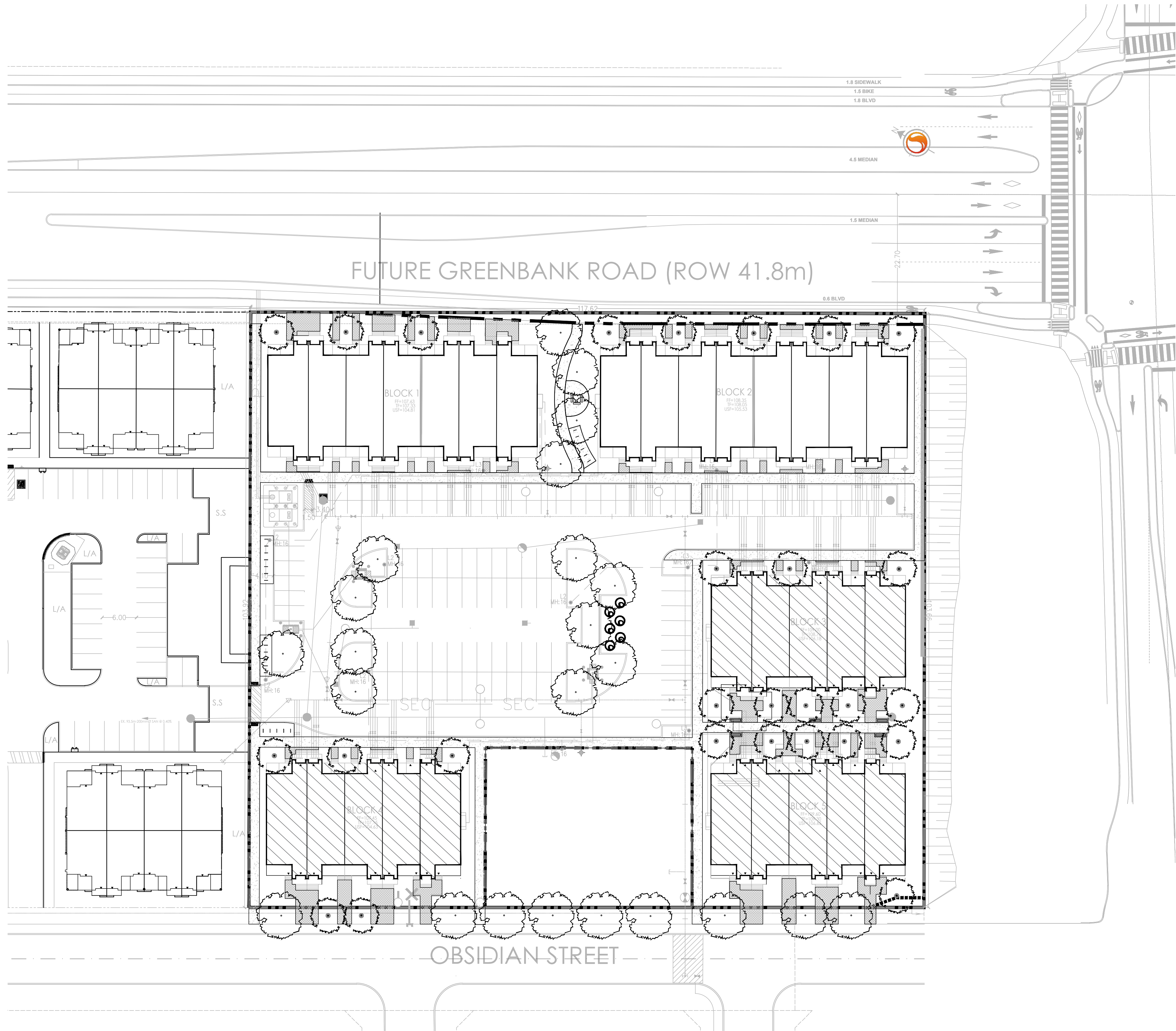


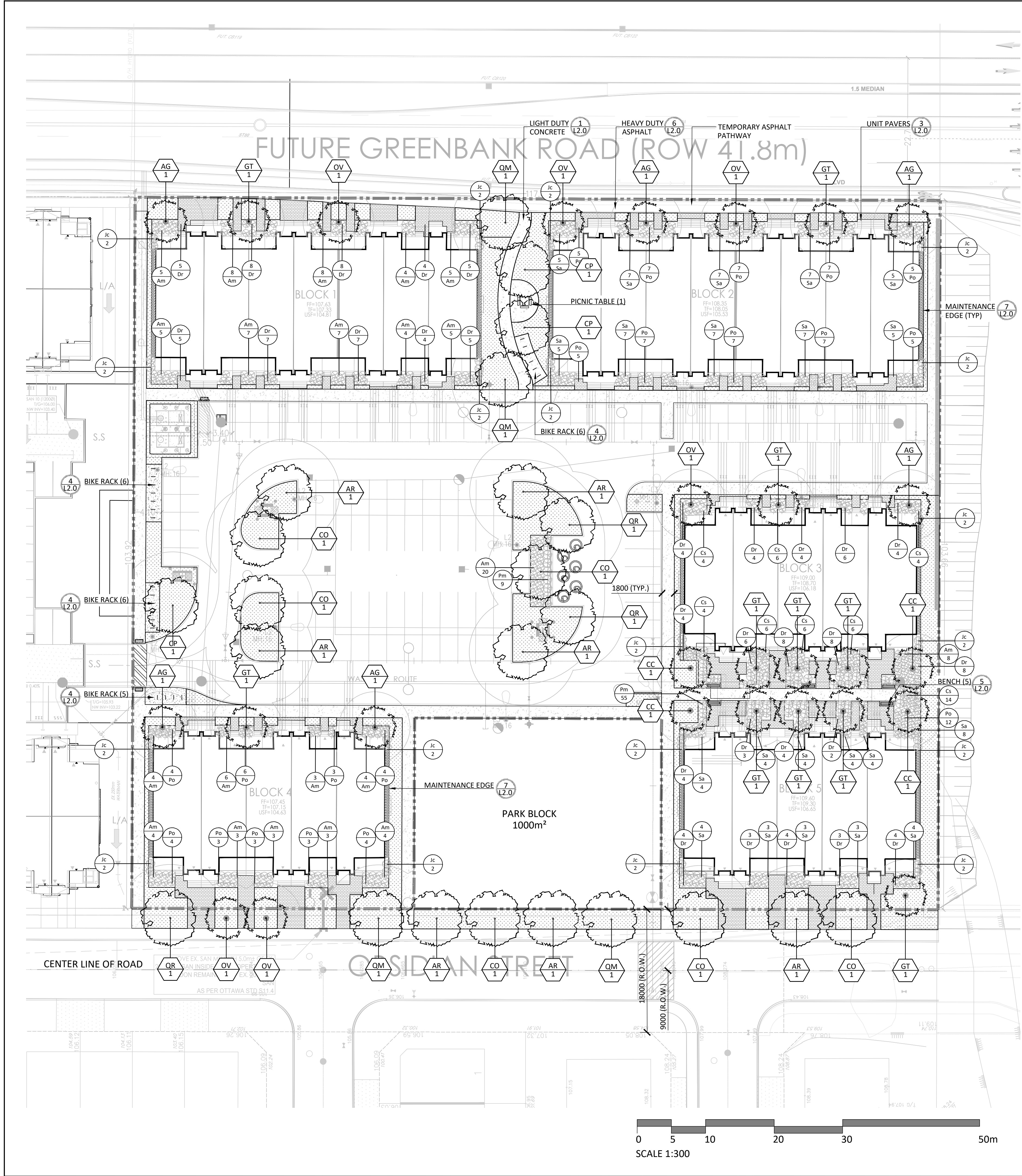
KEYMAP
1:400

COMPANY NAME
PROJECT NAME



LIST OF DRAWINGS:

- L1.0 - LANDSCAPE PLAN
- L2.0 - DETAILS



GENERAL NOTES:

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
- TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
- CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE WARRANTIED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE AND ONLY AFTER APPROVAL OF THE LANDSCAPE ARCHITECT.

NOTES:
THE LANDSCAPE PLAN WAS PREPARED IN CONJUNCTION WITH THE GEOTECHNICAL REPORT PREPARED BY PATERSON GROUP:
PG5690-1 REVISION 1 DATED JULY 15 2021

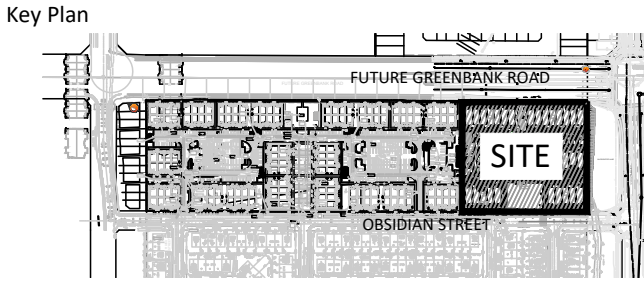
ALL EXISTING SITE INFORMATION AS PER SITE SURVEY PLAN DATED 12/7/2022 AND PREPARED BY J.D. BARNES LTD.

PLANT LIST - TREES, SHRUBS						
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	TYPE	OWNER
LARGE DECIDUOUS TREES						
AR	ACER RUBRUM	RED MAPLES	7	50mm CAL	B&B	PRIVATE/PUBLIC
CO	CELTIS OCCIDENTALIS	HACKBERRY	6	50mm CAL	B&B	PRIVATE/PUBLIC
CP	CATALPA SPECIOSA	NORTHERN CATALPA	3	50mm CAL	B&B	PRIVATE
QM	QUERCUS MACROCARPA	BURR OAK	4	50mm CAL	B&B	PRIVATE/PUBLIC
QR	QUERCUS RUBRA	RED OAK	3	50mm CAL	B&B	PRIVATE
