

# HALF MOON BAY SOUTH PHASE 7

## ELEVATION D (TN)

The Boxwood End II, The Willow II,  
The Indigo II, The Aster II,  
2025

### DRAWING LIST

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| 01 | ISSUED FOR COORDINATION | 2025/11/07 |
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|    |                         |            |

## COVER SHEET

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

|                |               |
|----------------|---------------|
| CITY OF OTTAWA |               |
| CITY PLAN NO.  | CITY FILE NO. |

SHEET SIZE 24"x36"  
SCALE  
ISSUE DATE 2025/11/07

PAGE A0.00





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[illegible]

## AREA CALCULATIONS

**ELEVATION D (TN)**

|                                  |               |
|----------------------------------|---------------|
| <h1>HALF MOON BAY SOUTH PH7</h1> |               |
| <h2>CITY OF OTTAWA</h2>          |               |
| CITY PLAN NO.                    | CITY FILE NO. |

SHEET SIZE 24"x36"  
SCALE 1" = 10'-0"  
ISSUE DATE 2025/11/07

**PAGE A0.01**



| <b><u>COVERAGE CALCULATIONS</u></b> |         |                       |
|-------------------------------------|---------|-----------------------|
| BUILDING COVERAGE                   | 6309 SF | 586.17 m <sup>2</sup> |
| PORCH COVERAGE                      | 822 SF  | 76.40 m <sup>2</sup>  |
| TOTAL                               | 7132 SF | 662.57 m <sup>2</sup> |



### BASEMENT AREA CALCULATIONS

|                         |                |                 |
|-------------------------|----------------|-----------------|
| 11B UNFINISHED BASEMENT | 1312 SF        | 121.91 m        |
| 12B UNFINISHED BASEMENT | 1227 SF        | 113.98 m        |
| 13B UNFINISHED BASEMENT | 1227 SF        | 113.98 m        |
| 14B UNFINISHED BASEMENT | 1227 SF        | 113.98 m        |
| 15B UNFINISHED BASEMENT | 1317 SF        | 122.31 m        |
| <b>TOTAL</b>            | <b>6309 SF</b> | <b>586.16 m</b> |

### GROUND FLOOR GFA CALCULATIONS

|                   |                |                            |
|-------------------|----------------|----------------------------|
| 1A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 2A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 3A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 4A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 5A. GROUND FLOOR  | 80.5F          | 7.48 m <sup>2</sup>        |
| 6A. GROUND FLOOR  | 80.5F          | 7.48 m <sup>2</sup>        |
| 7A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 8A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 9A. GROUND FLOOR  | 78.5F          | 7.29 m <sup>2</sup>        |
| 10A. GROUND FLOOR | 78.5F          | 7.29 m <sup>2</sup>        |
| 11B. GROUND FLOOR | 1153.5F        | 107.09 m <sup>2</sup>      |
| 12B. GROUND FLOOR | 1070.5F        | 99.44 m <sup>2</sup>       |
| 13B. GROUND FLOOR | 1070.5F        | 99.44 m <sup>2</sup>       |
| 14B. GROUND FLOOR | 1070.5F        | 99.44 m <sup>2</sup>       |
| 15B. GROUND FLOOR | 1153.5F        | 107.09 m <sup>2</sup>      |
| MECH. CHASE       | 42.5F          | 3.95 m <sup>2</sup>        |
| <b>TOTAL</b>      | <b>6347.5F</b> | <b>589.0 m<sup>2</sup></b> |





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 DOCUMENTS TO THE ARCHITECT BEFORE  
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**ISSUED / REVISION CHART**

[illegible]

| CITY OF OTTAWA |               |
|----------------|---------------|
| CITY PLAN NO.  | CITY FILE NO. |

**PAGE A0.02**



|                  |                |                             |
|------------------|----------------|-----------------------------|
| 1A SECOND FLOOR  | 603 SF         | 56.00 m <sup>2</sup>        |
| 2A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 3A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 4A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 5A SECOND FLOOR  | 603 SF         | 56.01 m <sup>2</sup>        |
| 6A SECOND FLOOR  | 603 SF         | 56.01 m <sup>2</sup>        |
| 7A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 8A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 9A SECOND FLOOR  | 558 SF         | 51.86 m <sup>2</sup>        |
| 10A SECOND FLOOR | 603 SF         | 56.00 m <sup>2</sup>        |
| MECH. (UNFIN.)   | 668 SF         | 62.05 m <sup>2</sup>        |
| <b>TOTAL</b>     | <b>6429 SF</b> | <b>597.23 m<sup>2</sup></b> |

|                 |                 |                              |
|-----------------|-----------------|------------------------------|
| 01 Ground Floor | 6347 SF         | 589.70 m <sup>2</sup>        |
| 02 Second Floor | 6429 SF         | 597.23 m <sup>2</sup>        |
| 03 Third Floor  | 5786 SF         | 537.55 m <sup>2</sup>        |
| <b>TOTAL</b>    | <b>18562 SF</b> | <b>1724.48 m<sup>2</sup></b> |

|                          |         |                          |
|--------------------------|---------|--------------------------|
| <b>GROUND FLOOR AREA</b> | 78 SF   | [7.25 m <sup>2</sup> ]   |
| <b>SECOND FLOOR AREA</b> | 558 SF  | [51.84 m <sup>2</sup> ]  |
| <b>THIRD FLOOR AREA</b>  | 561 SF  | [52.12 m <sup>2</sup> ]  |
| <b>TOTAL NET AREA</b>    | 1197 SF | [111.20 m <sup>2</sup> ] |

|                   |         |                         |
|-------------------|---------|-------------------------|
| GROUND FLOOR AREA | 1070 SF | [99.41 m <sup>2</sup> ] |
| SECOND FLOOR AREA | 0 SF    | [0.00 m <sup>2</sup> ]  |
| THIRD FLOOR AREA  | 0 SF    | [0.00 m <sup>2</sup> ]  |
| TOTAL NET AREA    | 1070 SF | [99.41 m <sup>2</sup> ] |

