

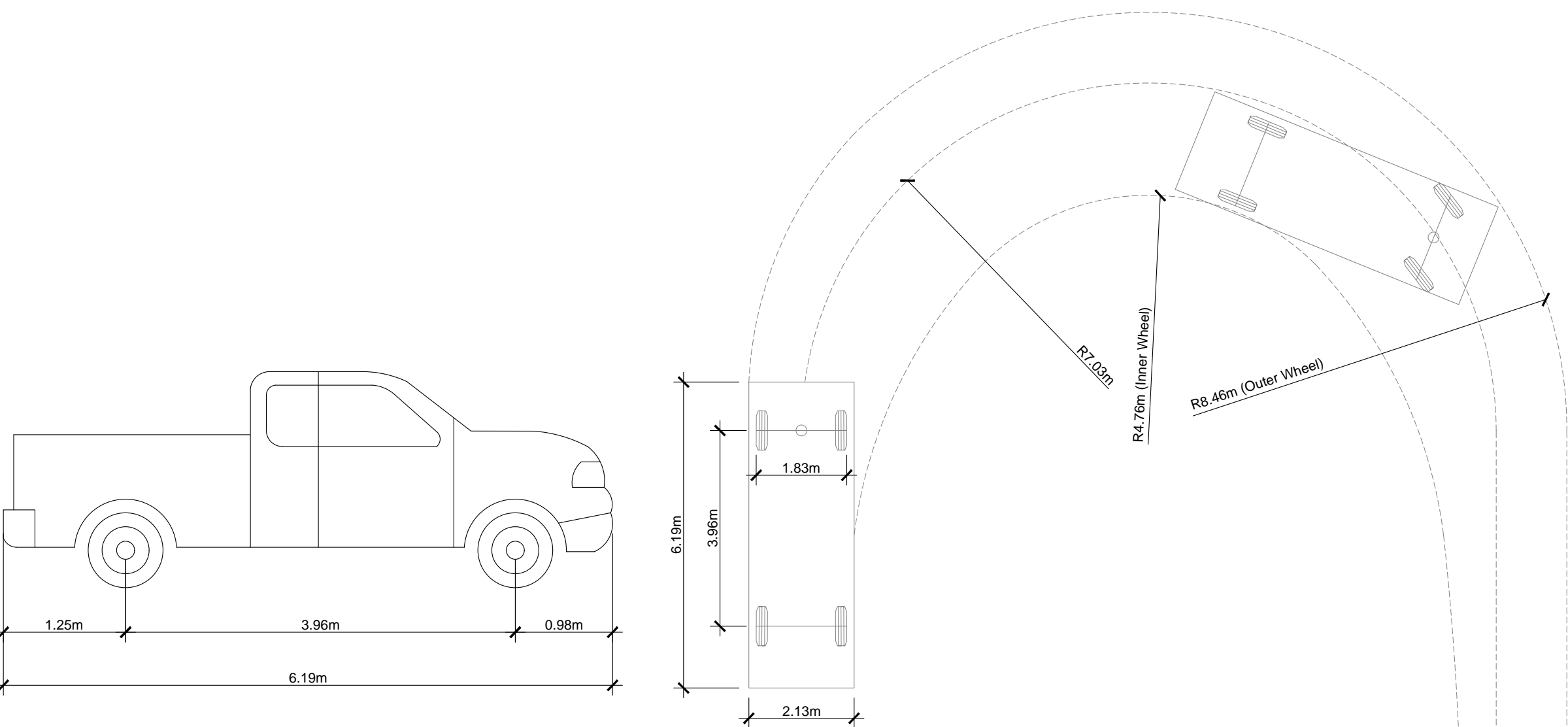
1 LOCATION PLAN
A0

Building Analysis		O.B.C. Requirements	
Building Area:	312.6m ²	Classification:	3.2.2.62
Basement Floor Area:	312.6m ²		Group D. up to 3 Storeys
Ground Floor Area:	312.6m ²	No. of Storeys:	3
Second Floor Area:	312.6m ²	No. of Facing Streets:	1
Third Floor Area:	131.8m ²	Sprinkler System:	No
Gross Floor Area:	1069.6m ²	Maximum Area:	1600m ²
		Construction:	Combustible or Noncombustible Construction

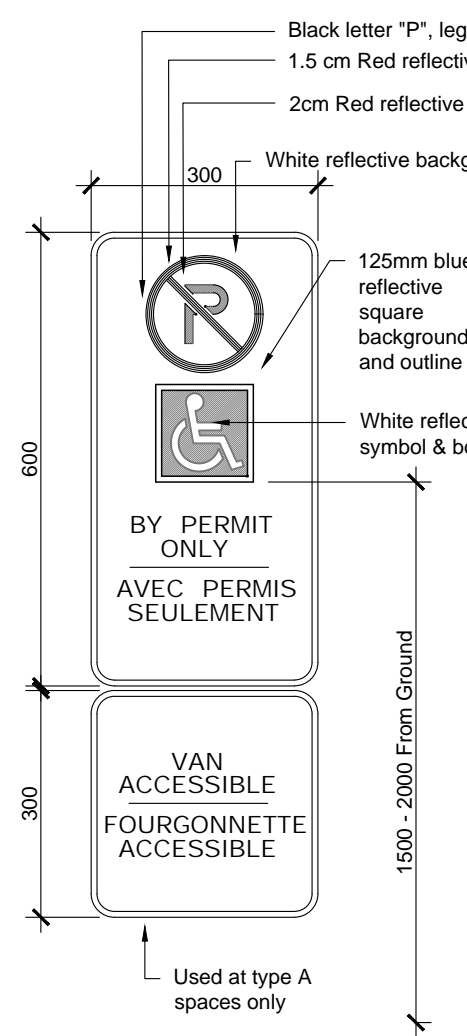
Parking Requirements			
Space:	Area Classification:	Area:	Parking Requirement:
Ground Floor Pharmacy	Retail Store	93 m ²	3.4 per 100sqm
Ground Floor Office	Office Space	46.5 m ²	2.4 per 100sqm
Ground Floor Office	Office Space	52.7 m ²	2.4 per 100sqm
Second Floor Office	Office Space	46.5 m ²	2.4 per 100sqm
Second Floor Medical Suite	Medical Facility	175.8 m ²	4 per 100sqm
Third Floor Office (Owner's)	Office Space	78.96 m ²	2.4 per 100sqm
Total:			15.585

Weekday				Saturday			
Morning	Noon	Afternoon	Evening	Morning	Noon	Afternoon	Evening
13.9	13.4	14.6	6.3	5.7	7.7	7.5	3.7

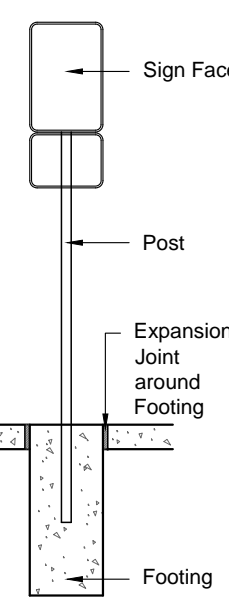
Zoning VM9		
Mechanism	Provision	Provided
Minimum lot area	1350m ²	1016.6m ²
Minimum lot width	20m	31.85m
Minimum front yard setback	(i) minimum - no minimum (ii) maximum - 3m	3m
Right of way setback	Minimum 8.5m from centreline of road	10.23m from centreline of road
Minimum corner side yard setback	(i) minimum - 3m (ii) maximum - 4.5m	n/a
Minimum interior side yard setback	Where abutting Residential Zone: 3m Where abutting any other zone: no minimum	1.2m
Minimum rear yard setback	(i) residential use building: 25% of lot depth, minimum of 7.5m (ii) non-residential use and mixed use buildings abutting a residential zone: 7.5m (iii) all other cases: no minimum	n/a
Maximum building height	(i) minimum - 6.7m (ii) maximum - 11m	12.5m (Minor Variance Required)
Minimum required parking	Minimum Required: 14.6 Parkings	15 Parkings
Barrier free parking required	1 for the first 25 parking spaces required (Traffic and Parking By-law No. 2017-301)	1 Barrier Free Parking Provided
Barrier free parking space size	3.4 m wide (Traffic and Parking By-law No. 2017-301)	3.4 m width Provided
Small parking	Up to 50% allowed: 2.4m x 4.6m	3 Small Parkings Provided (2.4m wide x 5.2m long)
Minimum required bicycle parking	1 space for every 1000m ² of GFA No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped	1 Bicycle Parking Provided
Minimum width of landscaped area	For a parking lot containing more than 10 but fewer than 100 spaces: 3 m abutting a street and 1.5 m not abutting a street (Table 110)	Whole yard is landscaped
Landscape area surrounding parking lot	15% Required	Abutting the street: 8.38 m Not abutting a street: 1.5 m
Landscaping provisions for parking lot	Must be located 9m from a lot line abutting a public street and 3m from any other lot line and screened from view with an opaque screen with a minimum height of 2 m	20.4% Provided
Outdoor garbage		Not abutting a street: 3.81 m