MEDIUM DECIDUOUS TREES						
AG	AESCULUS GLABRA	OHIO BUCKEYE	6	50mm CAL	B&B	PRIVATE/PUBLIC
CC	CERCIS CANADENSIS	EASTERN REDBUD	4	50mm CAL	B&B	PRIVATE
GT	GLEDTISIA TRIACANTHOS 'INERMIS'	HONEY LOCUST	11	50mm CAL	B&B	PRIVATE/PUBLIC
OV	OSTRYA VIRGINIANA	IRONWOOD	6	50mm CAL	B&B	PRIVATE
DECIDUOUS SHRUBS						
Am	ARONIA MELANOCARPA	BLACK CHOKEBERRY	107	3 GAL.	POT	PRIVATE
Cs	CORNUS SANQUINEA 'ARCTIC SUN'	YELLOW DOGWOOD	48	3 GAL.	POT	PRIVATE
Dr	DIERVILLA LONICERA	BUSH HONEYSUCKLE	129	3 GAL.	POT	PRIVATE
Po	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	100	3 GAL.	POT	PRIVATE
Sa	SYMPHORICARPUS ALBUS	SNOWBERRY	99	3 GAL.	POT	PRIVATE
CONIFEROUS SHRUBS						
Jc	JUNIPERUS CHINENSIS 'BLAAUW'	BLAAUW'S JUNIPER	46	3 GAL	POT	PRIVATE
Pm	PINUS MUGO 'SLOWMOUND'	SLOWMOUND MUGO PINE	89	3 GAL	POT	PRIVATE

SOIL VOLUME PROJECTIONS (NTS)			TREE SOIL VOLUMES*			
SMALL	MEDIUM/CONIFER	LARGE	TREE TYPE/SIZE	SINGLE TREE SOIL VOLUME	MULTIPLE TREE SOIL VOLUME (m3/TREE)	SOIL VOLUME FOR MARINE CLAY AREAS (SINGLE TREE)
			ORNAMENTAL	15	9	
			COLUMNAR	15	9	
			SMALL	20	12	25
			MEDIUM	25	15	30
			LARGE	30	18	
			CONIFER	25	15	
*SOIL VOLUME CALCULATION BASED ON 1.0m DEPTH						