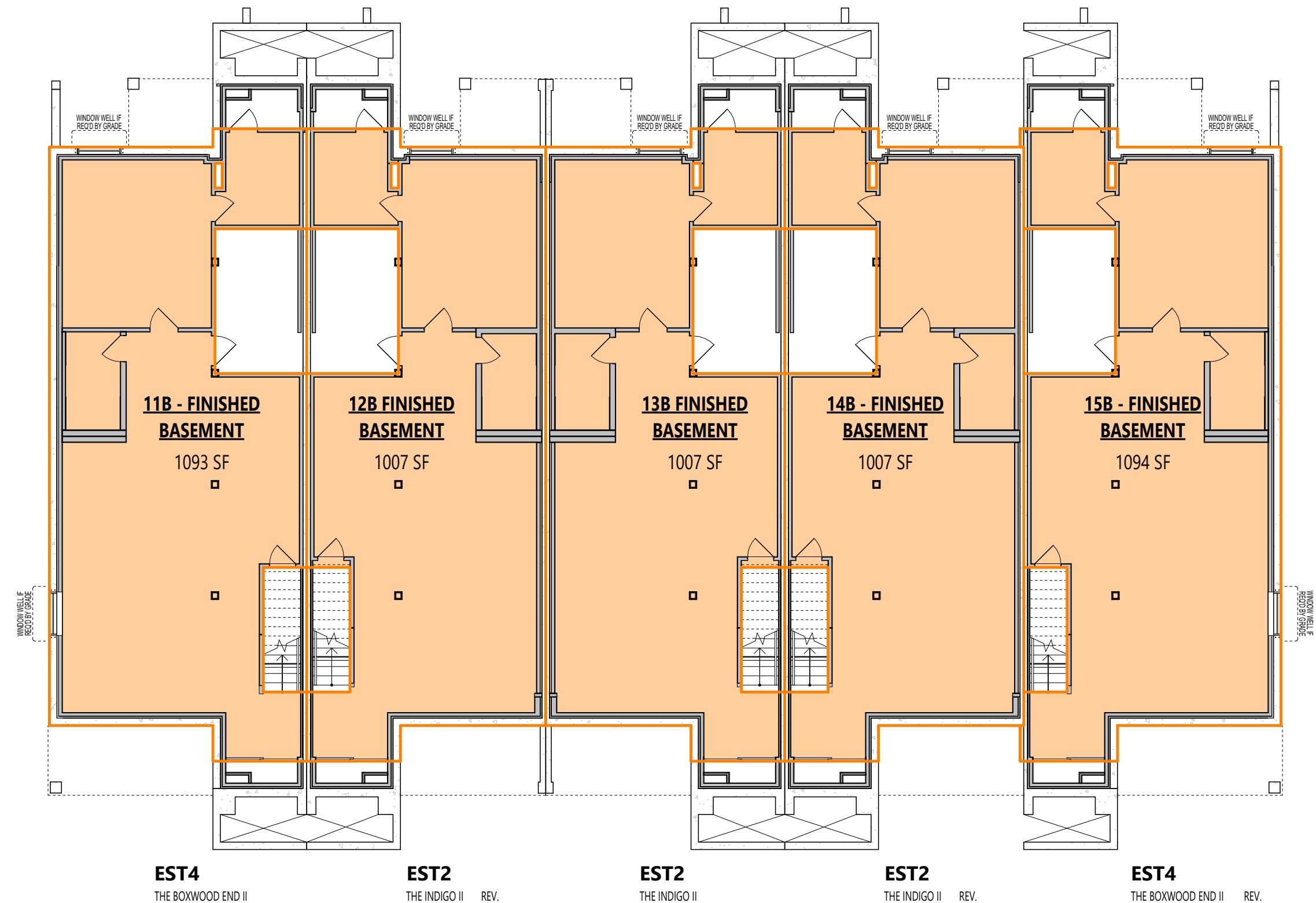
|                   |         |                          |
|-------------------|---------|--------------------------|
| GROUND FLOOR AREA | 78 SF   | [7.25 m <sup>2</sup> ]   |
| SECOND FLOOR AREA | 603 SF  | [56.02 m <sup>2</sup> ]  |
| THIRD FLOOR AREA  | 605 SF  | [56.21 m <sup>2</sup> ]  |
| TOTAL NET AREA    | 1286 SF | [119.47 m <sup>2</sup> ] |

|                   |         |                          |
|-------------------|---------|--------------------------|
| GROUND FLOOR AREA | 1153 SF | [107.12 m <sup>2</sup> ] |
| SECOND FLOOR AREA | 0 SF    | [0.00 m <sup>2</sup> ]   |
| THIRD FLOOR AREA  | 0 SF    | [0.00 m <sup>2</sup> ]   |
| TOTAL NET AREA    | 1153 SF | [107.12 m <sup>2</sup> ] |

