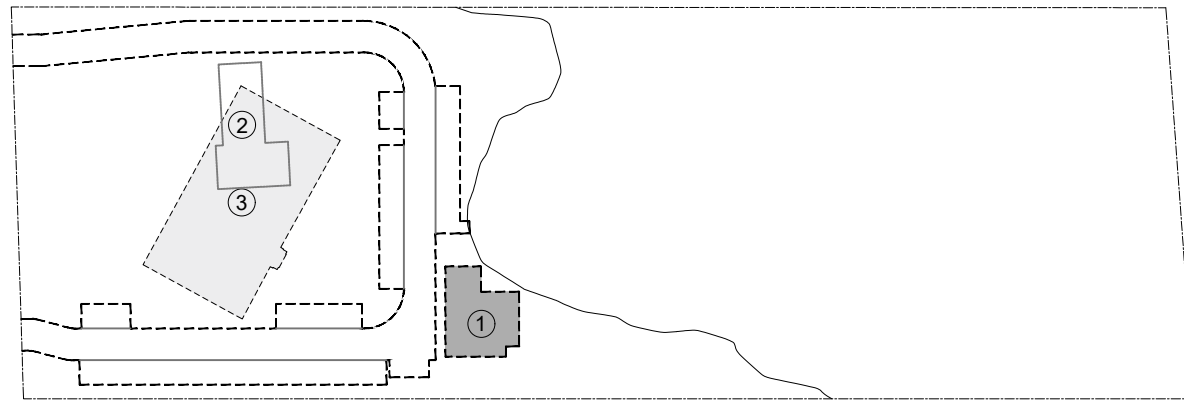


2104 Roger Stevens	R13 [608r]	S. 1A - Area D (Rural)	S. 58 - Floodplain overlay	Official Plan - S. B9	Rural Transect - Village	Temple GFA 2,013 m ² Priest Residence GFA 551 m ² Temple Assembly Area GFA 1,067.74 m ²
General Provisions		Section	Required		Proposed	
Permitted uses*		S. 240 [608r]	School, Place of Worship, or Dwelling unit accessory to these uses		Place of Worship, Dwelling unit	
Min. lot area (sq. m)		Table 224A, (a)	10,000 m ²		20,395 m ²	
Min. lot width (m)		Table 224A, (b)	75 m		82.95 m	
Max. building height (m)		Table 224A, (g)	12 m		8.53 m (Temple), 9.50m (Priest Residence)	
Min. front yard setback (m)		Table 224A, (c)	9 m		26.20 m	
Min. rear yard setback (m)		Table 224A, (d)	10 m		140.88 m	
Min. int. side yard setback (m)		Table 224A, (e)	9 m		16.69 m (east), 9 m (west)	
Max. lot coverage (%)		Table 224A, (h)	30% lot area = 6,118.50 m ²		6% lot area = 1,309.56 m ²	
Min. landscaped area (%)		Table 224A, (i)	20% lot area = 4,079 m ²		94% lot area = 19,085.44 m ²	
* 608r exception						
Parking Provisions		Section	Required		Proposed	
Place of Worship		Table 101, N66	10 spaces / 100 m ² of assembly area GFA = 107 Spaces		60 spaces	MV REQUIRED
Dwelling unit		Table 101, R4	1 space		1 space	
Parking space size		S. 106, (1)	2.6 m x 5.2 m		2.6 m x 5.2 m	
B/F parking (included in total)		AODA, S. 80.36	4% of the total provided spaces = 2 spaces		3 spaces (2 type A, 1 type B)	
Type A parking space dimensions		AODA, S. 80.34 (1)	3.4 m x 5.2 m (plus 1.5 m aisle)		3.4 m x 5.2 m with 1.5 m shared aisle	
Type B parking space dimensions		AODA, S. 80.34 (2)	2.4 m x 5.2 m (plus 1.5 m aisle)		2.4 m x 5.2 m with 1.5 m shared aisle	
Min. drive aisle width (m)		S. 107, (1) (d)	6.7 m		6.7 m	
Min. driveway width (m)		S. 107, (1) (a)	3 m - single lane; 6 m - double lane		6.7 m	
Min. landscaped area for parking lots (%)		S. 110, (1)	15% (322.32 m ²)		24% (757.31 m ²)	
Min. landscaped buffer for parking lot (m)		Table 110, (1)	3 m abutting street; 1.5 m not abutting street		11.94 abutting a street; 3.02 not abutting street	
Min. setback for outdoor refuse (in-ground container)		S. 110, (3)	9 m from a lot line abutting a public street 3 m from any other lot line		77.71 m from a lot line abutting a public street 4.57 m from any other lot line	
			Screened by soft landscaping 2 m in height		Screened by soft landscaping 1.8 m in height	
Permitted parking lot material		S. 100, (3) (b)	gravel; B/F spaces must be hard and stable		Asphalt, interlock pavers	
Min. number of bike parking spaces		Table 111A, (f)	1 space / 1,500 m ² GFA = 1 Space		3 spaces	
Min. number of loading spaces		Table 113A, (a)	1 space if 2,000 - 4,999 m ² of GFA = 1 Space		0 spaces	MV REQUIRED