CANOPY PROJECTIONS (NTS)		PROPOSED TREE CANOPY PROJECTIONS			SITE CANOPY COVER
LARGE	MEDIUM	TREE TYPE/SIZE	CROWN AREA PER TREE STANDARD RANGE (m²)	CROWN AREA PER TREE USED FOR CALC. (m²)	
		LARGE (23)	135-250*	192	
		MEDIUM (28)	35-135*	85	
		SMALL (0)	5-35*	20	CANOPY (W. OVERLAP): 3736.6m²
		CONIFER (0)	45-96*	70	
*RANGE OF CROWN AREAS IS IN ACCORDANCE WITH PROPOSED TREES SPECIES					SITE: 11,211.49m²
**CROWN AREAS ARE ACCORDING TO THE AVERAGE MATURE CANOPY SIZE OF THE RESPECTIVE SPECIES. CANOPY SIZING HAS BEEN DETERMINED IN REFERENCE TO VARIOUS ARBORICULTURAL AND BOTANICAL SOURCES, SUCH AS: ONTARIO MINISTRY OF NATURAL RESOURCES & FORESTRY (OMNRF), US FOREST SERVICE, FARRAR, J.L. TREES IN CANADA, UNIVERSITY OF GUELPH ARBORETUM, VARIOUS PUBLICATIONS					TOTAL PERCENT COVER: 33.33%

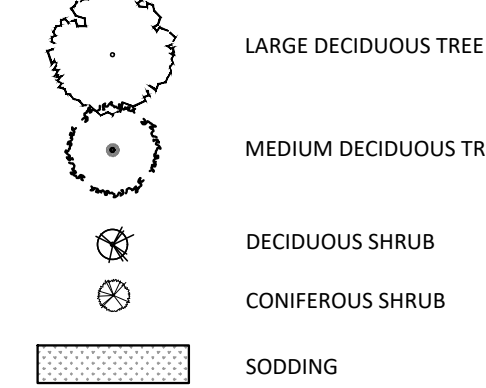
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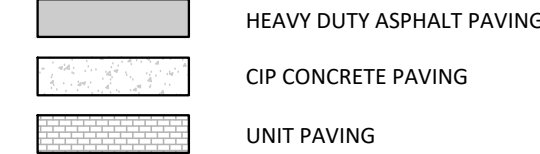
LEGEND

PROPERTY LINE

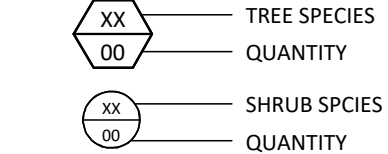
PLANTING



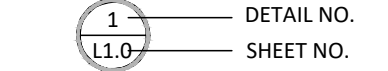
PAVING



PLANTING KEY



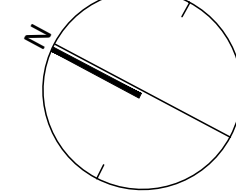
DETAIL KEY



7	Revised for SPA	Nov. 12/25
6	Revised for SPA	Oct. 16/25
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3	Issued for SPA	May 9/25
2	Issued for Coordination	May 7/25
1	Issued for Coordination	Apr.30/25
No.	Description	Date

OWNERSHIP NAIT TANY HOMES 50 Hines Rd., Suite 100, Ottawa ON K2K 2M5 ON, K2H 1P5		TRANSPORTATION NOVATECH 240 Michael Cowland Dr., Suite 200, Ottawa, ON, K2H 1P5
ARCHITECT KORSAK 277 Lakeshore Rd., #202, Oakville ON L6J 1H9		NOISE GRADIENT WIND 127 Walgreen Rd., Carp ON K0A 1L0
CIVIL STANTEC 300-1331 Clyde Ave., Ottawa ON K2C 2G4		SURVEY J.D. Barnes 62 Steele Dr., Unit 103, Kanata ON K2K 2A9
LANDSCAPE ARCHITECT NAK DESIGN STRATEGIES 1285 Wellington St., Ottawa ON K1Y 3A8		GEOTECH PATERSON GROUP 9 Auriga Drive, Ottawa ON K2E 7T9
ELECTRICAL LRL 5430 Carleton Rd., Ottawa ON K1J 9G2		PLANNING POTVIN 420 O'Connor St., Ottawa, ON K2P 1B7

PROPERTY INFORMATION
Plan of Subdivision of Block 403, and Part of Lot B, Concession 3 (Rideau Front), Geographic Township of Nepean, City of Ottawa, Registered Plan 484-1729



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design strategies

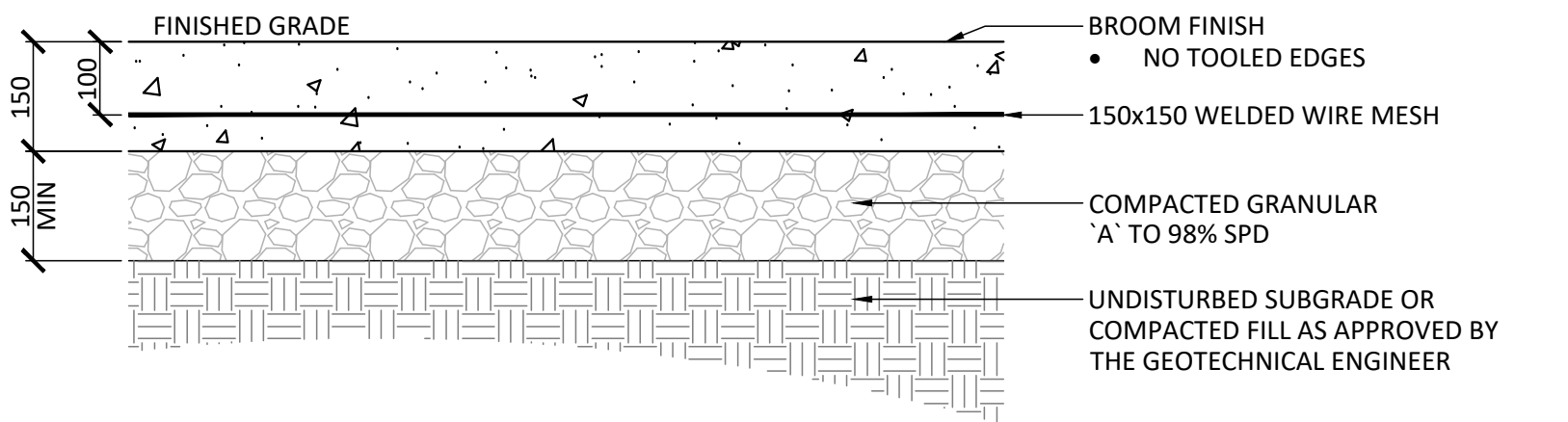
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
Project

