

AMENITY AREA (m²)	INTERIOR	EXTERIOR	TOTAL
LEVEL 1A (GROUND)	162 LOUNGE 7.4 PET WASH	78.6 TERRACES	248
LEVEL 1B	61 LOUNGE		61
LEVEL 1C	167 GYM	28 TERRACE	195
TOTAL	397.4	106.6	504

SITE PLAN KEYNOTES:

- EXISTING SIDEWALK TO REMAIN
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING CURB TO REMAIN
- EXISTING SIGN TO REMAIN
- EXISTING LANDSCAPING TO REMAIN.
- RELOCATE EXISTING CHURCH FACADE TO NEW LOCATION
- VENTED CISTERN LID
- NEW CONCRETE SIDEWALK PER CIVIL
- REINSTATE TOP SOIL AND GRASS IN BETWEEN ROAD AND SIDEWALK AT AREAS EFFECTED BY CONSTRUCTION
- NEW CURB PER CIVIL
- REINSTATE EXISTING ROAD ASSEMBLY PER CIVIL AT AREAS EFFECTED BY DEMOLITION AND CONSTRUCTIONS. PROVIDE SMOOTH TRANSITION TO EXISTING PAVING.
- BACKFILL TRENCHES AS REQUIRED PER CIVIL AND GEOTECHNICAL.
- RELOCATE EXISTING FIRE HYDRANT PER CIVIL.
- NEW DRIVEWAY PER CIVIL
- NEW CURB WALL PER CIVIL
- OVERHEAD DOOR TO UNDERGROUND PARKING
- WOOD PRIVACY FENCE PER LANDSCAPING
- TERMINATE WOOD PRIVACY FENCE FLUSH TO THE RETAINING WALL PER LANDSCAPING
- PEDESTRIAN GATE
- WALKWAY PER LANDSCAPING
- PATIO PER LANDSCAPING
- PLANTS PER LANDSCAPING
- VAULT
- RAISED PLANTER WALL PER LANDSCAPING
- STEPBACK AT LEVELS 2 TO ROOF
- SETBACK AT LEVEL 1B
- SETBACK AT LEVELS 1C TO ROOF
- DEPRESSED CURB ACROSS ACCESS LANE TO BE COMPLETED AS PER CITY DETAIL SC7.1

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN LEGEND:

- EXISTING BUILDING & SITE ELEMENTS
- NEW BUILDING
- NEW ASPHALT PAVING
- NEW GRASS
- NEW PLANTING BEDS / PLANTS PER LANDSCAPING
- NEW CONCRETE SIDEWALK
- NEW CONCRETE PAD
- NEW RIVER STONE PER LANDSCAPING
- NEW PAVER PER LANDSCAPING
- PROPERTY LINE
- SET BACK LINE
- EXTENT OF PARKING BELOW GRADE
- NEW FENCE PER LANDSCAPE
- EXISTING WATER MAIN TO REMAIN
- NEW WATER MAIN PER CIVIL
- EXISTING SANITARY SEWAGE TO REMAIN
- NEW SANITARY SEWAGE PER CIVIL
- EXISTING STORM SEWAGE TO REMAIN
- NEW STORM SEWAGE PER CIVIL
- EXISTING ELECTRICAL OVERHEAD SERVICE TO REMAIN
- NEW ELECTRICAL OVERHEAD SERVICE PER ELECTRICAL
- EXISTING GAS LINE TO REMAIN
- NEW GAS LINE PER CIVIL
- EXISTING BELL LINE TO REMAIN
- EXISTING ROGER LINE TO REMAIN
- ENTRANCE/ BARRIER-FREE ENTRANCE
- MAIN ENTRANCE
- VEHICLE ACCESS
- NEW AREA DRAIN PER CIVIL
- CATCH BASIN: EXISTING TO REMAIN / NEW PER CIVIL
- MAINTENANCE HOLE: EXISTING TO REMAIN / NEW PER CIVIL
- UTILITY POLE: EXISTING TO REMAIN / NEW PER CIVIL
- VALVE AND VALVE BOX : EXISTING TO REMAIN / NEW PER CIVIL
- LIGHT STANDARD
- NEW FIRE HYDRANT PER CIVIL
- NEW WATER METER PER CIVIL
- NEW REMOTE WATER METER PER CIVIL
- NEW SIAMESE CONNECTION
- NEW DEPRESSED CURB
- NEW TREE PER LANDSCAPING
- EXISTING TREE TO REMAIN
- SHRUB: EXISTING TO REMAIN / NEW PER LANDSCAPING