### THIRD FLOOR

|                 |         |                       |
|-----------------|---------|-----------------------|
| 1A THIRD FLOOR  | 605 SF  | 56.24 m <sup>2</sup>  |
| 2A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 3A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 4A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 5A THIRD FLOOR  | 605 SF  | 56.24 m <sup>2</sup>  |
| 6A THIRD FLOOR  | 605 SF  | 56.24 m <sup>2</sup>  |
| 7A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 8A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 9A THIRD FLOOR  | 561 SF  | 52.10 m <sup>2</sup>  |
| 10A THIRD FLOOR | 605 SF  | 56.24 m <sup>2</sup>  |
| TOTAL           | 5786 SF | 537.55 m <sup>2</sup> |





BASEMENT AREA CALCULATIONS

|                         |         |                       |
|-------------------------|---------|-----------------------|
| 11B - FINISHED BASEMENT | 1093 SF | 101.50 m <sup>2</sup> |
| 12B FINISHED BASEMENT   | 1007 SF | 93.57 m <sup>2</sup>  |
| 13B FINISHED BASEMENT   | 1007 SF | 93.57 m <sup>2</sup>  |
| 14B - FINISHED BASEMENT | 1007 SF | 93.57 m <sup>2</sup>  |
| 15B - FINISHED BASEMENT | 1094 SF | 101.65 m <sup>2</sup> |
| TOTAL                   | 5208 SF | 483.85 m <sup>2</sup> |



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|                         |                         |            |

## PPOs AREA CALCULATIONS

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

| CITY OF OTTAWA |               |
|----------------|---------------|
| CITY PLAN NO.  | CITY FILE NO. |





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### ISSUED / REVISION CHART

## LIMITING DISTANCE

**ELEVATION D (TN)**

**HALF MOON BAY SOUTH PH7**

CITY OF OTTAWA

|                |               |
|----------------|---------------|
| CITY OF OTTAWA |               |
| CITY PLAN NO.  | CITY FILE NO. |

SHEET SIZE 24"x36"  
SCALE 1/8" = 1'-0"  
ISSUE DATE 2025/11/07

**PAGE A0.04**



**LEFT ELEVATION**

| 10A LIMITING DISTANCE CALCULATIONS |                                        | 11B LIMITING DISTANCE CALCULATIONS |                                        | 1A LIMITING DISTANCE CALCULATIONS |                                        | INTENT OF THE CONTRACT DOCUMENTS: THE ARCHITECT WILL REVIEW SHOP DRAWINGS SUBMITTED BY THE CONTRACTOR FOR DESIGN CONFORMANCE ONLY. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PERFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE COMMENCING WORK. POSITIONS OF EXPOSED OR FINISHED MECHANICAL OR ELECTRICAL DEVICES, FITTINGS, AND FIXTURES ARE INDICATED ON ARCHITECTURAL DRAWINGS. THE LOCATIONS SHOWN ON THE ARCHITECTURAL DRAWINGS GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS. THOSE ITEMS NOT CLEARLY LOCATED WILL BE LOCATED AS DIRECTED BY THE ARCHITECT. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED BELOW AS "ISSUED FOR CONSTRUCTION" ALL WORK TO BE CARRIED OUT IN CONFORMANCE WITH THE CODE AND BYLAWS OF THE AUTHORITIES HAVING JURISDICTION. THE DESIGNER OF THESE PLANS AND SPECIFICATIONS GIVES NO WARRANTY OR |
|------------------------------------|----------------------------------------|------------------------------------|----------------------------------------|-----------------------------------|----------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LIMITING DISTANCE                  | 2.525M                                 | LIMITING DISTANCE                  | 2.525M                                 | LIMITING DISTANCE                 | 2.525M                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| UNPROTECTED OPENINGS PERMITTED %   | 14%                                    | UNPROTECTED OPENINGS PERMITTED %   | 14%                                    | UNPROTECTED OPENINGS PERMITTED %  | 14%                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| WALL AREA                          | 673.82 sqft<br>(62.60 m <sup>2</sup> ) | WALL AREA                          | 584.71 sqft<br>(54.32 m <sup>2</sup> ) | WALL AREA                         | 663.79 sqft<br>(61.85 m <sup>2</sup> ) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| OPENINGS ALLOWED                   | 94.33 sqft<br>(8.76 m <sup>2</sup> )   | OPENINGS ALLOWED                   | 81.86 sqft<br>(7.60 m <sup>2</sup> )   | OPENINGS ALLOWED                  | 93.21 sqft<br>(8.66 m <sup>2</sup> )   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| OPENINGS PROVIDED                  | 43.40 sqft<br>(4.03 m <sup>2</sup> )   | OPENINGS PROVIDED                  | 42.22 sqft<br>(3.92 m <sup>2</sup> )   | OPENINGS PROVIDED                 | 43.40 sqft<br>(4.03 m <sup>2</sup> )   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| OPENINGS BALANCE                   | 50.93 sqft<br>(4.73 m <sup>2</sup> )   | OPENINGS BALANCE                   | 39.64 sqft<br>(3.68 m <sup>2</sup> )   | OPENINGS BALANCE                  | 49.81 sqft<br>(4.63 m <sup>2</sup> )   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |



### REAR ELEVATION

### RIGHT ELEVATION

| 5A LIMITING DISTANCE CALCULATIONS |                                        | 15B LIMITING DISTANCE CALCULATIONS |                                        | 6A LIMITING DISTANCE CALCULATIONS |                                        |
|-----------------------------------|----------------------------------------|------------------------------------|----------------------------------------|-----------------------------------|----------------------------------------|
| LIMITING DISTANCE                 | 2.525M                                 | LIMITING DISTANCE                  | 2.525M                                 | LIMITING DISTANCE                 | 2.525M                                 |
| UNPROTECTED OPENINGS PERMITTED %  | 14%                                    | UNPROTECTED OPENINGS PERMITTED %   | 14%                                    | UNPROTECTED OPENINGS PERMITTED %  | 14%                                    |
| WALL AREA                         | 665.79 sqft<br>(61.85 m <sup>2</sup> ) | WALL AREA                          | 584.71 sqft<br>[54.32 m <sup>2</sup> ] | WALL AREA                         | 673.68 sqft<br>[62.60 m <sup>2</sup> ] |
| OPENINGS ALLOWED                  | 93.21 sqft<br>(8.66 m <sup>2</sup> )   | OPENINGS ALLOWED                   | 81.86 sqft<br>[7.60 m <sup>2</sup> ]   | OPENINGS ALLOWED                  | 94.33 sqft<br>(8.76 m <sup>2</sup> )   |
| OPENINGS PROVIDED                 | 43.40 sqft<br>(4.03 m <sup>2</sup> )   | OPENINGS PROVIDED                  | 42.22 sqft<br>[3.92 m <sup>2</sup> ]   | OPENINGS PROVIDED                 | 43.40 sqft<br>(4.03 m <sup>2</sup> )   |
| OPENINGS BALANCE                  | 49.81 sqft<br>(4.63 m <sup>2</sup> )   | OPENINGS BALANCE                   | 39.64 sqft<br>[3.68 m <sup>2</sup> ]   | OPENINGS BALANCE                  | 50.93 sqft<br>(4.73 m <sup>2</sup> )   |

|                                                                                                                  |  |  |  |  |  |
|------------------------------------------------------------------------------------------------------------------|--|--|--|--|--|
| <b><u>LIMITING DISTANCE CALCULATION NOTES</u></b>                                                                |  |  |  |  |  |
| ALL CALCULATION BASED ON STANDARD GRADING CONDITION. WALL AREA VARIES WITH GRADING.                              |  |  |  |  |  |
| LIMITING DISTANCE CALCULATION BASED ON MINIMUM LIMITING DISTANCE IN ALL CASES, REFER TO BLOCK PLAN OR SITE PLAN. |  |  |  |  |  |

| <b>OBC TABLE 9.10.14.4.</b>                    |                       |     |     |     |     |     |      |
|------------------------------------------------|-----------------------|-----|-----|-----|-----|-----|------|
| EXPOSING BUILDING FACE (EBF) (m <sup>2</sup> ) | LIMITING DISTANCE (m) |     |     |     |     |     |      |
|                                                | 2.0                   | 2.5 | 4.0 | 4.5 | 6.0 | 6.9 | 8.0  |
| 50                                             | 10%                   | 14% | 28% | 35% | 57% | 76% | 100% |
| 65                                             | 10%                   | 13% | 25% | 31% | 50% | 66% | 87%  |
| 100                                            | 9%                    | 11% | 18% | 22% | 34% | 44% | 56%  |

|                                |  |
|--------------------------------|--|
| <b>LIMITING DISTANCE</b>       |  |
| <b>ELEVATION D (TN)</b>        |  |
| <b>HALF MOON BAY SOUTH PH7</b> |  |
| CITY OF OTTAWA                 |  |

### LIMITING DISTANCE CALCULATION NOTES

ALL CALCULATION BASED ON STANDARD GRADING CONDITION. WALL AREA VARIES WITH GRADING.

LIMITING DISTANCE CALCULATION BASED ON MINIMUM LIMITING DISTANCE IN ALL CASES, REFER TO BLOCK PLAN OR SITE PLAN.

AS PER OBC TABLE 9.10.14.4. AND USING INTERPOLATION TO GET THE MAX.  
AREA OF UNPROTECTED OPENINGS (SEE TABLE BESIDE)

| <b>EXPOSING BUILDING<br/>FACE (EBF) (m2)</b> | <b>LIMITING DISTANCE (m)</b> |            |            |            |            |            |            |
|----------------------------------------------|------------------------------|------------|------------|------------|------------|------------|------------|
|                                              | <b>2.0</b>                   | <b>2.5</b> | <b>4.0</b> | <b>4.5</b> | <b>6.0</b> | <b>6.9</b> | <b>8.0</b> |
| <b>50</b>                                    | 10%                          | 14%        | 28%        | 35%        | 57%        | 76%        | 100%       |
| <b>65</b>                                    | 10%                          | 13%        | 25%        | 31%        | 50%        | 66%        | 87%        |
| <b>100</b>                                   | 9%                           | 11%        | 18%        | 22%        | 34%        | 44%        | 56%        |