7 TURNING RADII FOR PICKUP TRUCK
A0 SCALE: 1:100



7 BARRIER FREE SIGNAGE
A0 SCALE: 1:50

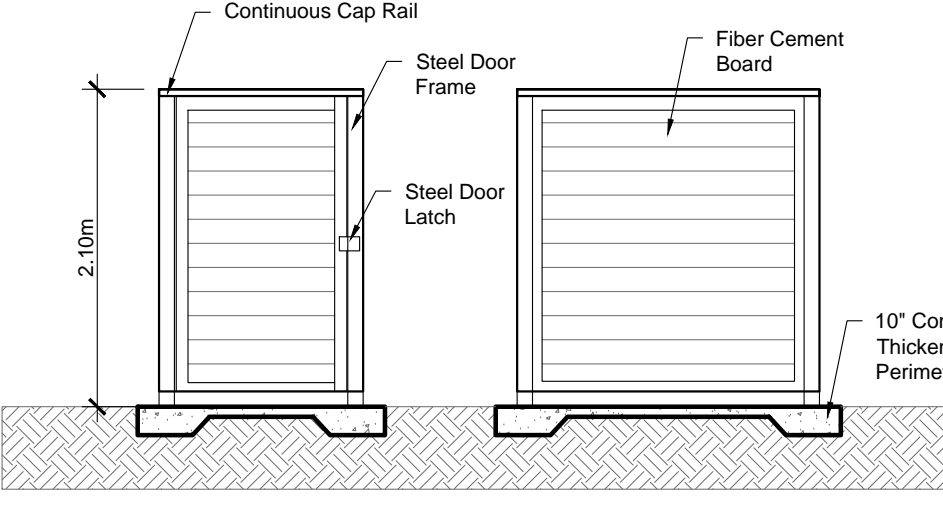


All Accessible parking stalls shall be designated by one sign per bay meeting accessibility design standards:

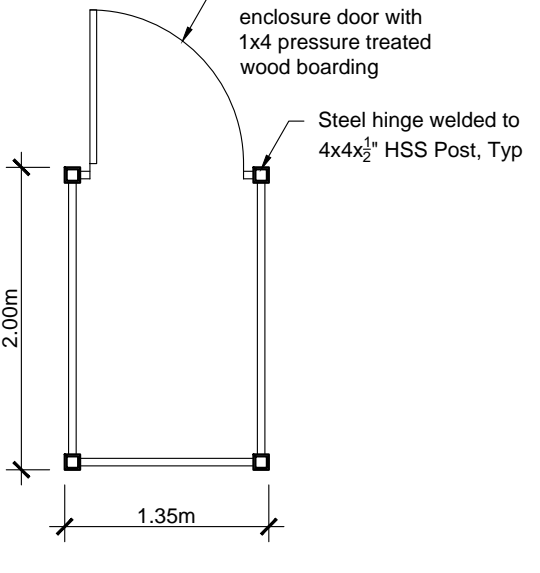
- Made with international symbol of accessibility;
- Ensure size of 300mm wide by 300mm high (minimum);
- Mount at height of 1500mm to 2000mm (centre) (B.C. wall or post mounted) from ground floor;
- Ensure a high level contrast is provided between sign and background environment;
- Provide information text, compliant with city by law requirements; and
- Provide additional bilingual signage that identifies type A spaces as "van accessible/ Fourgonnette accessible".

Signage face: 0.064mm gauge aluminum sign blank, white background with top and bottom mount holes

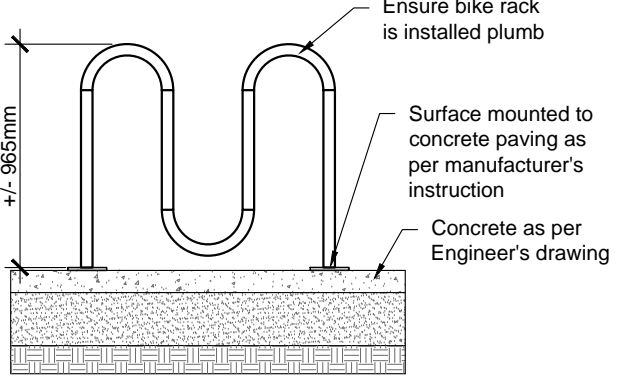
Mounting: The sign face must be secured to a post with two galvanized 12mm hex. head bolts and nuts with flat washers on both sides.



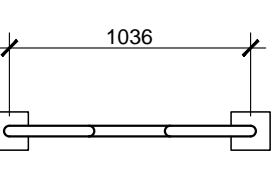
5 GARBAGE ELEVATION
A0 SCALE: 1:50



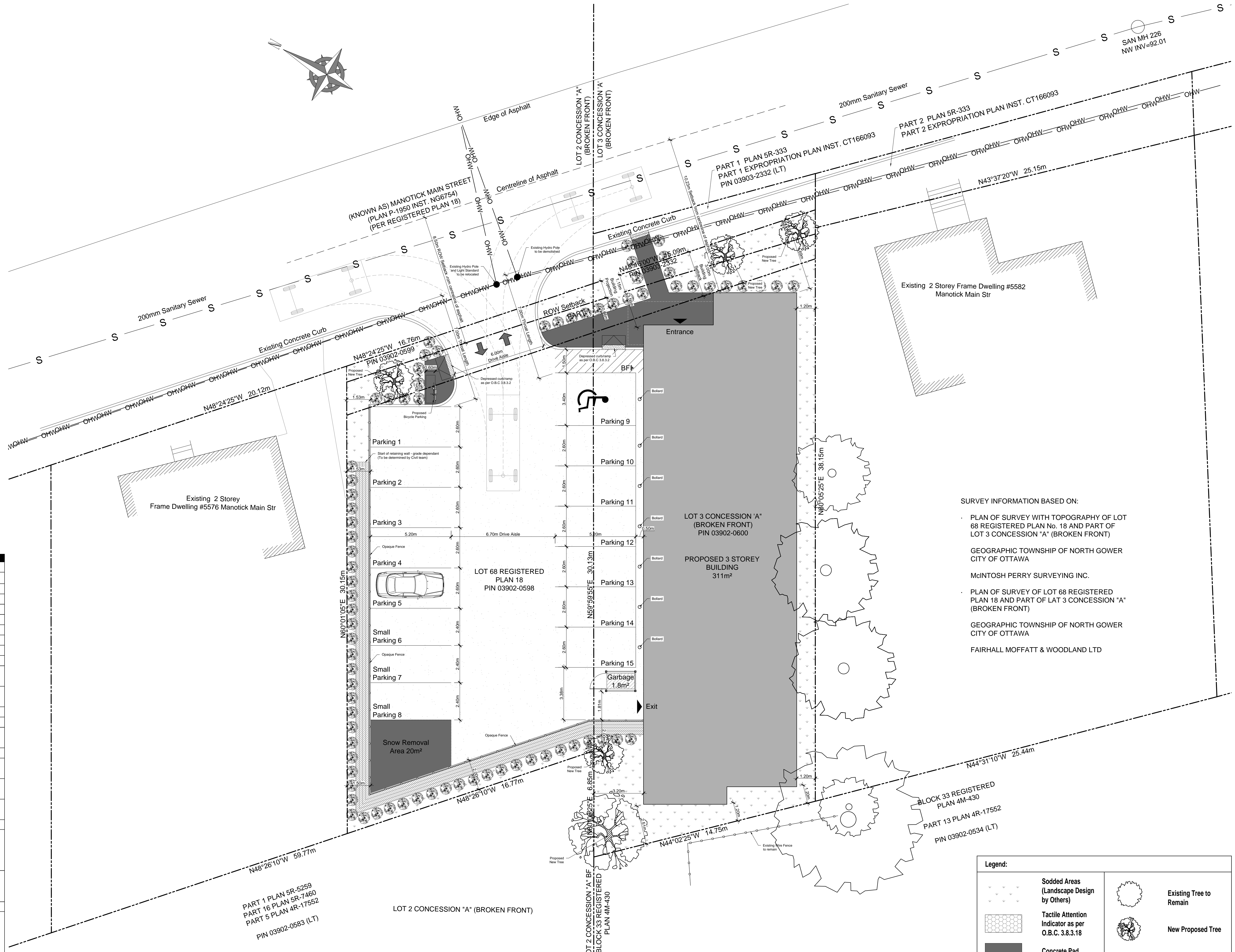
6 GARBAGE PLAN
A0 SCALE: 1:50



4 BIKE RACK ELEVATION
A0 SCALE: 1:50



3 BIKE RACK PLAN
A0 SCALE: 1:50



SURVEY INFORMATION BASED ON:

- PLAN OF SURVEY WITH TOPOGRAPHY OF LOT 68 REGISTERED PLAN No. 18 AND PART OF LOT 3 CONCESSION 'A' (BROKEN FRONT)
- GEOGRAPHIC TOWNSHIP OF NORTH GOWER CITY OF OTTAWA
- McINTOSH PERRY SURVEYING INC.
- PLAN OF SURVEY OF LOT 68 REGISTERED PLAN 18 AND PART OF LAT 3 CONCESSION 'A' (BROKEN FRONT)
- GEOGRAPHIC TOWNSHIP OF NORTH GOWER CITY OF OTTAWA
- FAIRHALL MOFFATT & WOODLAND LTD

Legend:			
	Sodded Areas (Landscape Design by Others)		Existing Tree to Remain
	Tactile Attention Indicator as per O.B.C. 3.8.3.18		New Proposed Tree
	Concrete Pad		New Shrubs
	Asphalt		Two way traffic
	Retaining Wall		Entrance to Building
			Barrier Free Parking Sign