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9	2025.11.18	REISSUED FOR SPC
8	2025.09.29	REISSUED FOR SPC
7	2025.07.22	ISSUED FOR SPC COMMENT RESPONSE 02
5	2025.06.17	ISSUED FOR SPC AND REZONING COMMENT RESPONSE 02

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NOTES

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- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT



OTTAWA
ONTARIO, CANADA

PROJECT

254 ARGYLE

254 Argyle Avenue, Ottawa, Ontario

TITLE

SITE PLAN

PROJECT NO: 2023-0250
DRAWN: EF / IK
APPROVED: DH
SCALE: As indicated
DATE PRINTED: 2025-11-17 10:52:45 AM

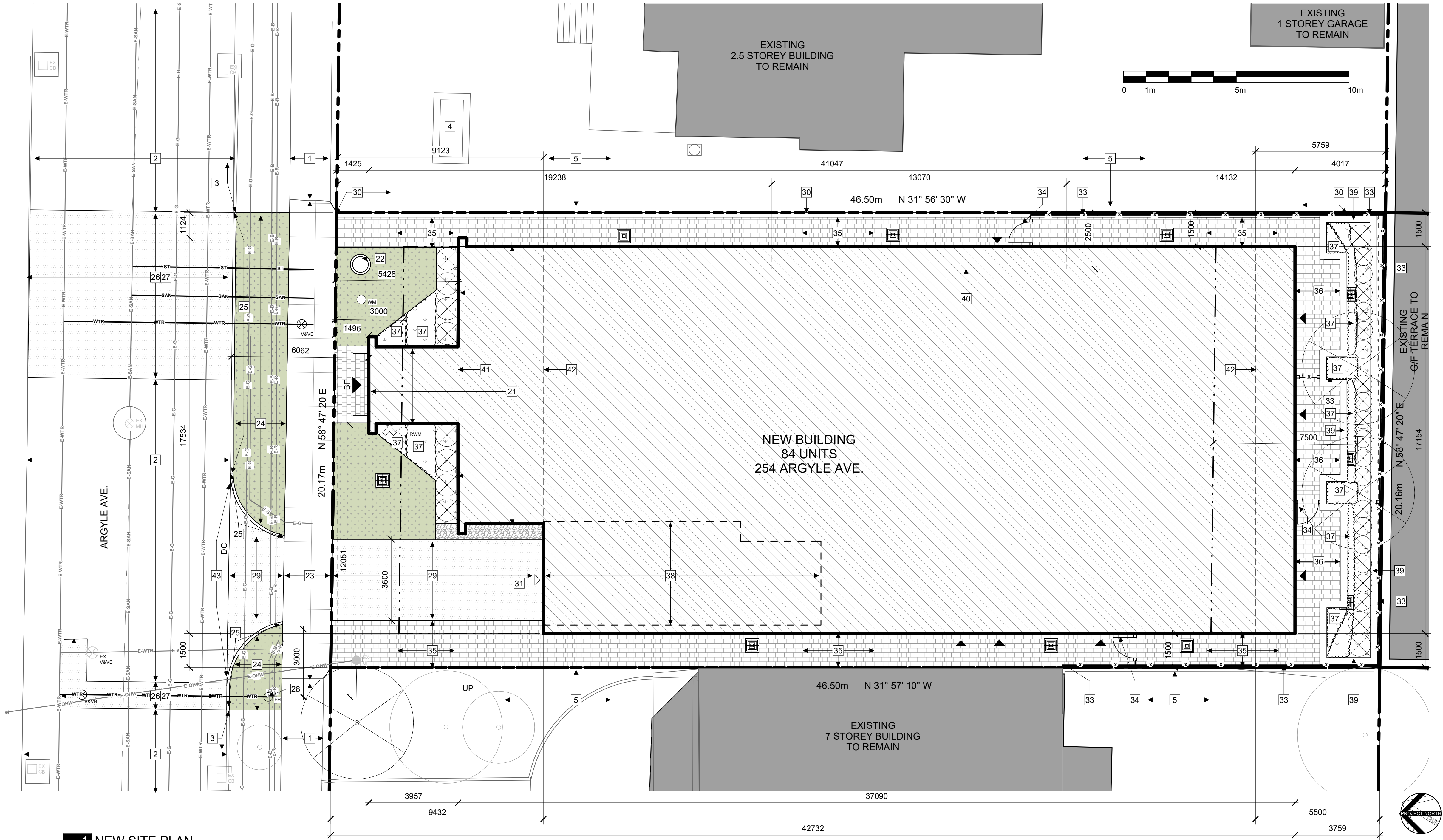
REV

DRAWING NO.

9

A100

#19175



1 NEW SITE PLAN
A100 1:100

LEGAL DESCRIPTION
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA

REFERENCE SURVEY
DRAFT OF TOPOGRAPHIC PLAN OF SURVEY OF
LOT 16 (SOUTH ARGYLE AVENUE)
REGISTERED PLAN 30
CITY OF OTTAWA
PREPARED BY SURVEYED BY ANNIS, O'SULLIVAN,
VOLLEBEKK LTD.

MUNICIPAL ADDRESS
254 ARGYLE AVE. OTTAWA, ON

SITE AREA	937.6m²
GROSS LAND AREA SUBJECT TO DEVELOPMENT	937.6m²