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LIMITING  
DISTANCE - UPG

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

|                |               |
|----------------|---------------|
| CITY OF OTTAWA |               |
| CITY PLAN NO.  | CITY FILE NO. |

SHEET SIZE 24"x36"  
SCALE 1/8" = 1'-0"  
ISSUE DATE 2025/11/07



LEFT ELEVATION - UPG

| 10A UPG<br>LIMITING DISTANCE<br>CALCULATIONS |                        | 11B UPG LIMITING DISTANCE<br>CALCULATIONS |                        | 1A UPG<br>LIMITING DISTANCE<br>CALCULATIONS |                        |
|----------------------------------------------|------------------------|-------------------------------------------|------------------------|---------------------------------------------|------------------------|
| LIMITING DISTANCE                            | 2.525M                 | LIMITING DISTANCE                         | 2.525M                 | LIMITING DISTANCE                           | 2.525M                 |
| UNPROTECTED OPENINGS PERMITTED %             | 14%                    | UNPROTECTED OPENINGS PERMITTED %          | 14%                    | UNPROTECTED OPENINGS PERMITTED %            | 14%                    |
| WALL AREA                                    | 673.82 sqft [62.60 m2] | WALL AREA                                 | 584.71 sqft [54.32 m2] | WALL AREA                                   | 665.79 sqft [61.85 m2] |
| OPENINGS ALLOWED                             | 94.33 sqft [8.76 m2]   | OPENINGS ALLOWED                          | 81.86 sqft [7.60 m2]   | OPENINGS ALLOWED                            | 93.21 sqft [8.66 m2]   |
| OPENINGS PROVIDED                            | 66.57 sqft [6.18 m2]   | OPENINGS PROVIDED                         | 44.43 sqft [4.13 m2]   | OPENINGS PROVIDED                           | 66.57 sqft [6.18 m2]   |
| OPENINGS BALANCE                             | 27.76 sqft [2.58 m2]   | OPENINGS BALANCE                          | 37.43 sqft [3.48 m2]   | OPENINGS BALANCE                            | 26.64 sqft [2.47 m2]   |

LIMITING DISTANCE CALCULATION NOTES

ALL CALCULATION BASED ON STANDARD GRADING CONDITION. WALL AREA VARIES WITH GRADING.

LIMITING DISTANCE CALCULATION BASED ON MINIMUM LIMITING DISTANCE IN ALL CASES, REFER TO BLOCK PLAN OR SITE PLAN.

AS PER OBC TABLE 9.10.14.4, AND USING INTERPOLATION TO GET THE MAX. AREA OF UNPROTECTED OPENINGS (SEE TABLE BESIDE)

OBC TABLE 9.10.14.4.

| EXPOSING BUILDING<br>FACE (EBF) (m2) | LIMITING DISTANCE (m) |     |     |     |     |     |
|--------------------------------------|-----------------------|-----|-----|-----|-----|-----|
|                                      | 2.0                   | 2.5 | 4.0 | 4.5 | 6.0 | 6.9 |
| 50                                   | 10%                   | 14% | 28% | 33% | 57% | 70% |
| 65                                   | 10%                   | 13% | 25% | 31% | 50% | 66% |
| 100                                  | 9%                    | 11% | 18% | 22% | 34% | 44% |



RIGHT ELEVATION - UPG

| 5A UPG<br>LIMITING DISTANCE<br>CALCULATIONS |                        | 15B UPG<br>LIMITING DISTANCE<br>CALCULATIONS |                        | 6A UPG<br>LIMITING DISTANCE<br>CALCULATIONS |                        |
|---------------------------------------------|------------------------|----------------------------------------------|------------------------|---------------------------------------------|------------------------|
| LIMITING DISTANCE                           | 2.525M                 | LIMITING DISTANCE                            | 2.525M                 | LIMITING DISTANCE                           | 2.525M                 |
| UNPROTECTED OPENINGS PERMITTED %            | 14%                    | UNPROTECTED OPENINGS PERMITTED %             | 14%                    | UNPROTECTED OPENINGS PERMITTED %            | 14%                    |
| WALL AREA                                   | 665.79 sqft [61.85 m2] | WALL AREA                                    | 584.71 sqft [54.32 m2] | WALL AREA                                   | 673.82 sqft [62.60 m2] |
| OPENINGS ALLOWED                            | 93.21 sqft [8.66 m2]   | OPENINGS ALLOWED                             | 81.86 sqft [7.60 m2]   | OPENINGS ALLOWED                            | 94.33 sqft [8.76 m2]   |
| OPENINGS PROVIDED                           | 66.57 sqft [6.18 m2]   | OPENINGS PROVIDED                            | 44.43 sqft [4.13 m2]   | OPENINGS PROVIDED                           | 66.57 sqft [6.18 m2]   |
| OPENINGS BALANCE                            | 26.64 sqft [2.47 m2]   | OPENINGS BALANCE                             | 37.43 sqft [3.48 m2]   | OPENINGS BALANCE                            | 27.76 sqft [2.58 m2]   |





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## EEDS CALCULATION

#### ELEVATION D (TN)

#### HALF MOON BAY SOUTH PH7

CITY OF OTTAWA

CITY PLAN NO. CITY FILE NO.