PHASING DIAGRAM:



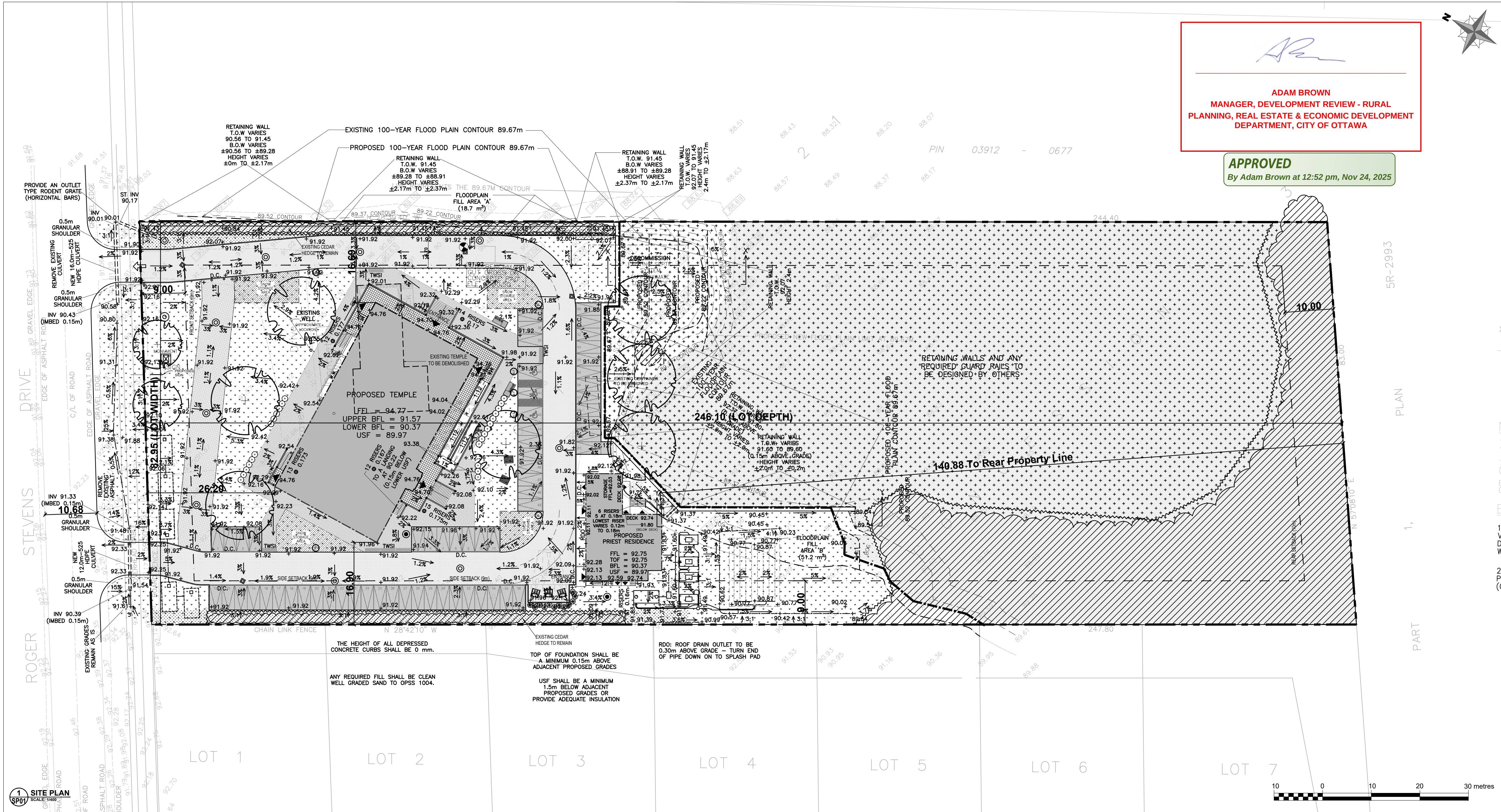
- PHASE 1 - CONSTRUCTION OF A TWO STOREY BUILDING (TEMPORARY TEMPLE / PRIEST RESIDENCE) DRIVEWAY / PARKING)
- PHASE 2 - DEMOLITION OF THE OF EXISTING BUILDING
- PHASE 3 - CONSTRUCTION OF A ONE STOREY BUILDING - TEMPLE

