------------------------------------------------------------------------------------|----------------------------------------------|------------------------------------|
| ADDRESS                               | 5494-5510 BOUNDARY ROAD<br>GLOUCESTER, ON                                               | TRUCK TRANSPORT<br>TERMINAL AND CROSS DOCK   |                                    |
| DEFINITION                            | RG RURAL GENERAL INDUSTRIAL ZONE                                                        |                                              |                                    |
| MIN. LOT WIDTH                        | 30 m                                                                                    | 200 m                                        | 200 m                              |
| MIN. LOT AREA                         | 4,000 m <sup>2</sup>                                                                    | 84,540 m <sup>2</sup>                        | 84,540 m <sup>2</sup>              |
| MIN. FRONT YARD SETBACK               | 15 m                                                                                    | 56.39 m                                      | 56.39 m                            |
| MIN. CORNER SIDE SETBACK              | 12 m                                                                                    | N/A                                          | N/A                                |
| MIN. INT. SIDE YARD SETBACK           | 8 m                                                                                     | 62.9 m                                       | 62.9 m                             |
| MIN. REAR YARD SETBACK                | 15 m                                                                                    | 167.7 m                                      | 126.8 m                            |
| MAX. LOT COVERAGE                     | 50%                                                                                     | 5.2%                                         | 6.4%                               |
| MAX. BUILDING HEIGHT                  | 15 m                                                                                    | 8 m                                          | 8 m                                |
| MIN. WIDTH OF LANDSCAPING             | 1.5 m                                                                                   | MIN. 3 m                                     | MIN. 3 m                           |
| STANDARD PARKING SPACE                | 2.6m x 5.2m (max 3.1m wide)                                                             | 2.6m x 5.2m                                  |                                    |
| ACCESSIBLE PARKING SPACE              | 3.6m x 5.2m                                                                             | 3.4m x 5.2m (TYPE A),<br>2.4 x 5.2m (TYPE B) |                                    |
| PARKING REQUIREMENTS<br>AREA D: RURAL | 46 OFFICE: 2.4 / 100 m <sup>2</sup> G.F.A<br>CROSS DOCK: 0.8 / 100 m <sup>2</sup> G.F.A | 90                                           | 90 (54 required)                   |
| BARRIER-FREE PARKING                  | 3                                                                                       | 2 (TYPE A) + 2 (TYPE B)                      |                                    |
| LOADING SPACES                        | 1 (MIN. 3.5 m WIDE x 7 m LONG)                                                          | 72                                           | 90                                 |
| BICYCLE PARKING RATE                  | 3 (1 / 2000 m <sup>2</sup> of G.F.A.)                                                   | 4                                            | 4 (3 required)                     |
| GROSS FLOOR AREA                      |                                                                                         | 4,440 m <sup>2</sup> (47,790 s.f.)           | 5,435 m <sup>2</sup> (58,500 s.f.) |
| BUILDING AREA (FOOTPRINT)             |                                                                                         | 4,400 m <sup>2</sup> (47,360 s.f.)           | 5,395 m <sup>2</sup> (58,070 s.f.) |
| OFFICE AREA                           |                                                                                         | 642 m <sup>2</sup> (6,910 s.f.)              | 642 m <sup>2</sup> (6,910 s.f.)    |
| CROSS DOCK AREA                       |                                                                                         | 3,758 m <sup>2</sup> (40,450 s.f.)           | 4,753 m <sup>2</sup> (51,160 s.f.) |



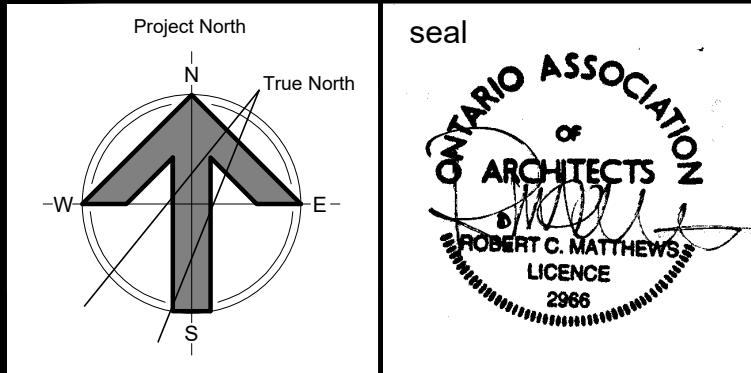
2  
A001 ARCHITECTURAL SITE PLAN  
SCALE: 1:750



| no. | revision                                | date         |
|-----|-----------------------------------------|--------------|
| 09  | ISSUE FOR SPA RESPONSE                  | 15 SEPT 2025 |
| 08  | ISSUE FOR BLDG COMMENT RESPONSE 1       | 18 APR 2025  |
| 07  | SPA COMMENTS RESPONSE                   | 3 APR 2025   |
| 06  | SPA COMMENTS RESPONSE                   | 12 DEC 2024  |
| 05  | ISSUE FOR BUILDING PERMIT               | 24 OCT 2024  |
| 04  | ISSUE FOR 90% SUBMISSION                | 03 OCT 2024  |
| 03  | ISSUE FOR SITE PLAN CONTROL APPLICATION | 24 SEPT 2024 |
| 02  | ISSUE FOR 60% SUBMISSION                | 15 AUG 2024  |
| 01  | ISSUE FOR 30% SUBMISSION                | 27 JUNE 2024 |

N45 ARCHITECTURE INC.  
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2  
tel. 613.224.0095 fax 613.224.9811

DAY & ROSS  
5494-5510 BOUNDARY ROAD  
GLOUCESTER, ON



drawing title  
SITE PLAN

|                                                                                                          |                        |
|----------------------------------------------------------------------------------------------------------|------------------------|
| scale<br>AS SHOWN                                                                                        | drawn by<br>DL         |
| date<br>FEB 2024                                                                                         | checked by<br>RM       |
| project number<br>22-765                                                                                 | drawing number<br>A001 |
| CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. |                        |
| DO NOT SCALE DRAWINGS                                                                                    |                        |
| revision<br>08                                                                                           |                        |