SHEET SIZE 24"x36"  
SCALE 1/8" = 1'-0"  
ISSUE DATE 2025/11/07

PAGE A0.06



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

#### 1A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2407 SF                  | 166 SF                  | 6.88%    |
|       | [223.57 m <sup>2</sup> ] | [15.38 m <sup>2</sup> ] |          |
| FRONT | 537.47 sqft              | 122.17 sqft             |          |
|       | [49.93 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| REAR  | 537.47 sqft              | 0.00 sqft               |          |
|       | [49.93 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| LEFT  | 665.79 sqft              | 43.40 sqft              |          |
|       | [61.85 m <sup>2</sup> ]  | [4.03 m <sup>2</sup> ]  |          |
| RIGHT | 665.79 sqft              | 0.00 sqft               |          |
|       | [61.85 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 2A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2360 SF                  | 122 SF                  | 5.18%    |
|       | [219.24 m <sup>2</sup> ] | [11.35 m <sup>2</sup> ] |          |
| FRONT | 503.89 sqft              | 122.17 sqft             |          |
|       | [46.81 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| REAR  | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| LEFT  | 676.05 sqft              | 0.00 sqft               |          |
|       | [62.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 676.05 sqft              | 0.00 sqft               |          |
|       | [62.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 3A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2360 SF                  | 122 SF                  | 5.18%    |
|       | [219.24 m <sup>2</sup> ] | [11.35 m <sup>2</sup> ] |          |
| FRONT | 503.89 sqft              | 122.17 sqft             |          |
|       | [46.81 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| REAR  | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| LEFT  | 676.05 sqft              | 0.00 sqft               |          |
|       | [62.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 676.05 sqft              | 0.00 sqft               |          |
|       | [62.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 4A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2357 SF                  | 166 SF                  | 7.03%    |
|       | [218.95 m <sup>2</sup> ] | [15.38 m <sup>2</sup> ] |          |
| FRONT | 500.79 sqft              | 122.17 sqft             |          |
|       | [46.52 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| REAR  | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| LEFT  | 665.79 sqft              | 0.00 sqft               |          |
|       | [62.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 676.05 sqft              | 43.40 sqft              |          |
|       | [62.81 m <sup>2</sup> ]  | [4.03 m <sup>2</sup> ]  |          |

#### 5A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2412 SF                  | 166 SF                  | 6.86%    |
|       | [224.11 m <sup>2</sup> ] | [15.38 m <sup>2</sup> ] |          |
| FRONT | 543.21 sqft              | 122.17 sqft             |          |
|       | [50.47 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| REAR  | 537.47 sqft              | 0.00 sqft               |          |
|       | [49.93 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| LEFT  | 665.79 sqft              | 0.00 sqft               |          |
|       | [61.85 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 665.79 sqft              | 43.40 sqft              |          |
|       | [61.85 m <sup>2</sup> ]  | [4.03 m <sup>2</sup> ]  |          |

#### 6A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2428 SF                  | 166 SF                  | 6.82%    |
|       | [225.61 m <sup>2</sup> ] | [15.38 m <sup>2</sup> ] |          |
| FRONT | 537.47 sqft              | 0.00 sqft               |          |
|       | [49.93 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| REAR  | 543.30 sqft              | 122.17 sqft             |          |
|       | [50.47 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| LEFT  | 673.82 sqft              | 0.00 sqft               |          |
|       | [62.60 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 673.82 sqft              | 43.40 sqft              |          |
|       | [62.60 m <sup>2</sup> ]  | [4.03 m <sup>2</sup> ]  |          |

#### 7A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2373 SF                  | 122 SF                  | 5.15%    |
|       | [220.45 m <sup>2</sup> ] | [11.35 m <sup>2</sup> ] |          |
| FRONT | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| REAR  | 500.70 sqft              | 122.17 sqft             |          |
|       | [46.52 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| LEFT  | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 8A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2376 SF                  | 122 SF                  | 5.14%    |
|       | [220.74 m <sup>2</sup> ] | [11.35 m <sup>2</sup> ] |          |
| FRONT | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| REAR  | 503.89 sqft              | 122.17 sqft             |          |
|       | [46.81 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| LEFT  | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 9A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2376 SF                  | 122 SF                  | 5.14%    |
|       | [220.74 m <sup>2</sup> ] | [11.35 m <sup>2</sup> ] |          |
| FRONT | 503.89 sqft              | 0.00 sqft               |          |
|       | [46.81 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| REAR  | 503.89 sqft              | 122.17 sqft             |          |
|       | [46.81 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| LEFT  | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 684.14 sqft              | 0.00 sqft               |          |
|       | [63.56 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 10A EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 2423 SF                  | 166 SF                  | 6.83%    |
|       | [225.06 m <sup>2</sup> ] | [15.38 m <sup>2</sup> ] |          |
| FRONT | 499.93 m <sup>2</sup>    | [0.00 m <sup>2</sup> ]  |          |
|       | [49.93 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| REAR  | 537.47 sqft              | 122.17 sqft             |          |
|       | [49.93 m <sup>2</sup> ]  | [11.35 m <sup>2</sup> ] |          |
| LEFT  | 673.82 sqft              | 43.40 sqft              |          |
|       | [62.60 m <sup>2</sup> ]  | [4.03 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 50.07 sqft              |          |
|       | [54.32 m <sup>2</sup> ]  | [4.65 m <sup>2</sup> ]  |          |