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ONTARIO ASSOCIATION OF ARCHITECTS
NICOLE CHILTON-JONES
LICENCE 9766

DRAWING REVISIONS		
No.	Issued for:	Date:
1	Issued for Site Plan Application	19 Feb 2025
2	Issued for design review	01 Aug 2025
3	Issued for Coordination	30 Oct 2025

SITE ADDRESS:
5580 Manotick Main Str
Manotick
ON K4M 1E2

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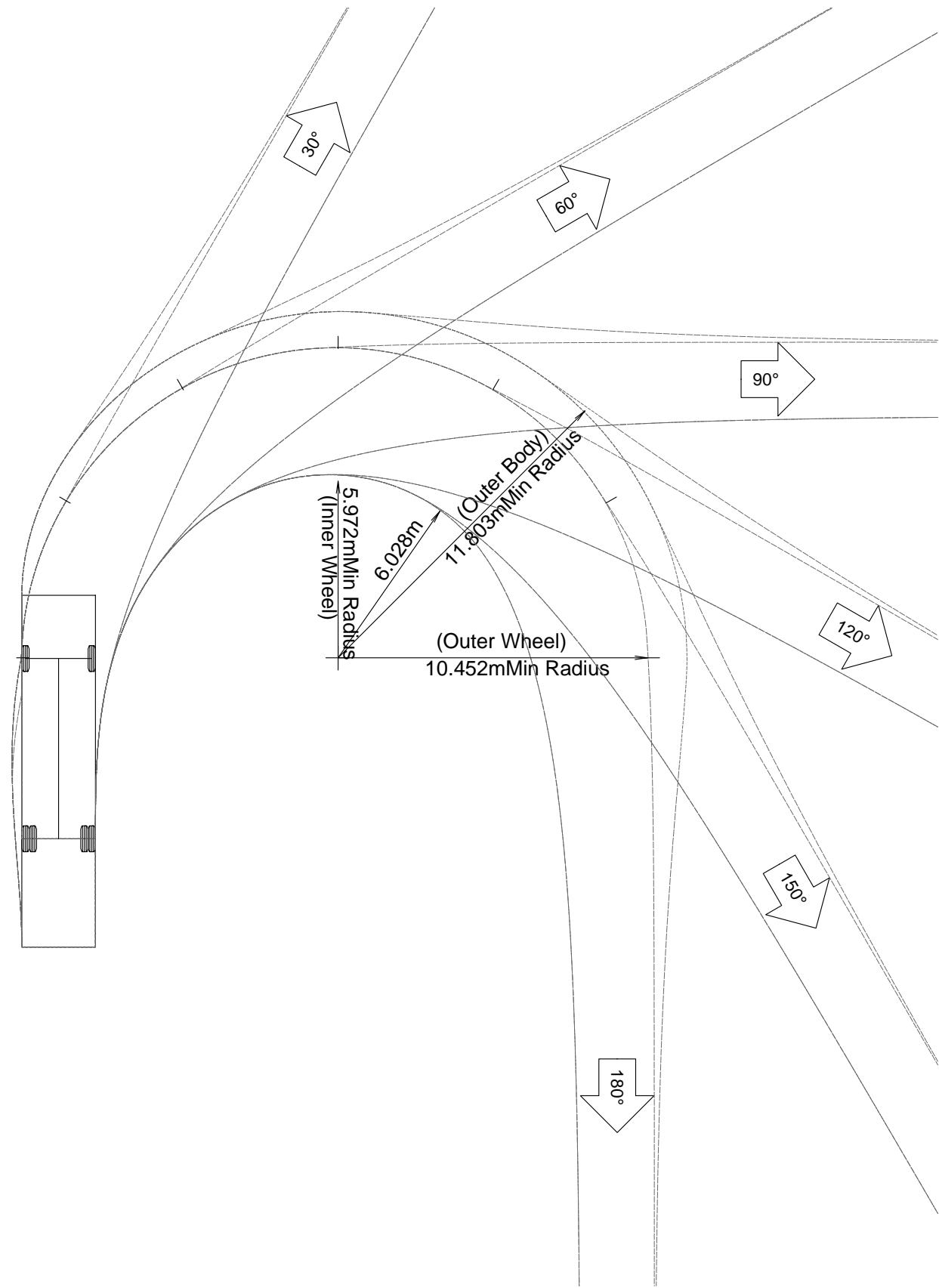
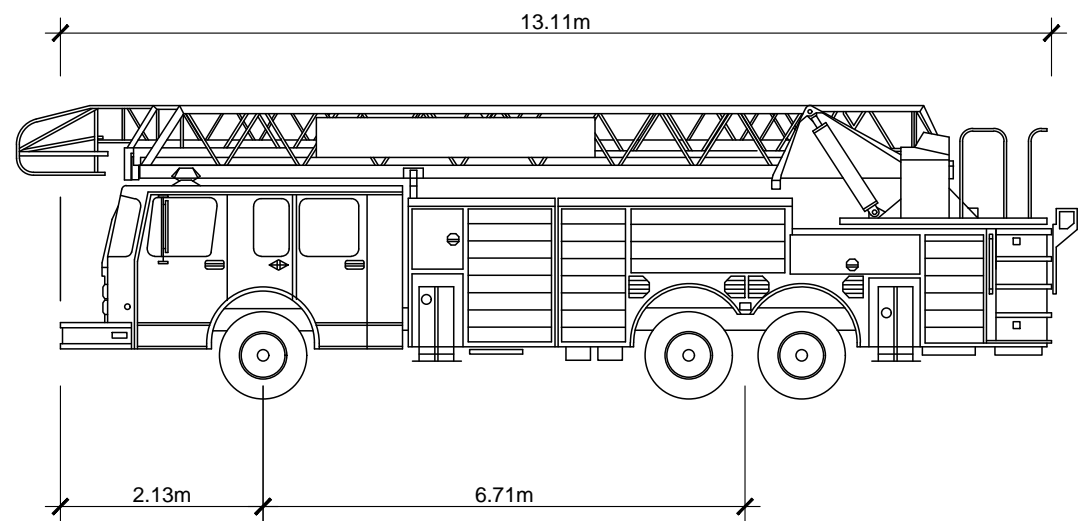
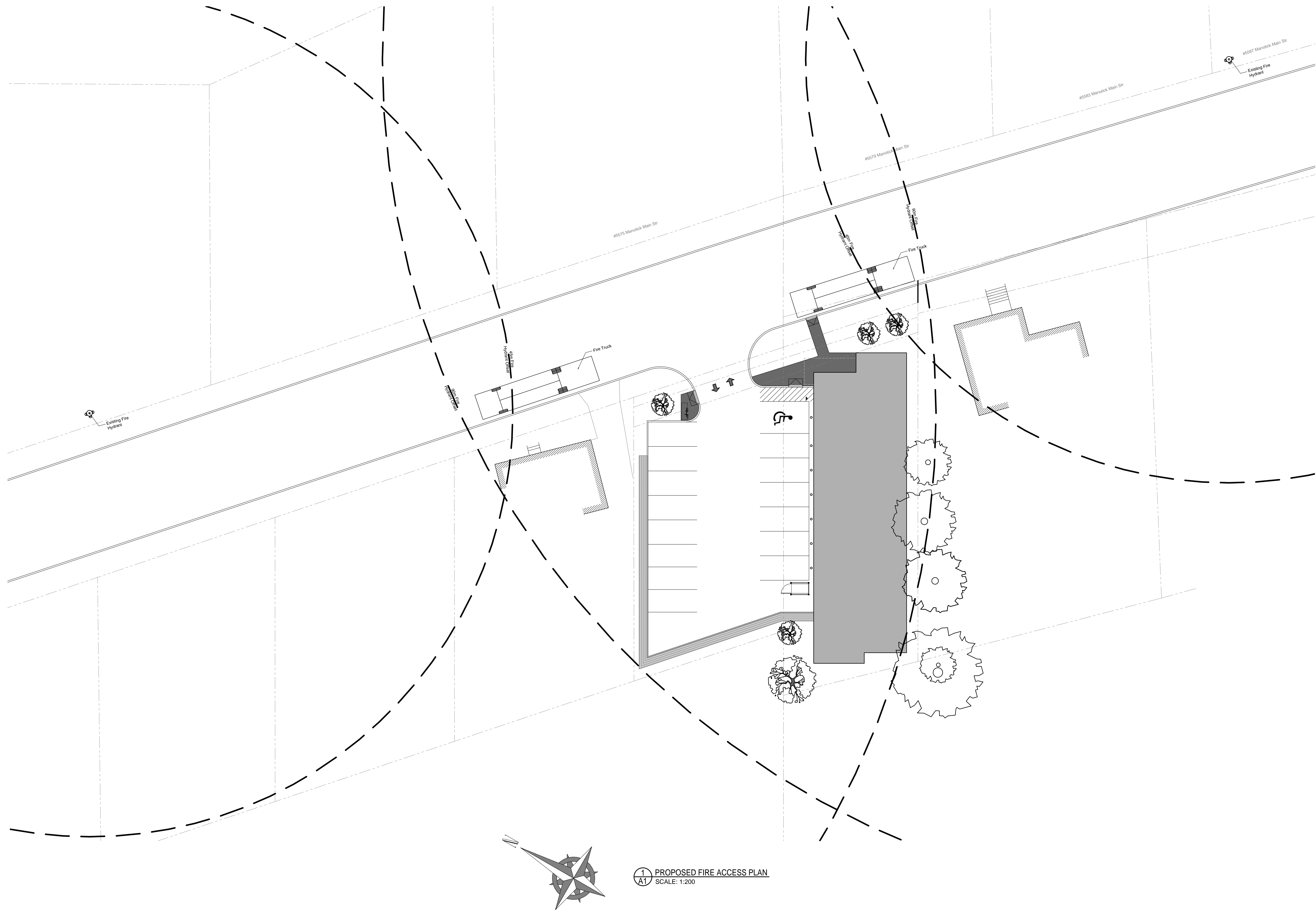
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DRAWING TITLE:

PROPOSED SITE PLAN AND ELEVATIONS

PROJECT:	DWG NO:
2208	A0

FILE NO:
D07-12-25-0022
PLAN # 19254



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ARCHITECT:



ENGINEERS:



SURVEYORS:



DRAWING TITLE:

PROPOSED FIRE
ACCESS PLAN

PROJECT:

2208

DWG NO:

A1

FILE NO:

D07-12-25-0022
PLAN # 19254

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DRAWING TITLE:

PROPOSED DEMOLITION
SITE PLAN

PROJECT:

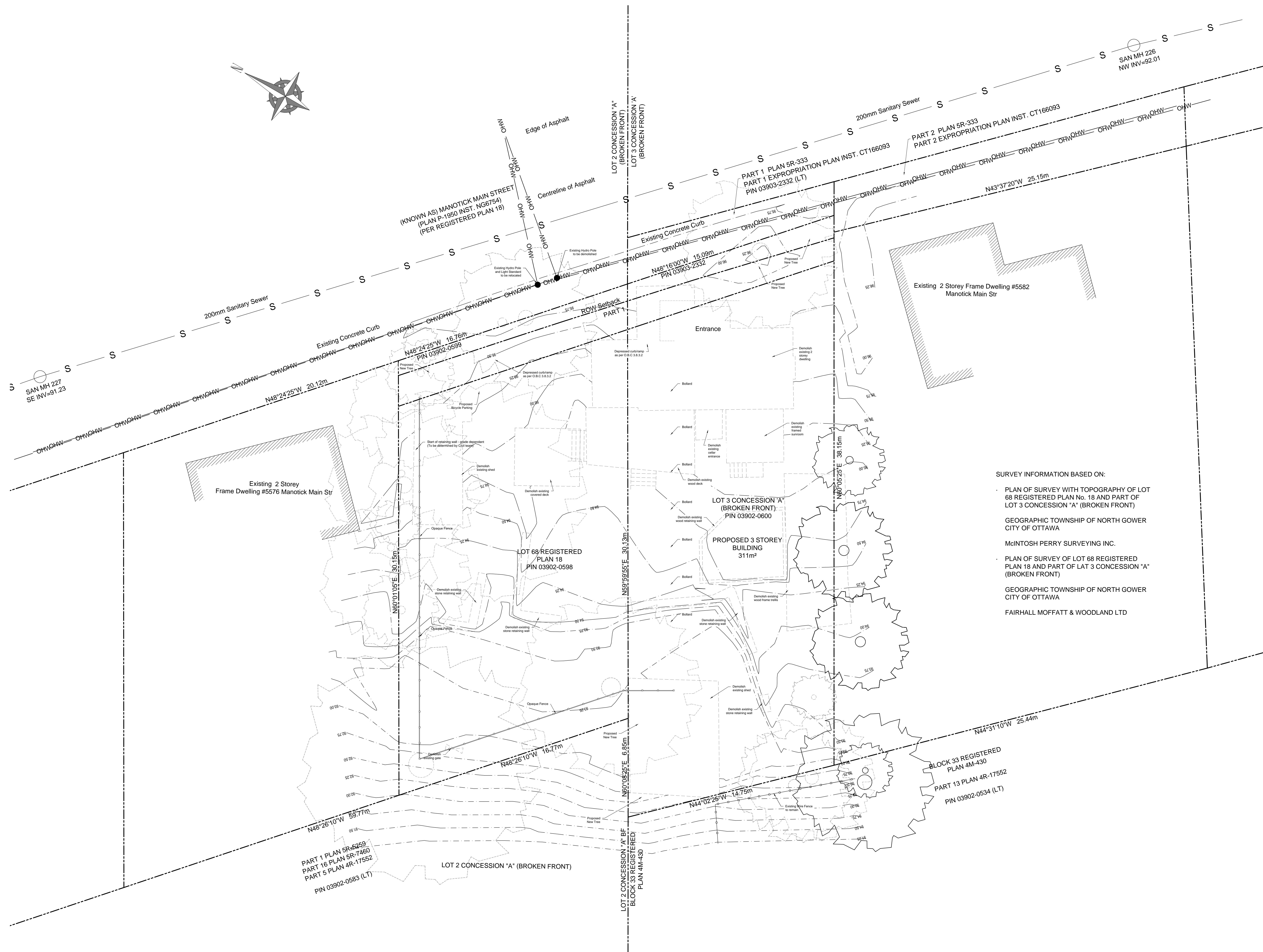
2208

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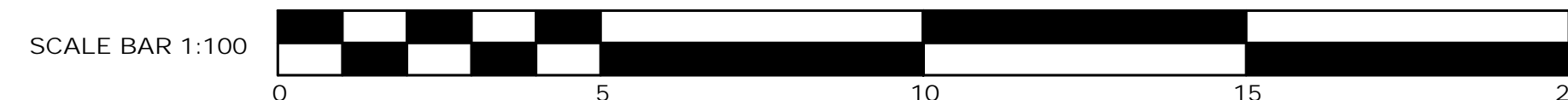
A2

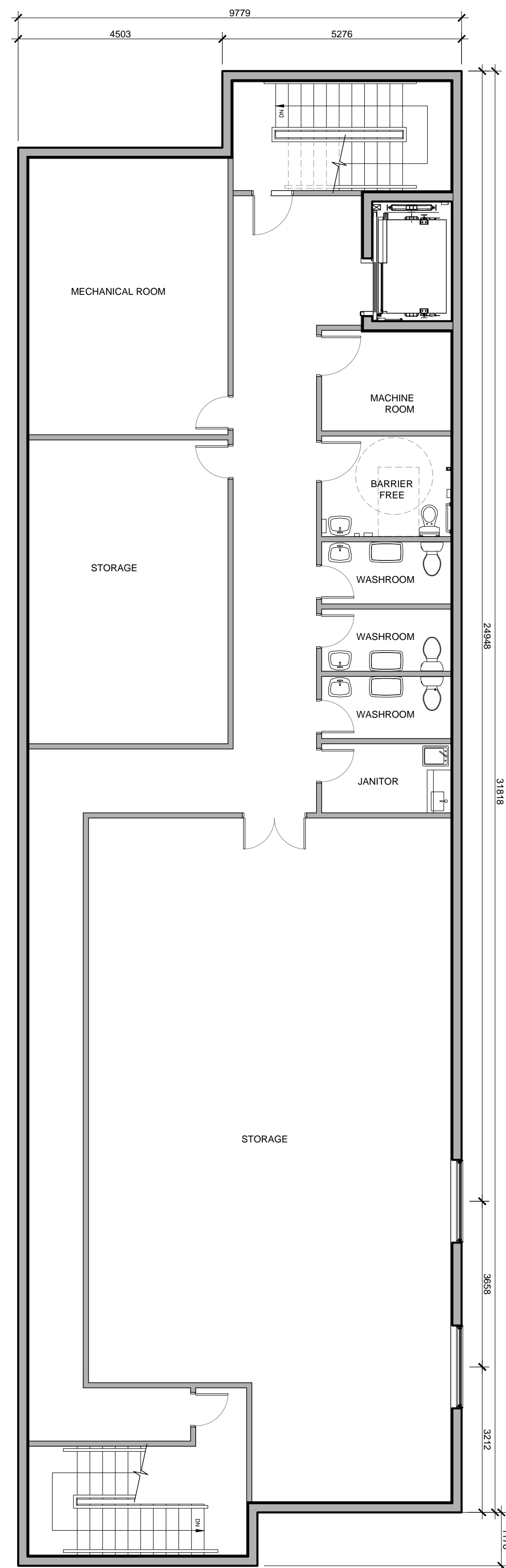
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PLAN # 19254