LEGEND:

INTERNAL ROAD / FIRE ROUTE	
S.O.D.	
SNOW STORAGE AREA	
PERMEABLE PARKING AREA	
TERRACES	
PROPOSED BUILDING	
PROPOSED WALKWAY	
LIMIT OF SITE DEVELOPMENT	
SETBACK LINE	
PROPERTY LINE	
150mm BARRIER CURB	
DEPRESSED CURB	
	D.C.

SANITARY MANHOLE	
STORM / CATCH BASIN MANHOLE	
CATCH BASIN	
BARRIER FREE CAR PARKING SPACES TYPE A (3.4 x 5.2 m) TYPE B (2.4 x 5.2 m) ACCESS AISLE (1.5 x 5.2 m)	
CAR PARKING SPACES	
BIKES PARKING SPACE	
MOLOK BIN (REFER TO SP05 FOR MORE INFORMATION)	

SHRUB / BUSHES	
EXISTING VEGETATION	
PROPOSED TREES	
EXISTING TREE TO REMAIN	
EXISTING STATUE	
ACCESSIBLE BENCH WITH CONCRETE PAD	
PROPOSED PICNIC TABLE	
BARRIER FREE CAR PARKING SIGN (REFER TO SP05 FOR MORE INFORMATION)	
FIRE LANE SIGN (REFER TO SP05 FOR MORE INFORMATION)	
TEMPORARY BOLLARD IN-PLACE IN NON-FESTIVAL TIME	



ADAM BROWN
MANAGER, DEVELOPMENT REVIEW - RURAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Adam Brown at 12:52 pm, Nov 24, 2025

OWNER NAME & ADDRESS
Vallavambiga Sri Tatyaynayaki Sametha
Vaihiyanathan Swamy Koli Inc.
Kugendran Sabaratnam
2104 Roger Stevens Rd North Gower, ON, K0A 2T0

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APPLICANT AND DESIGNER
P-SQUARED CONCEPTS INC.

PROJECT TEAM (ENGINEERS)
PATERSON GROUP
CIMAX
D.B. Gray Engineering Inc.

James B. Lemox & Associates Inc.
LANDSCAPE ARCHITECTS

PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM
J.D. BARNES LIMITED
62 STACIE DRIVE, SUITE 103,
KANATA, ON K2K 2A9
(613) 731-7244

TOPOGRAPHIC PLAN OF
PART OF LOT 21
CONCESSION 3
GEOGRAPHIC TOWNSHIP OF NORTH GOWER
NOW IN THE
CITY OF OTTAWA

BENCHMARK NOTE
1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARK HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.
2. ELEVATIONS ARE GEODETIC AND REFERRED TO PUBLISHED CONTROL POINT 01019791716 HAVING A PUBLISHED ELEVATION OF 91.214 METRES (GVD28-78 DATUM)

4	ISSUED FOR SITE PLAN CONTROL	2025-10-28
3	APPROVAL ISSUED FOR SITE PLAN CONTROL	2025-07-29
2	SUBMISSION ISSUED FOR SITE PLAN CONTROL	2025-06-20
1	SUBMISSION ISSUED FOR SITE PLAN CONTROL	2025-04-17

No.	REVISIONS	DATE
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NOT AUTHENTIC UNLESS SIGNED AND DATED

P² concepts
2001 HURON ST. UNIT 205
OTTAWA, ONTARIO, K1G 4E1

DESIGNED BY: S.A. DRAWN BY: P.S. APPROVED BY: P.R.

PROJECT

NEW OTTAWA SIVAN TEMPLE

DRAWING TITLE

SITE PLAN

PROJECT NO.
0399

DATE
OCT 28, 2025

SP01