#### 11B EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 1526 SF                  | 143 SF                  | 9.37%    |
|       | [141.75 m <sup>2</sup> ] | [13.28 m <sup>2</sup> ] |          |
| FRONT | 170.19 sqft              | 40.74 sqft              |          |
|       | [15.81 m <sup>2</sup> ]  | [3.78 m <sup>2</sup> ]  |          |
| REAR  | 186.15 sqft              | 52.17 sqft              |          |
|       | [17.29 m <sup>2</sup> ]  | [4.85 m <sup>2</sup> ]  |          |
| LEFT  | 584.71 sqft              | 50.07 sqft              |          |
|       | [54.32 m <sup>2</sup> ]  | [4.65 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 12B EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 1487 SF                  | 118 SF                  | 7.95%    |
|       | [138.15 m <sup>2</sup> ] | [10.98 m <sup>2</sup> ] |          |
| FRONT | 151.19 sqft              | 52.45 sqft              |          |
|       | [14.05 m <sup>2</sup> ]  | [4.87 m <sup>2</sup> ]  |          |
| REAR  | 166.42 sqft              | 65.77 sqft              |          |
|       | [15.46 m <sup>2</sup> ]  | [6.11 m <sup>2</sup> ]  |          |
| LEFT  | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 13B EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 1487 SF                  | 118 SF                  | 7.95%    |
|       | [138.15 m <sup>2</sup> ] | [10.98 m <sup>2</sup> ] |          |
| FRONT | 151.19 sqft              | 52.45 sqft              |          |
|       | [14.05 m <sup>2</sup> ]  | [4.87 m <sup>2</sup> ]  |          |
| REAR  | 166.42 sqft              | 65.77 sqft              |          |
|       | [15.46 m <sup>2</sup> ]  | [6.11 m <sup>2</sup> ]  |          |
| LEFT  | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |

#### 14B EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 1481 SF                  | 168 SF                  | 11.37%   |
|       | [137.63 m <sup>2</sup> ] | [15.64 m <sup>2</sup> ] |          |
| FRONT | 148.69 sqft              | 52.53 sqft              |          |
|       | [13.81 m <sup>2</sup> ]  | [4.88 m <sup>2</sup> ]  |          |
| REAR  | 163.29 sqft              | 65.77 sqft              |          |
|       | [15.17 m <sup>2</sup> ]  | [6.11 m <sup>2</sup> ]  |          |
| LEFT  | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 50.07 sqft              |          |
|       | [54.32 m <sup>2</sup> ]  | [4.65 m <sup>2</sup> ]  |          |

#### 15B EEDS ENERGY STAR CALCULATIONS

|       | GROSS WALL AREA          | GROSS WINDOW AREA       | WINDOW % |
|-------|--------------------------|-------------------------|----------|
| TOTAL | 1527 SF                  | 143 SF                  | 9.37%    |
|       | [141.83 m <sup>2</sup> ] | [13.28 m <sup>2</sup> ] |          |
| FRONT | 170.62 sqft              | 40.74 sqft              |          |
|       | [15.85 m <sup>2</sup> ]  | [3.78 m <sup>2</sup> ]  |          |
| REAR  | 186.65 sqft              | 52.17 sqft              |          |
|       | [17.34 m <sup>2</sup> ]  | [4.85 m <sup>2</sup> ]  |          |
| LEFT  | 584.71 sqft              | 0.00 sqft               |          |
|       | [54.32 m <sup>2</sup> ]  | [0.00 m <sup>2</sup> ]  |          |
| RIGHT | 584.71 sqft              | 50.07 sqft              |          |
|       | [54.32 m <sup>2</sup> ]  | [4.65 m <sup>2</sup> ]  |          |



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ISSUED / REVISION CHART

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EEDS  
CALCULATION-UPG

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7



LEFT ELEVATION - UPG



RIGHT ELEVATION - UPG

| 10A UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                           |          |
|---------------------------------------------|---------------------------|---------------------------|----------|
|                                             | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA      | WINDOW % |
| TOTAL                                       | 2443 SF<br>[226.98 m2]    | 189 SF<br>[17.53 m2]      | 7.73%    |
| FRONT                                       | 537.47 sqft<br>[49.93 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| REAR                                        | 537.47 sqft<br>[49.93 m2] | 122.17 sqft<br>[11.35 m2] |          |
| LEFT                                        | 684.14 sqft<br>[63.56 m2] | 66.57 sqft<br>[6.18 m2]   |          |
| RIGHT                                       | 684.14 sqft<br>[63.56 m2] | 0.00 sqft<br>[0.00 m2]    |          |

| 11B UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                         |          |
|---------------------------------------------|---------------------------|-------------------------|----------|
|                                             | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA    | WINDOW % |
| TOTAL                                       | 1526 SF<br>[141.75 m2]    | 145 SF<br>[13.49 m2]    | 9.52%    |
| FRONT                                       | 170.19 sqft<br>[15.81 m2] | 40.74 sqft<br>[3.78 m2] |          |
| REAR                                        | 186.15 sqft<br>[17.29 m2] | 52.17 sqft<br>[4.85 m2] |          |
| LEFT                                        | 584.71 sqft<br>[54.32 m2] | 52.28 sqft<br>[4.86 m2] |          |
| RIGHT                                       | 584.71 sqft<br>[54.32 m2] | 0.00 sqft<br>[0.00 m2]  |          |