BUILDING AREA	633.56m²
GROSS FLOOR AREA	3,622.0m²
BUILDING HEIGHT	35m 9 STOREYS*
ZONE:	R5B [3039] H(35)
SCHEDULE 1:	AREA B
SCHEDULE 1A:	AREA X

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	20.0m	20.17m
MIN. LOT AREA	675m²	937.05m²
MIN. FRONT YARD SETBACK	1.4m (9m past first storey)	1.42m (9.1m past first storey)
MIN. REAR YARD SETBACK	3.5m (5.5m past first storey)	3.78m (5.5m past first storey)
MIN. INTERIOR YARD SETBACK	1.5m	1.5m
MAX. HEIGHT	35m	34.5m
AMENITY AREA	504m² (6m²/unit)	504m²
LANDSCAPED AREA	262m²	270.94m²

PARKING QUEUING + LOADING	REQUIRED	PROVIDED
RESIDENTIAL SPACES	27	27
VISITOR SPACES	8	8
ACCESSIBLE PARKING	0	2
BICYCLE PARKING	84	84
UNIT TYPES		
EXISTING UNITS	0	
STUDIO	41	
1 BEDROOM	32	
2 BEDROOM	9	
3 BEDROOM	2	
TOTAL	84	
GFA BREAKDOWN		PROVIDED
RESIDENTIAL	3530.7m²	
WINE BAR	91.3m²	
TOTAL	3622.0m²	

FLOOR AREA TABLE (m²)	REQUIRED	PROVIDED
LEVEL		
GROUND FLOOR	124.2	91.3
LEVEL 1B	189.7	0
LEVEL 1C	0	0
LEVELS 2-5	402.1	0
LEVELS 6-9	402.1	0
ROOFTOP	0	0
TOTAL	3530.7	91.3

D02-12-24-0107 D02-02-24-0051