**HALF MOON BAY SOUTH
PHASE 7**
4159 Obsidian Street, Ottawa ON K2J 6X6

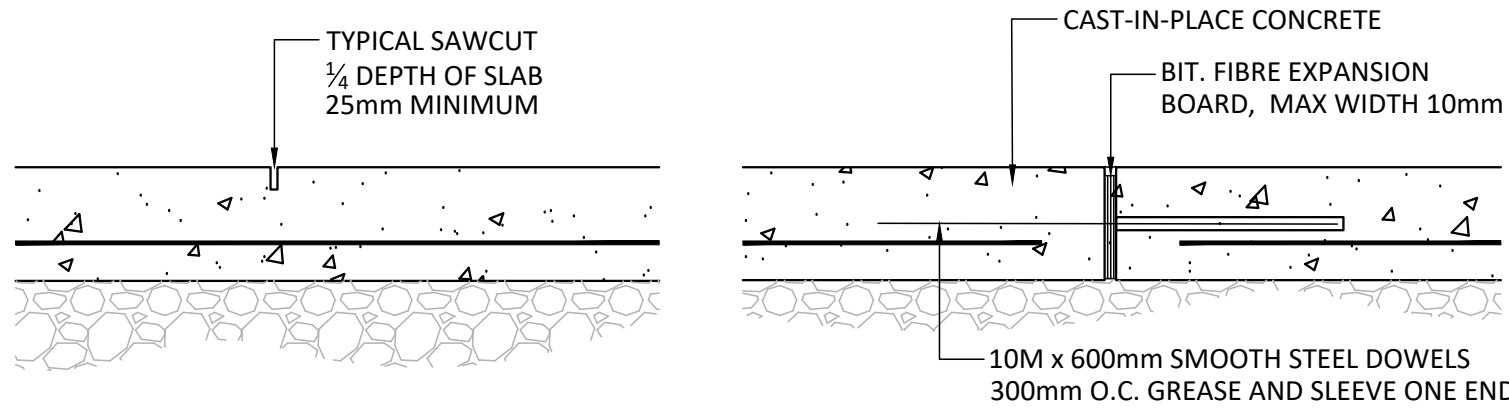
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Date	2025-03-13	Sheet	
Scale	1:300		
Drawn	JE		
Checked	SC		
Job No.	25-033		