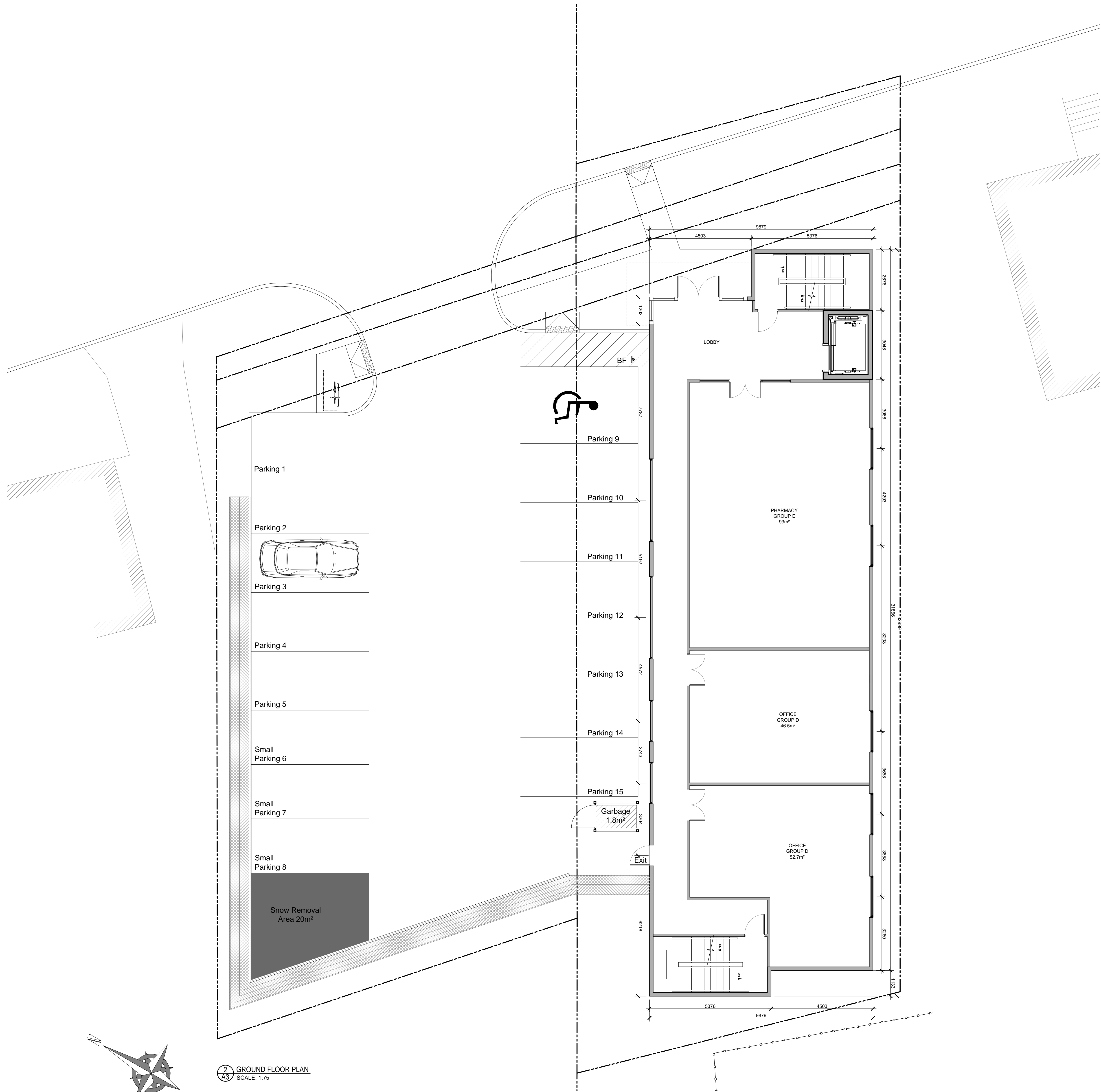


1
A2 PROPOSED SITE DEMOLITION PLAN
SCALE: 1:100





1 BASEMENT PLAN
A3 SCALE: 1:75



2 GROUND FLOOR PLAN
A3 SCALE: 1:75

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DRAWING TITLE:

PROPOSED FLOOR
PLANS

PROJECT:

2208

DWG NO:

A3

FILE NO:

D07-12-25-0022
PLAN # 19254



1 VIEW OF PROPOSED BUILDING FROM MANOTICK MAIN STREET



2 VIEW OF PROPOSED BUILDING FROM MANOTICK MAIN STREET



3 PROPOSED MANOTICK MAIN STREET VIEW



4 PROPOSED NORTH ELEVATION



5 VIEW OF PROPOSED PARKING



6 PROPOSED WEST ELEVATION



7 VIEW OF SOUTH ELEVATION



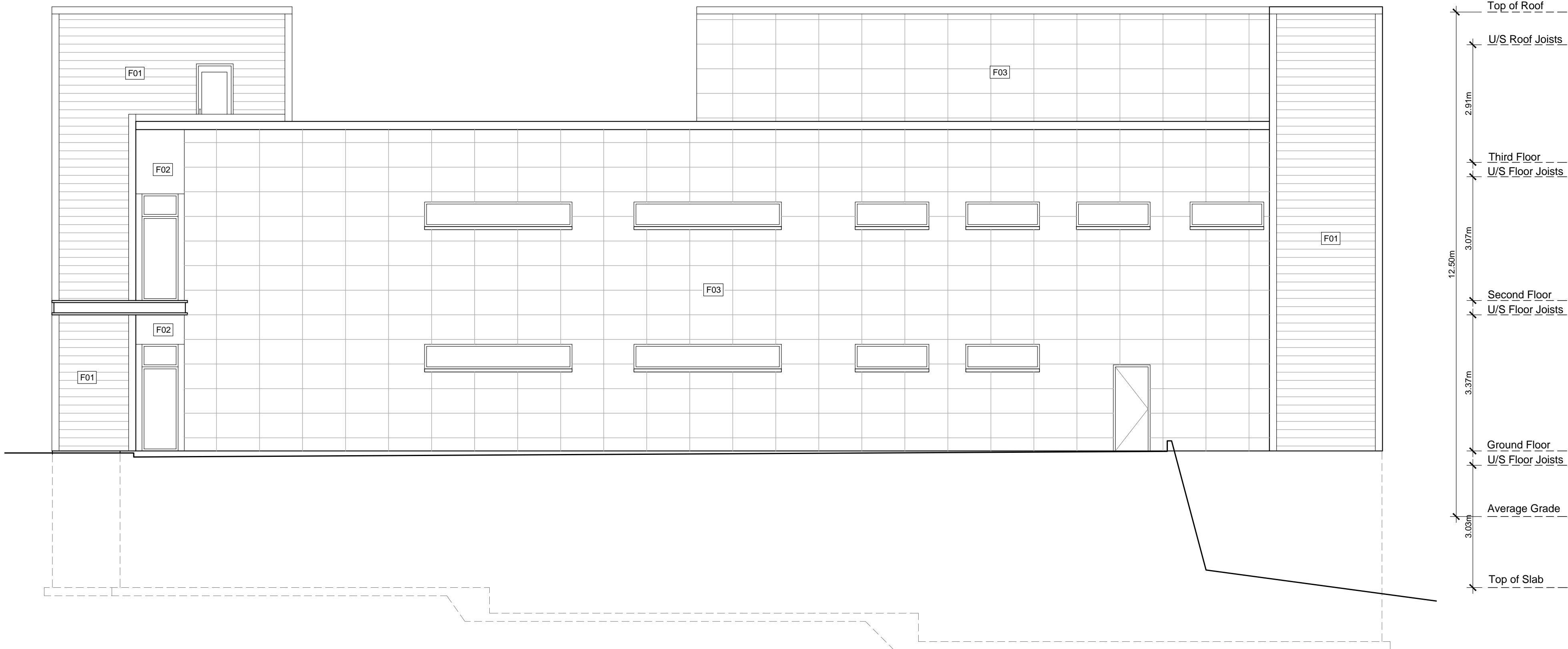
8 PROPOSED ROOFTOP



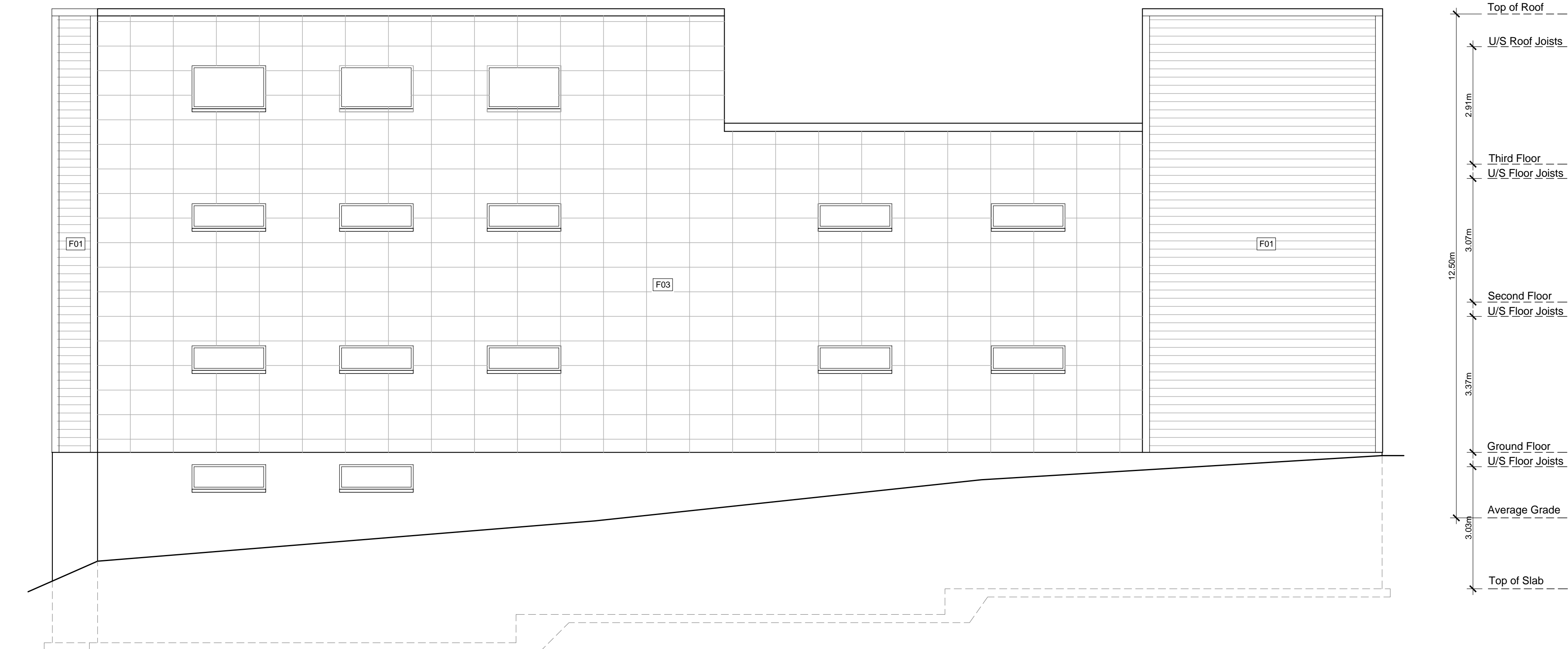
9 VIEW OF PARKING LOT GABION WALL



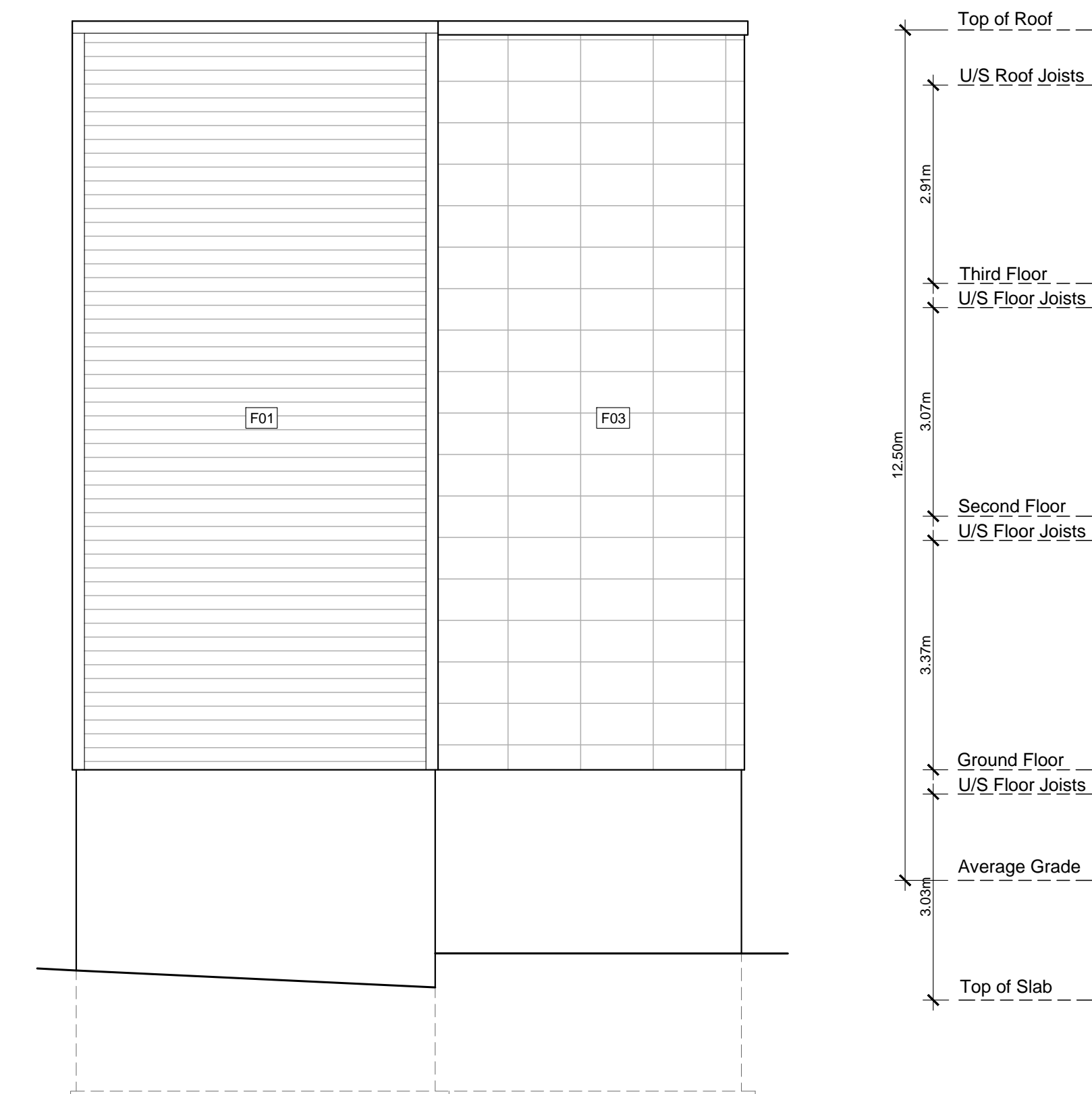
10 VIEW OF PARKING LOT GABION WALL



11 NORTH ELEVATION
SCALE: 1:100



12 SOUTH ELEVATION
SCALE: 1:100



13 WEST ELEVATION
SCALE: 1:100



14 EAST ELEVATION
SCALE: 1:100

FINISH NOTES

All windows to receive bird safe treatment

F01 PVC "Wood-Like" Siding

F02 Aluminium Siding

F03 Fibre Cement Panels - Hardie Panel

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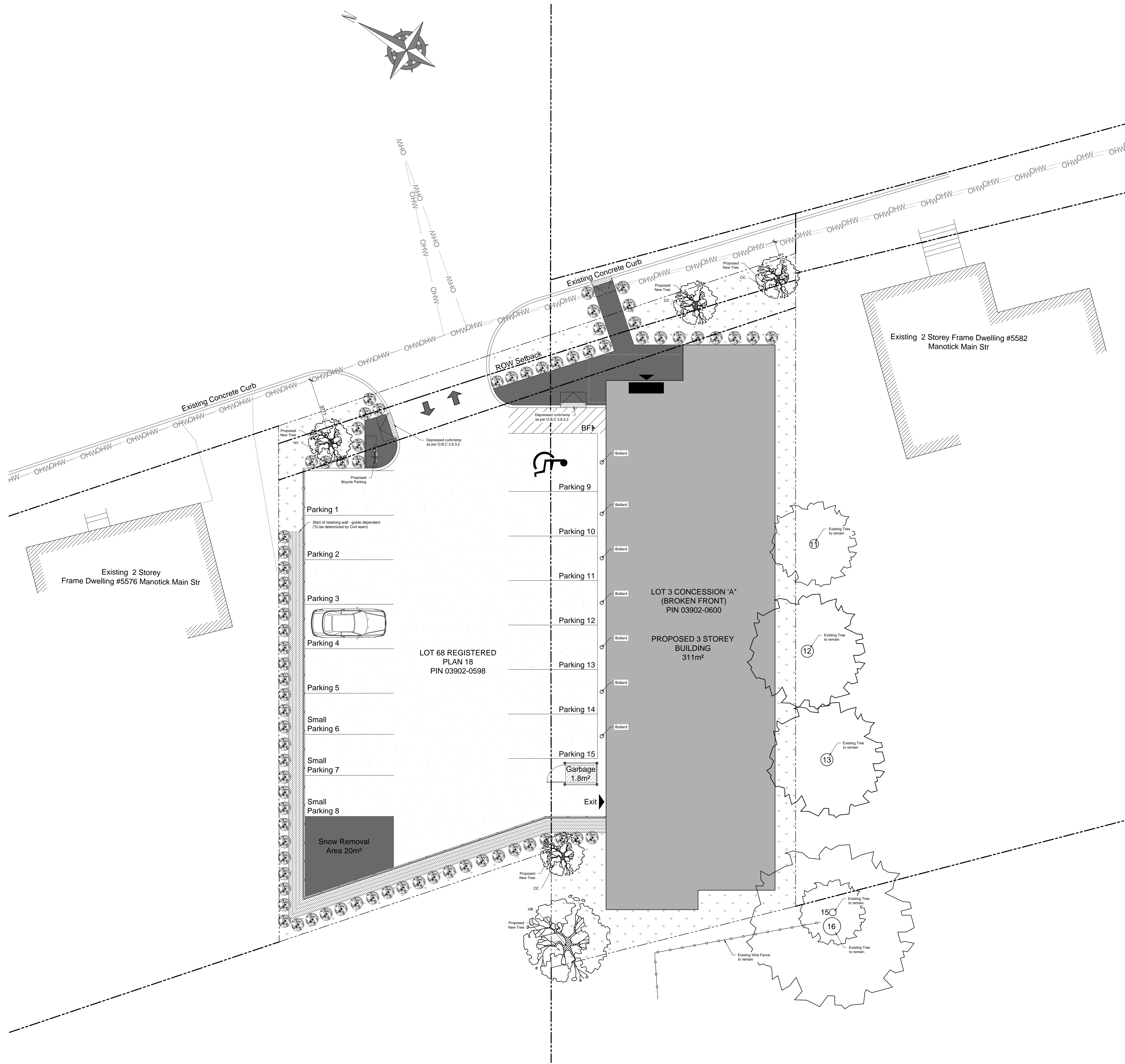
DRAWING TITLE:

PROPOSED ELEVATIONS

PROJECT: DWG NO:

