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Legend

99.99	ORIGINAL GROUND ELEVATION
99.99	PROPOSED ELEVATION
99.99	PROPOSED LOT CORNER ELEVATION
2.0%	EXISTING ELEVATION AT LOT CORNER
FFE=97.00	FLOW DIRECTION AND GRADE
TF=97.00	FINISHED FIRST FLOOR ELEVATION
BF=97.00	TOP OF FOUNDATION ELEVATION
USF=97.00	BASEMENT FLOOR ELEVATION
MUF=97.00	(*)MITIGATED UNDERSIDE OF FOOTING ELEVATION
3:1	FOOTING SEGMENT SUBJECT TO TREE PROTECTION MITIGATION. REFER TO GEOTECHNICAL REPORT PG7353-1, MEMO 01
3:1	TERRACING 3:1 SLOPE MAXIMUM (UNLESS OTHERWISE SHOWN)
3:1	DIRECTION OF OVERLAND FLOW
3:1	PROPOSED VALVE BOX
3:1	PROPOSED VALVE CHAMBER
3:1	PROPOSED FIRE HYDRANT
3:1	PROPOSED SANITARY SEWER MANHOLE
3:1	PROPOSED STORM SEWER MANHOLE
3:1	PROPOSED CATCHBASIN MANHOLE
3:1	PROPOSED DEPRESSION CURB LOCATION
3:1	PROPOSED BARRIER CURB
3:1	HEAVY DUTY ASPHALT
3:1	OVERLAND SPILL LOCATION
3:1	TWIS LOCATION AS PER CITY STD
3:1	EXISTING LOT SIDE OVERLAND FLOW ROUTE
3:1	EXISTING ROADSIDE OVERLAND FLOW ROUTE
3:1	PROPOSED MOUNTABLE/BARRIER CURB TRANSITIONS

Notes

- TOPOGRAPHIC SURVEY SUPPLIED BY J.D. BARNES LTD. DATED APRIL 24, 2025.
- SITE PLAN PREPARED BY KORSBAK URBAN PLANNING, DATED 2025-09-30. TITLED: SITE PLAN, DRAWING NO. A.
- REFER TO GEOTECHNICAL REPORT PG7353-1, MEMO 01 (DATED OCTOBER 30, 2025) FOR TREE PROTECTION RECOMMENDATIONS AND MITIGATION RELATED TO PROPOSED BUILDING FOUNDATIONS.
- MUF MITIGATED UNDERSIDE OF FOOTING: REPRESENTS THE MAXIMUM ALLOWABLE USF ELEVATION FOR FOUNDATIONS WITHIN 10m OF PROPOSED TREES. USE MUF ELEVATIONS TO SET SANITARY, STORM AND WATER SERVICES INFRASTRUCTURE AT THESE LOCATIONS. FOR ALL OTHER AREAS, USE THE STANDARD USF ELEVATIONS SHOWN ON THE DRAWINGS.
- ACCESS LANES AND LOCAL ROADWAYS: 40mm HLB OR SUPERPAVE 12.5 ASPHALTIC CONCRETE 50mm HLB OR SUPERPAVE 18.5 ASPHALTIC CONCRETE 100mm OPSS GRANULAR A BASE 400mm OPSS GRANULAR B TYPE I OR II CAR ONLY PARKING AREAS 50mm HLB OR SUPERPAVE 12.5 ASPHALTIC CONCRETE 100mm OPSS GRANULAR A BASE 300mm OPSS GRANULAR B TYPE I OR II
- GRADING RELATIONSHIPS: SEE TOWNSHIP FFE: TFW = 0.3m FFE: USF = 2.88m FFE: USF = 2.88m FFE: TFW = 0.3m FFE: USF = 2.33m

Revision	By	Appd.	YY.MM.DD
4 REVISED W3 CHAMBER	JP	PM	25.11.25
3 ISSUED FOR CITY REVIEW	JP	PM	25.11.03
2 ISSUED FOR CITY REVIEW	JP	PM	25.07.04
1 ISSUED FOR CITY REVIEW	JP	PM	25.04.04

File Name:	JP	PM	JP	25.03.24
160402127-08	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal



Client/Project

MATTAMY HOMES

WATERIDGE VILLAGE
BLOCK 105
OTTAWA, ON, CANADA

Title

GRADING PLAN

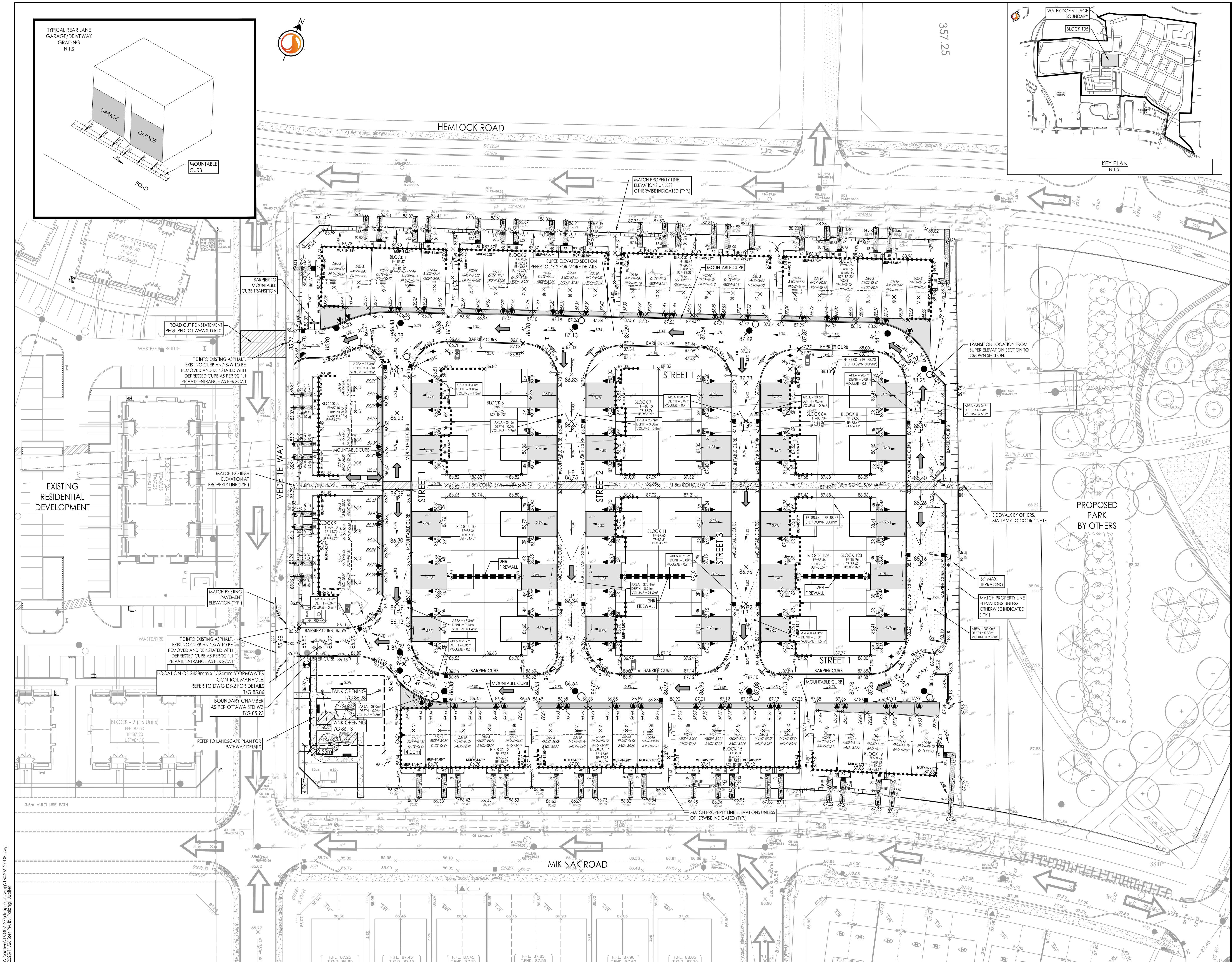
Project No.	Scale	0	4	12	20m
160402127	1:400				
Drawing No.	Sheet	Revision			
GP-1	4 of 11	4			

GP-1

4 of 11

4

PLAN # 19303



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2025/11/25 14:16:16 J.D. Barnes Ltd. 160402127-08.dwg