L1.0

CITY FILE N° D02-02-25-0031
CITY FILE N° D07-12-25-0068

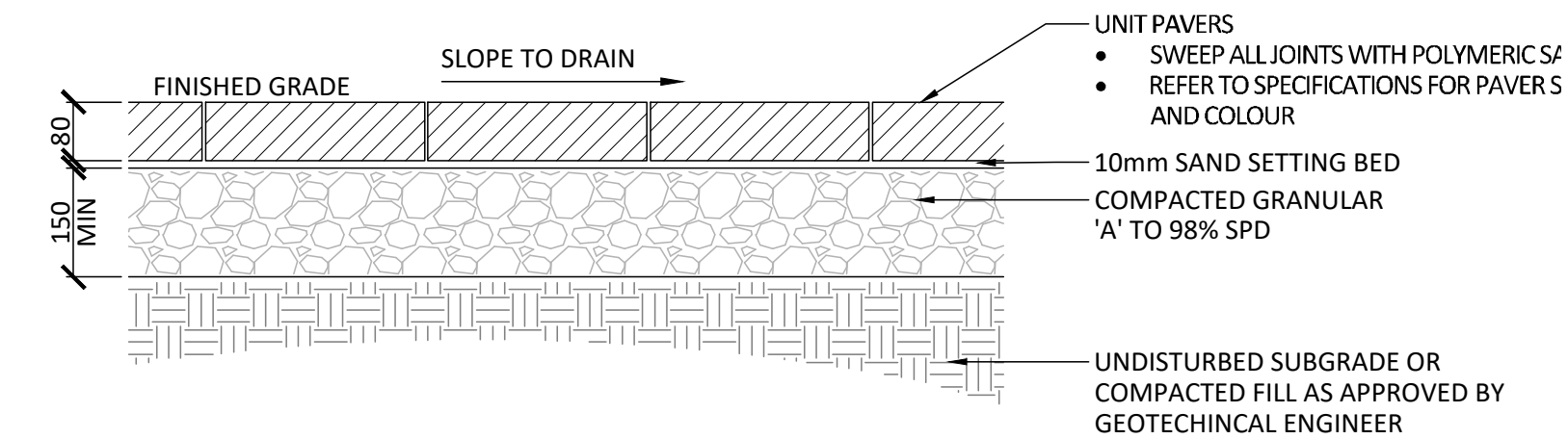


1 LIGHT DUTY CONCRETE
1:10

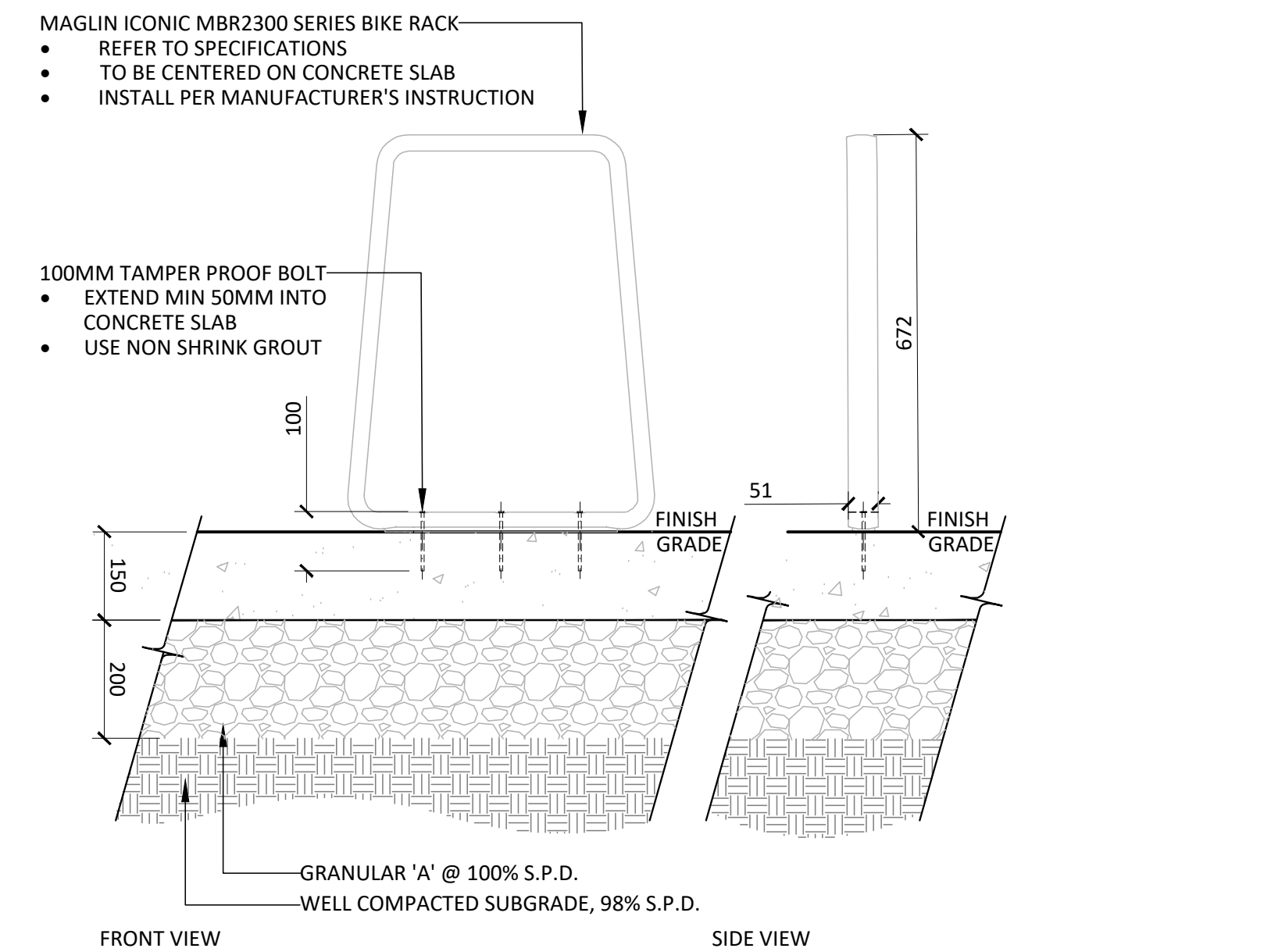


- NOTES:
1. REFER TO DRAWINGS FOR JOINT LAYOUT
 2. SAWCUT WITHIN 48 HOURS OF POUR
- NOTES :
1. REFER TO DRAWINGS FOR JOINT LAYOUT
 2. NO CAULKED JOINTS