2208 A5

FILE NO:
D07-12-25-0022
PLAN # 19254

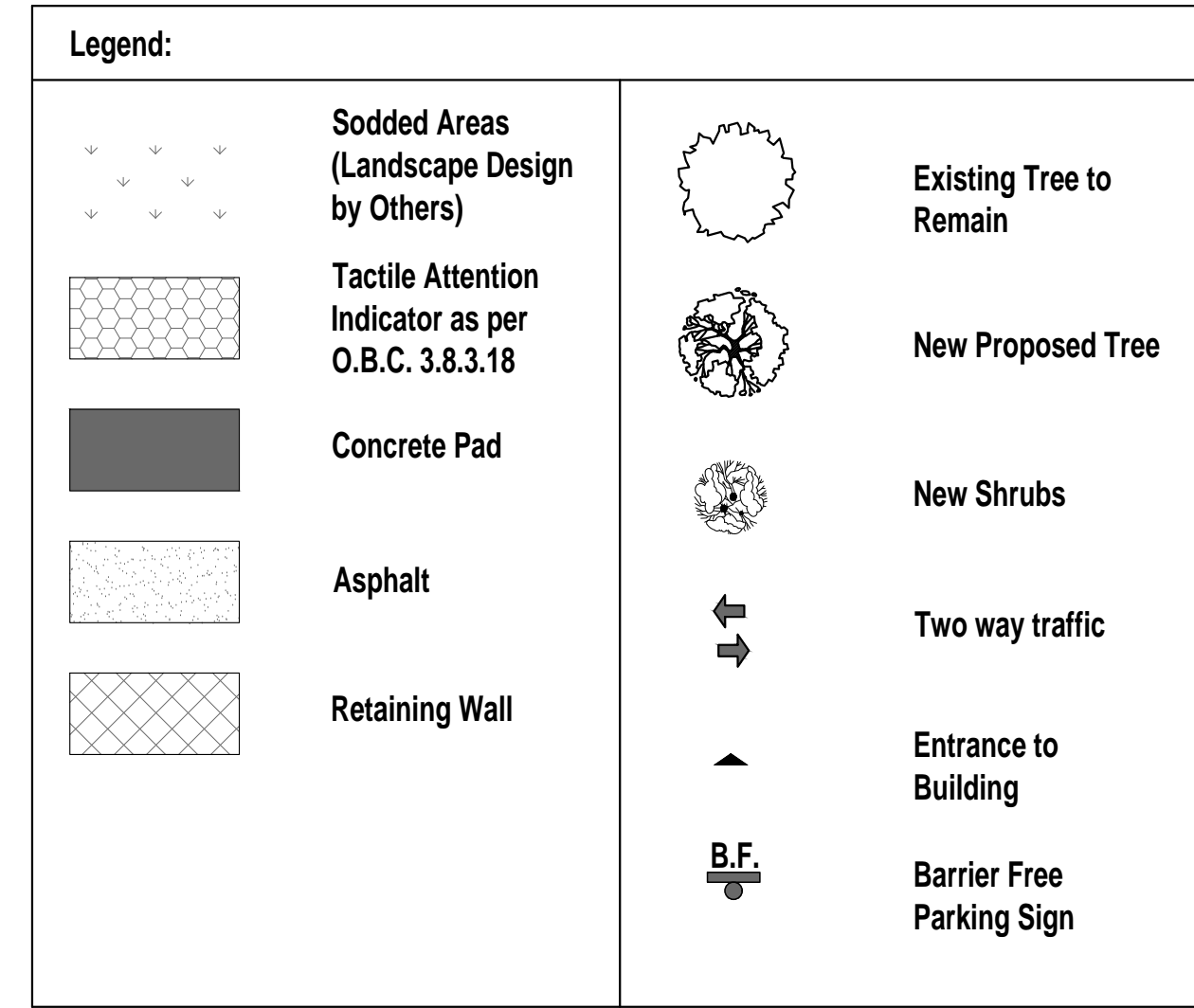


1 LANDSCAPE PLAN
SCALE: 1:100

SCALE BAR 1:100

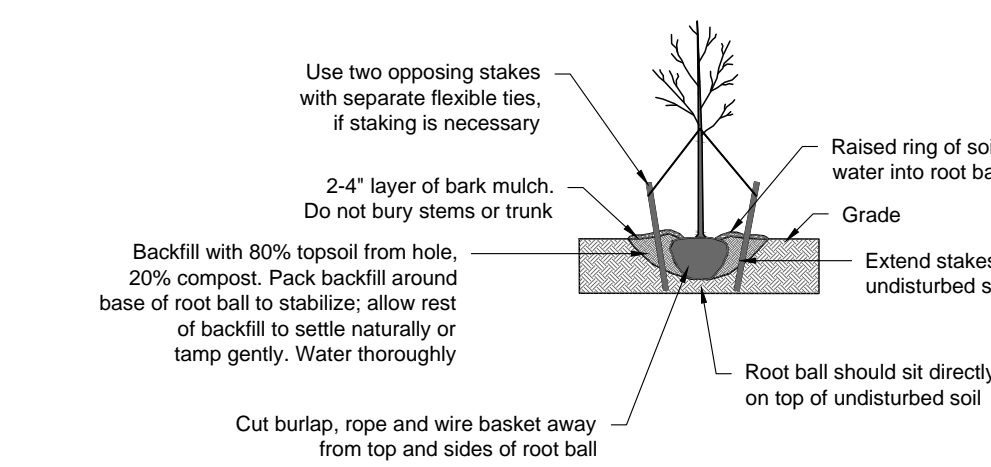


2 LOCATION PLAN

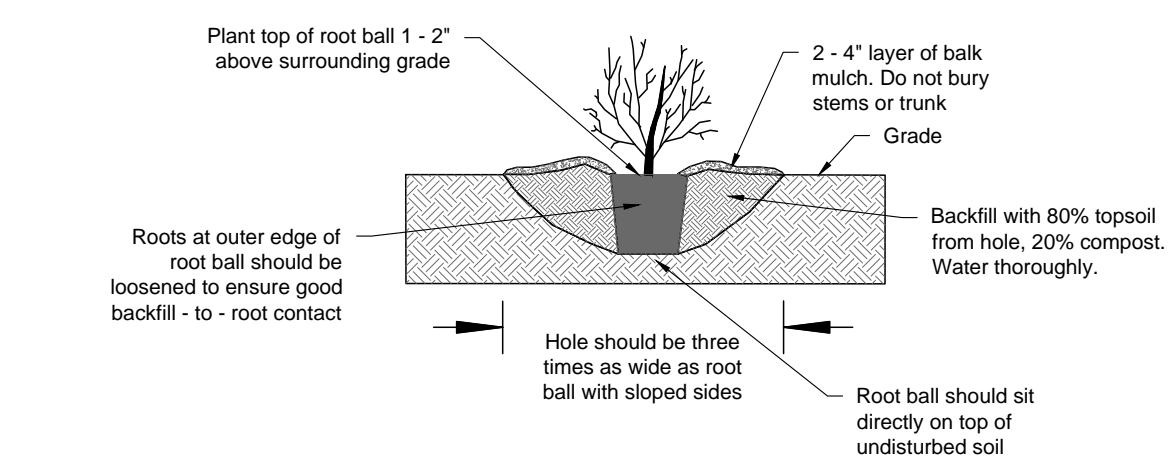


Existing Trees to Remain				
Tree	Species	DBH (cm)	Tree Condition	Forester Recommendation
11	Black Locust (<i>Robinia pseudoacacia</i>)	25	Fair/Poor: grade based around base; wound-possibly cavity	Retain- approximately 1.5m from excavation- any roots encountered are to be clearly severed along the line of excavation
12	Black Locust (<i>Robinia pseudoacacia</i>)	30	Fair/Good: Dead branches in canopy; pruning wounds	Retain- approximately 1.2m from excavation- any roots encountered are to be clearly severed along the line of excavation
13	Black Locust (<i>Robinia pseudoacacia</i>)	30, 18 (estimate)	Fair/Poor: many dead branches; possible cavity on trunk	Retain- approximately 1.2m from excavation- any roots encountered are to be clearly severed along the line of excavation
15	Manitoba Maple (<i>Acer negundo</i>)	10 (estimate)	Fair/Poor: Heavy lean south; growing into tree 10; sprouts at base; growing on slope	Retain- No action required
16	Black Locust (<i>Robinia pseudoacacia</i>)	40, 30 (estimate)	Poor: very little canopy remaining; leaning to south	Retain- No action required

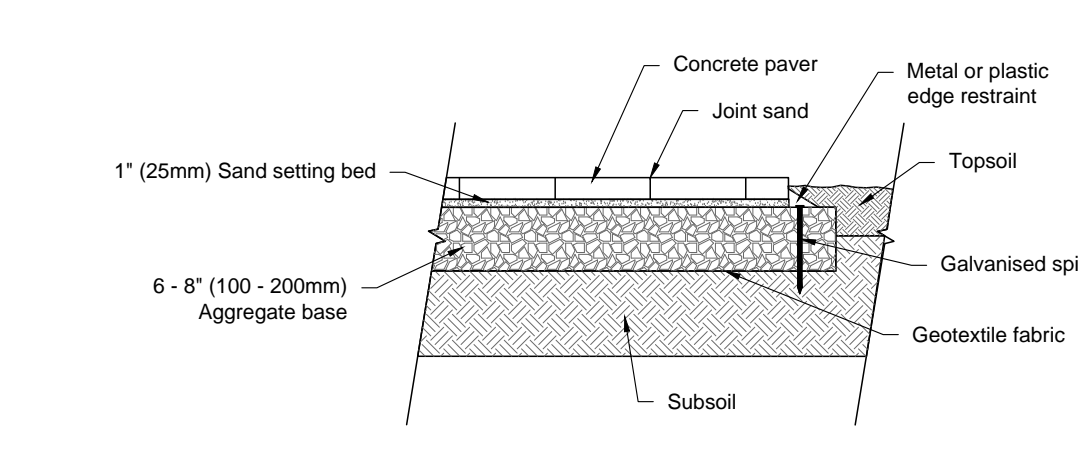
Proposed Plant List				
Tree	Species	Maximum Height (m)	Trunk diameter (cm)	Remarks
CC	Hornbeam (<i>Carpinus Christmanii</i>)	6	25	Native to Ontario
HFV	Witch Hazel (<i>Hamamelis Virginiana</i>)	6-7	15	Native to Ontario
HB	Hickberry (<i>Celtis Occidentalis</i>)	12-25m	50	Native to Ontario



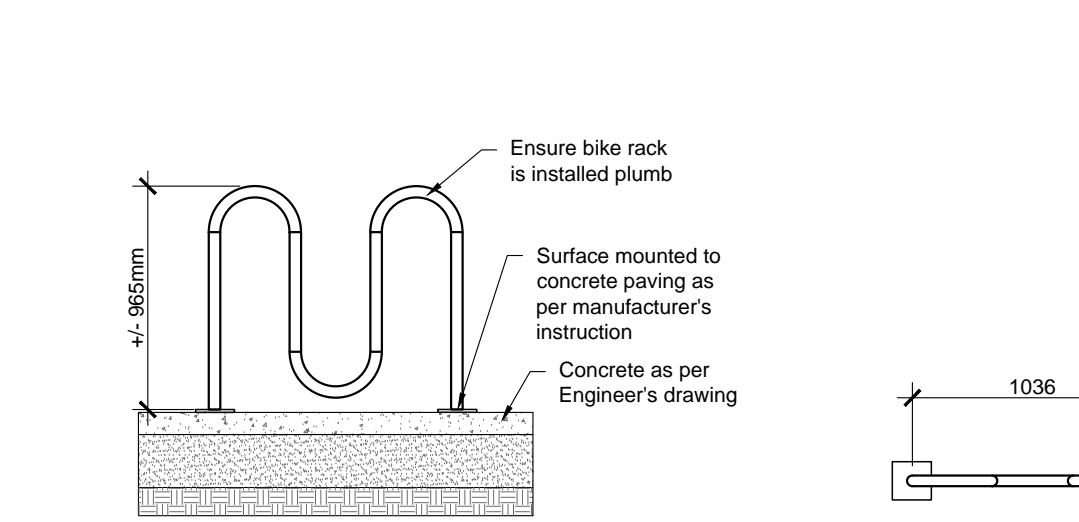
2 Typical Tree Planting Diagram



2 Typical Shrub and Perennial Planting Diagram

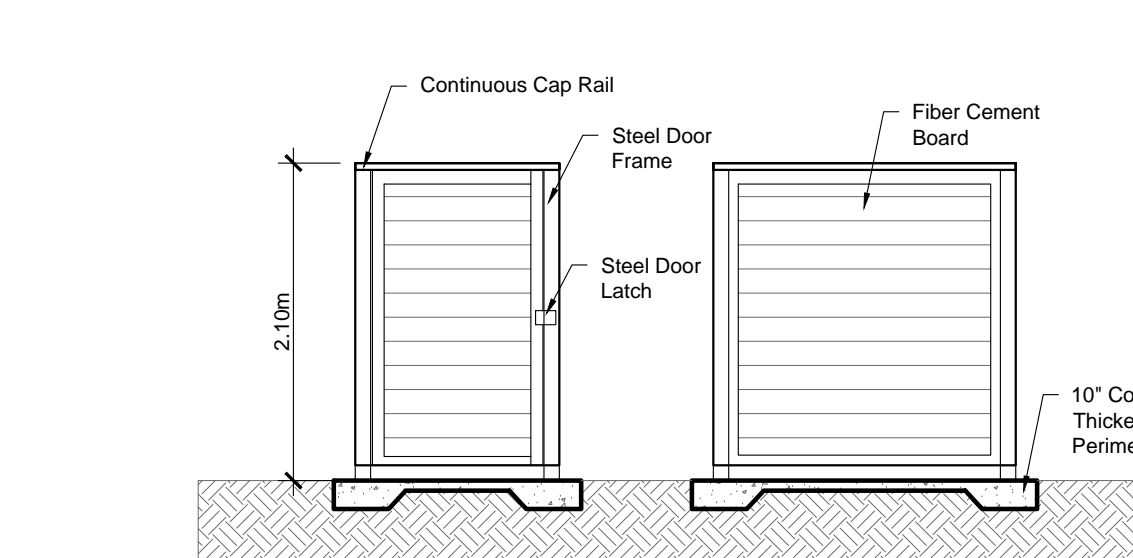


3 Typical Walkway and Patio Paver Cross Section

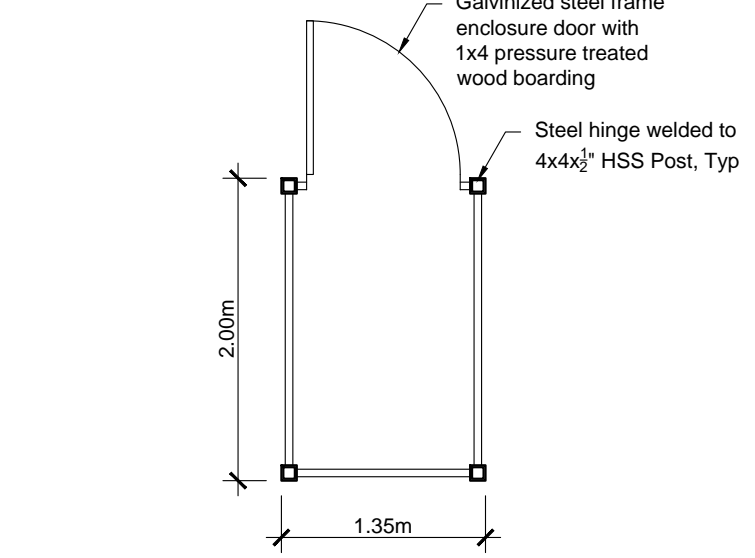


5 BIKE RACK ELEVATION
SCALE: 1:50

4 BIKE RACK PLAN
SCALE: 1:50



6 GARBAGE ELEVATION
SCALE: 1:50



7 GARBAGE PLAN
SCALE: 1:50

LANDSCAPING NOTES

- All disturbed soft landscape area to be seeded unless otherwise indicated.
- For sidewalks, curbs and parking, refer to Engineer's drawings.
- It is the responsibility of the appropriate contractor or official to report any errors, omissions or discrepancies on this plan with actual site conditions to the architect before proceeding with construction.
- The contractor is to notify all utility companies and authorities prior to any excavation and ascertain locations of underground services.
- The contractor is to restate all areas and items damaged as a result of construction activity.
- The contractor is to comply with all pertinent codes and by-laws.
- The contractor is to maintain a positive surface run-off throughout the entire construction period.
- The architect is not responsible for subsurface conditions.
- The contractor is to identify all existing trees to remain on site with the affected prior to construction.
- All trees within 1m of underground utility trenches are to be encircled by hand.
- Remove all protective wrapping from tree trunks after installation.
- Staking of trees shall only be performed if necessary.
- Ensure that mulch is pulled back a minimum distance of 75mm from base of tree trunk.
- The planter bed will comprise of a mixture of deciduous shrubs listed below:
 - Canada Yew (Evergreen) - Taxus Canadensis
 - Chokeberry - Aronia melanocarpa (also known as Prunella melanocarpa)
 - High Bush Cranberry - Viburnum cuneatum
 - Nannyberry - Viburnum Opulus var. Ancestrum (also known as V. Tricatum, V. Ancestrum, or V. Lentago)
 - Purple-flowered Raspberry (large, showy flowers and leaves) - Rubus Obovatus

40 Year Canopy Cover
100% for Site Area
4 Small trees = 7m² per tree
1 Large Tree = 110m² per tree
= 138m²
= 13.8% canopy cover

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1	Issued for Site Plan Application	19 Feb 2025
2	Issued for design review	01 Aug 2025
3	Issued for Coordination	30 Oct 2025

SITE ADDRESS:

5580 Manotick Main Str
Manotick
ON K4M 1E2

APPLICANT:

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Arcadis Professional Services (Canada) Inc.
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OWNER INFORMATION:

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ARCHITECT:

IGNITE
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533 Landswood Way
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Phone: 613 - 912 - 1832
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ENGINEERS:

Capacity Engineering Limited
LTD.
www.ceiottawa.ca
505 March Rd, Suite 400,
Ottawa ON K2K 3A4

LRJ
5430 Canoeak Rd., Ottawa ON K1J 9G2
www.lrt.ca 613-842-3434

SURVEYORS:

McINTOSH PERRY
SURVEYING INC.
NOW KNOWN AS:

egis
3240 Drummond Con. 5A, R.R. 7,
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100-600 Terry Fox Dr., Kanata, ON K2L 4B6
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DRAWING TITLE:

PROPOSED LANDSCAPE PLAN

PROJECT: DWG NO:

2208 A6

FILE NO:
D07-12-25-0022
PLAN # 19254