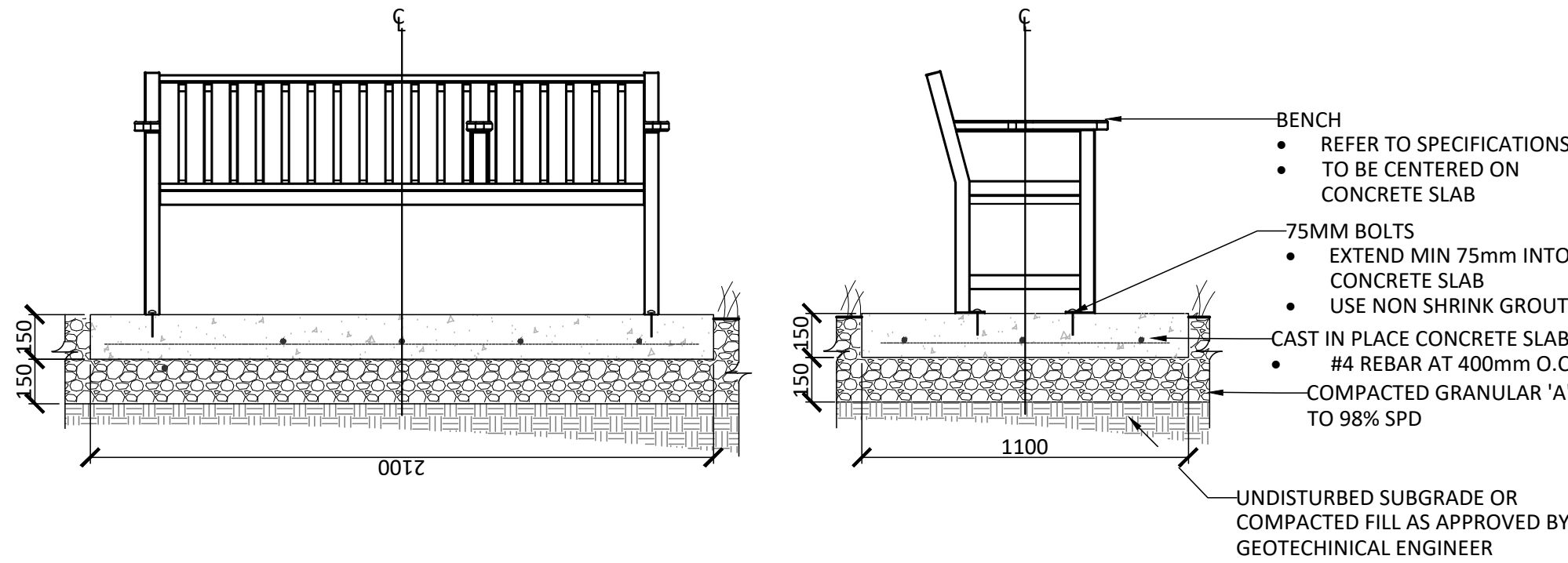
2 LIGHT DUTY CONCRETE - JOINTING
1:10



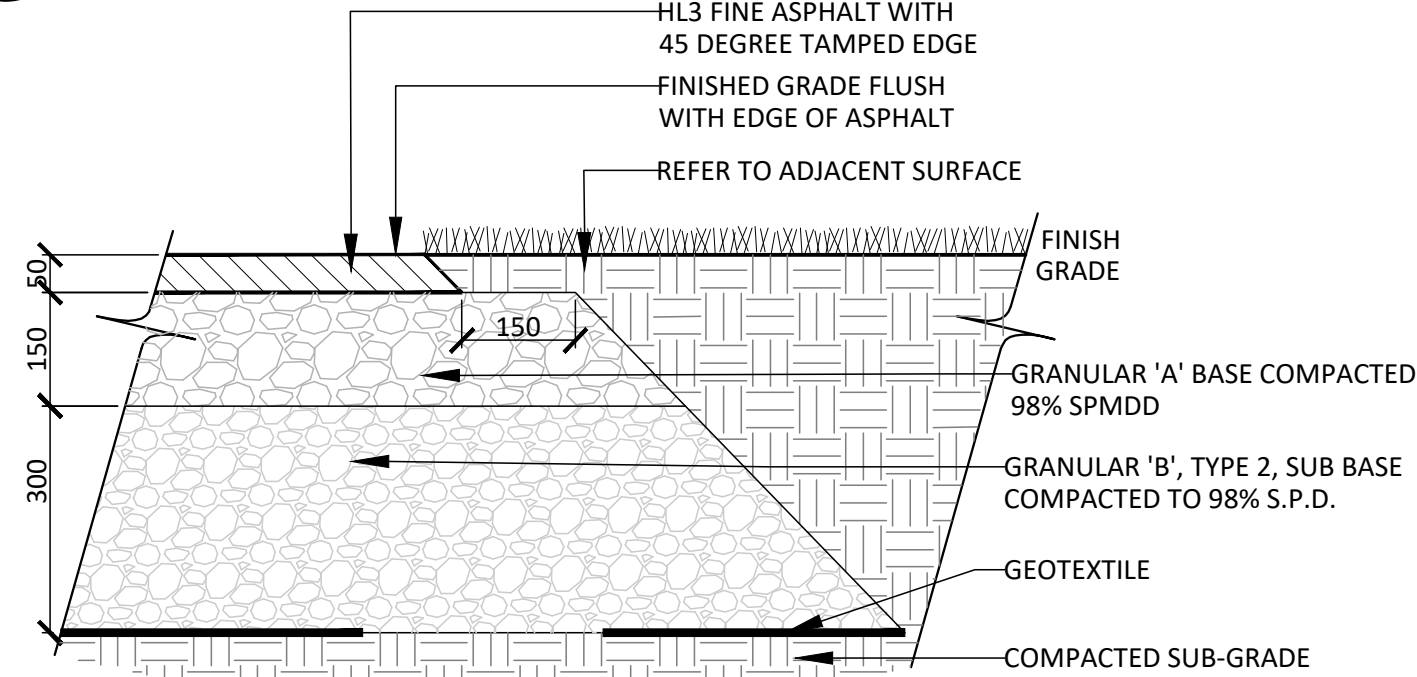
3 UNIT PAVERS
1:10



4 BIKE RACK ON CONCRETE PAD
1:10

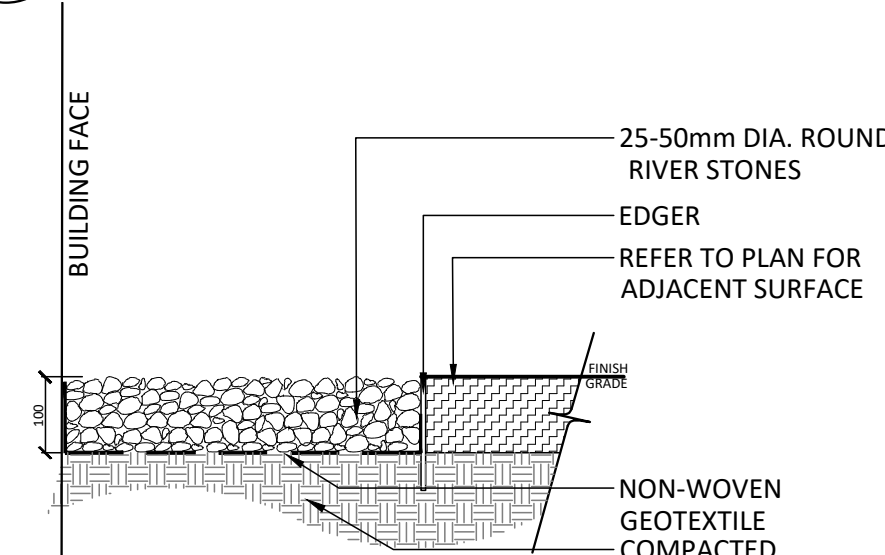


5 BENCH ON CONCRETE PAD
1:20



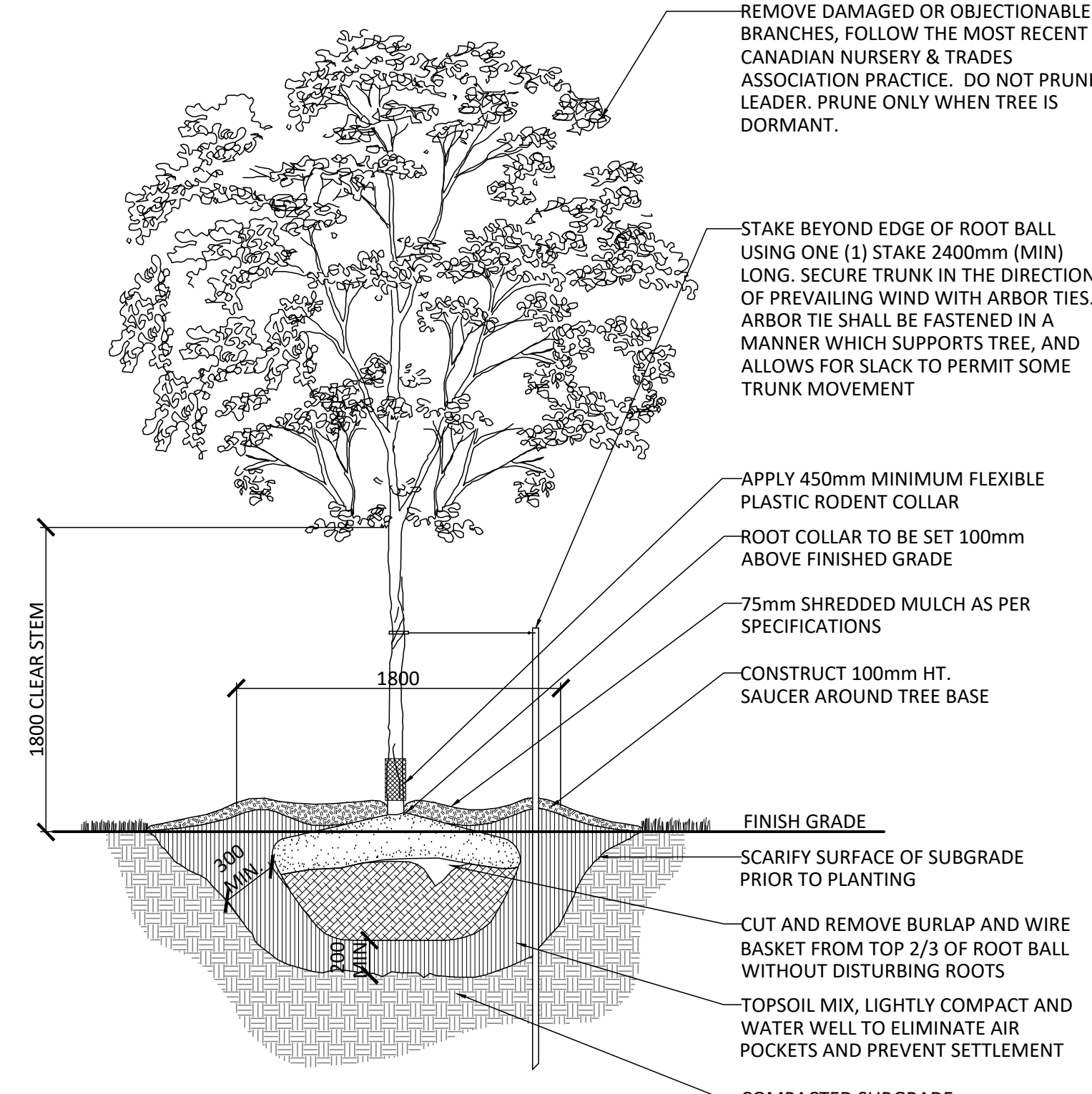
- NOTES:
1. EXCAVATE TO 500mm MINIMUM DEPTH OR DEEPER, AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE SUBGRADE MATERIAL SUCH AS TOPSOIL, ALL SOFT SPOTS AND/OR ORGANIC MATTER AND REPLACEMENT WITH CLEAN SUBSOIL FILL. SUBGRADE SHALL BE CONSOLIDATED TO A 98% S.P.D. REMOVE EXCAVATED MATERIAL OFF SITE UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.
 2. GRANULAR 'A' - 100% STANDARD PROCTOR DENSITY MIN., GRANULAR B, TYPE 2, SUB BASE GRANULARS TO OPSS STANDARDS.
 3. 50mm TOP SURFACE LAYER (AFTER COMPACTION) OF HOT MIX HL3 FINE IN ACCORDANCE WITH O.P.S.S. STANDARDS.
 4. ASPHALT EDGE TO BE 45 DEGREES WELL TAMPED TO FORM UNIFORMLY SMOOTH, CLEAN EDGES WITHOUT LATERAL DEVIATIONS. SOD TO FEATHER IN WITH EXISTING SOD AND GRADES AT A MAXIMUM SLOPE OF 4:1.
 5. SLOPE TO BE A MINIMUM OF 2% ON CROWNED OR CROSS SLOPED PATHS AS DIRECTED ON SITE OR AS SHOWN IN DRAWINGS.
 6. ALL DISTURBED AREAS ALONG ASPHALT WALKWAYS SHALL BE SODDED OVER 150mm TOPSOIL FOR A MINIMUM DISTANCE OF 900mm.

6 HEAVY DUTY ASPHALT
1:10



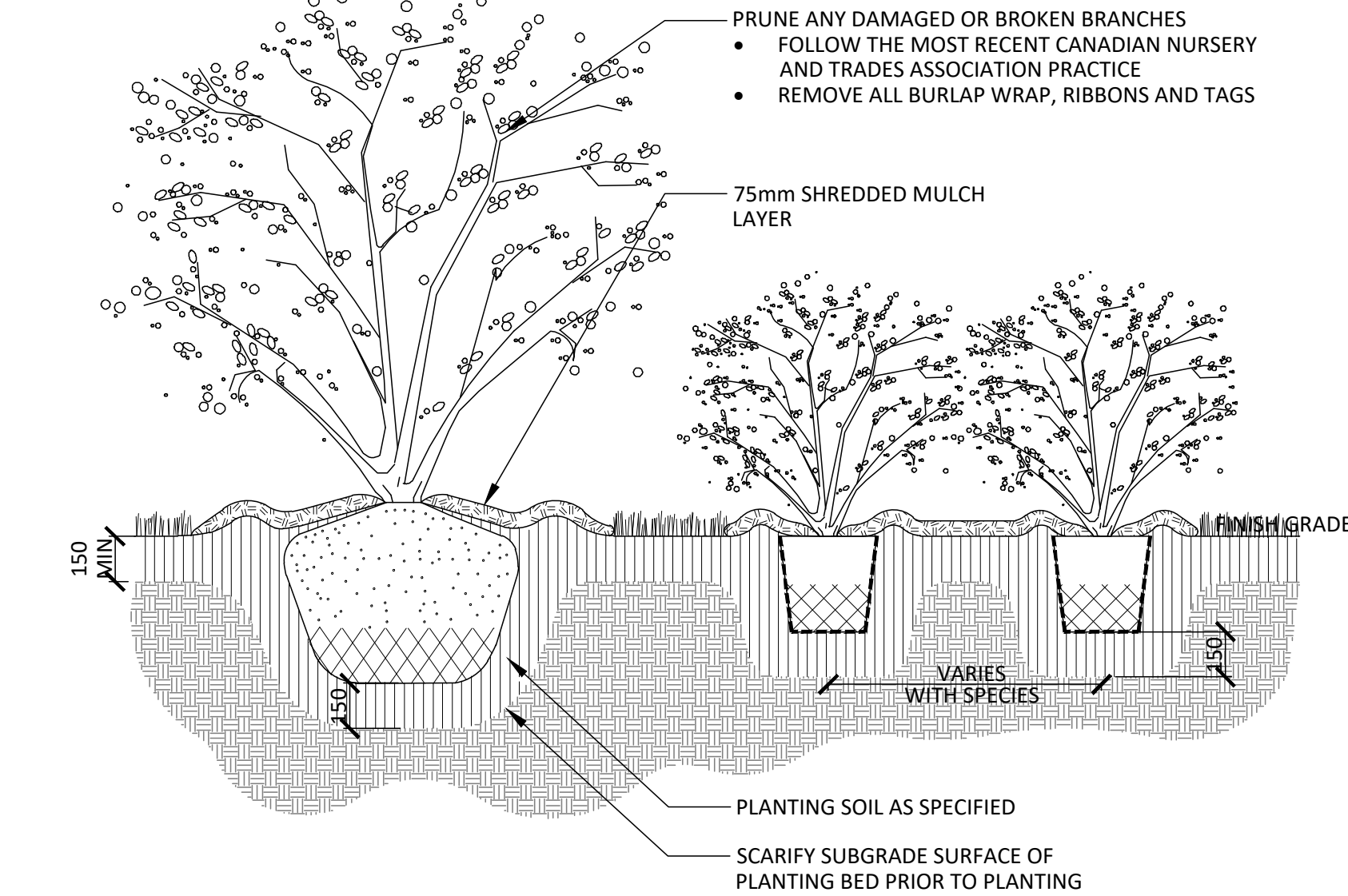
- NOTES:
1. APPROVED NON-WOVEN CLASS 1 GEOTEXTILE AS PER MS-22.15 WHEN WARRANTED BY SOIL CONDITION, SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
 2. RETAIN RIVERSTONES WITH RIGID EDGE RESTRAINTS AS PER SPECIFICATIONS.

7 MAINTENANCE EDGE
1:10



- NOTES:
1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
 2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION
 3. REMOVE TREE WRAP AFTER PLANTING
 4. CALIPER TO BE MEASURED AT THE BASE OF TREE AT ROOT BALL.

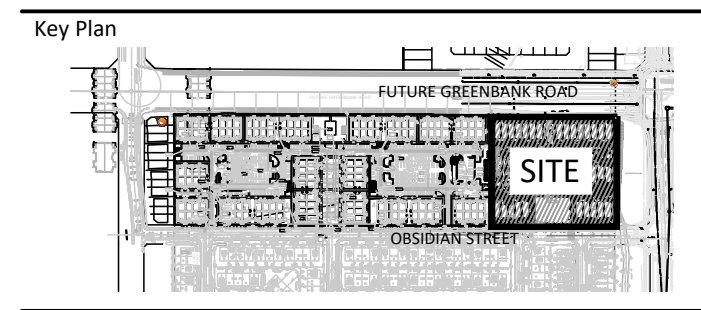
8 DECIDUOUS TREE PLANTING
1:30



- NOTES:
1. SHRUBS SPECIFIED TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE
 2. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED

9 SHRUB PLANTING
1:20

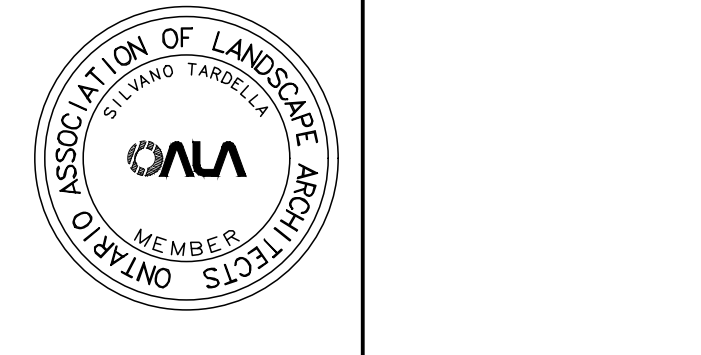
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NAK
design strategies
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
NAKDESIGNSTRATEGIES.COM
Project

**HALF MOON BAY SOUTH
PHASE 7**
4159 Obsidian Street, Ottawa ON K2J 6X6

Title	DETAILS
Date 2025-03-13	Sheet
Scale 1:300	L2.0
Drawn JE	
Checked SC	
Job No. 25-033	

CITY FILE IN* D02-02-25-0031
CITY FILE IN* D07-12-25-0068