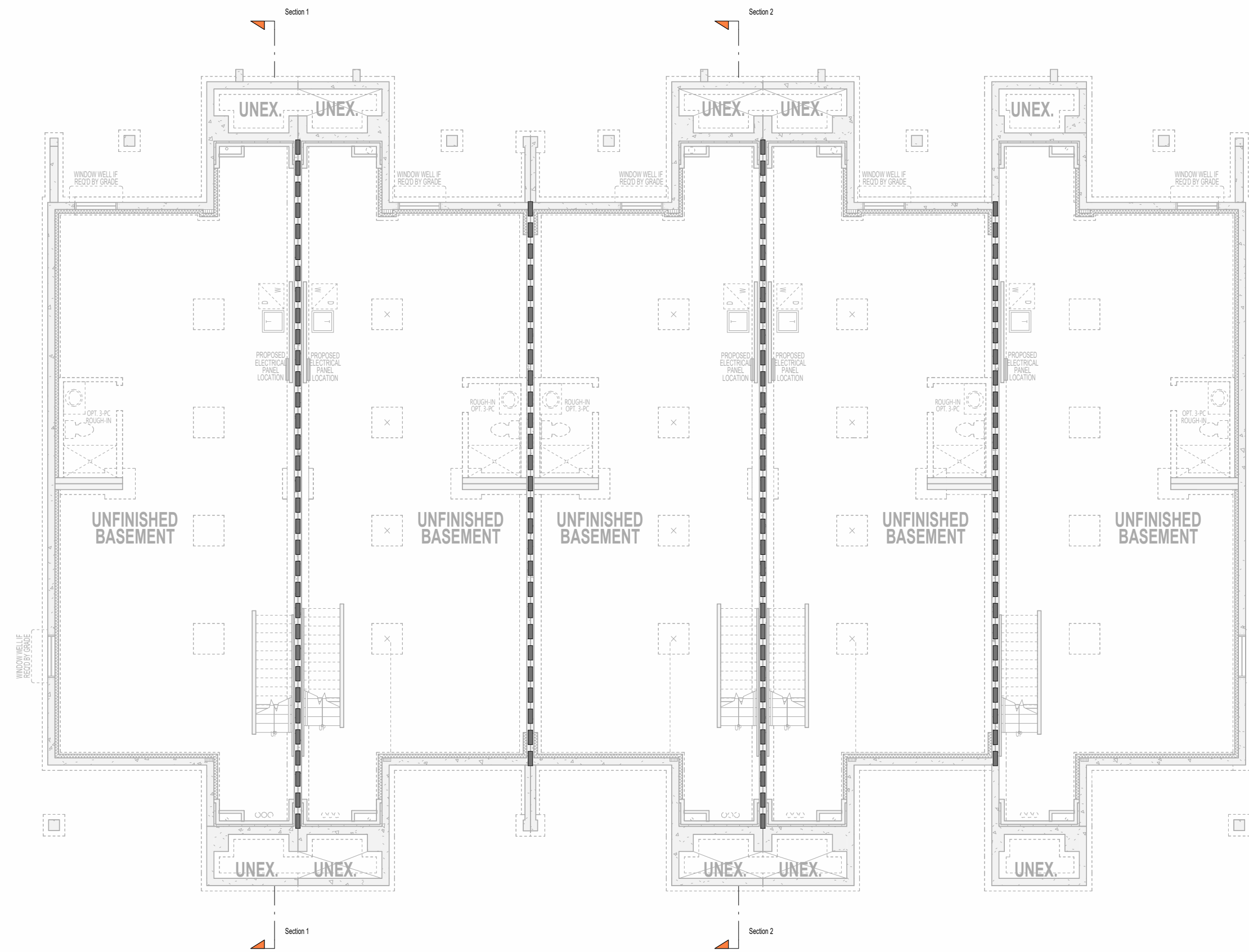
| 1A UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                           |          |
|--------------------------------------------|---------------------------|---------------------------|----------|
|                                            | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA      | WINDOW % |
| TOTAL                                      | 2427 SF<br>[225.48 m2]    | 189 SF<br>[17.53 m2]      | 7.78%    |
| FRONT                                      | 537.47 sqft<br>[49.93 m2] | 122.17 sqft<br>[11.35 m2] |          |
| REAR                                       | 537.47 sqft<br>[49.93 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| LEFT                                       | 676.05 sqft<br>[62.81 m2] | 66.57 sqft<br>[6.18 m2]   |          |
| RIGHT                                      | 676.05 sqft<br>[62.81 m2] | 0.00 sqft<br>[0.00 m2]    |          |

| 5A UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                           |          |
|--------------------------------------------|---------------------------|---------------------------|----------|
|                                            | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA      | WINDOW % |
| TOTAL                                      | 2412 SF<br>[224.11 m2]    | 189 SF<br>[17.53 m2]      | 7.82%    |
| FRONT                                      | 543.21 sqft<br>[50.47 m2] | 122.17 sqft<br>[11.35 m2] |          |
| REAR                                       | 537.47 sqft<br>[49.93 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| LEFT                                       | 665.79 sqft<br>[61.85 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| RIGHT                                      | 665.79 sqft<br>[61.85 m2] | 66.57 sqft<br>[6.18 m2]   |          |

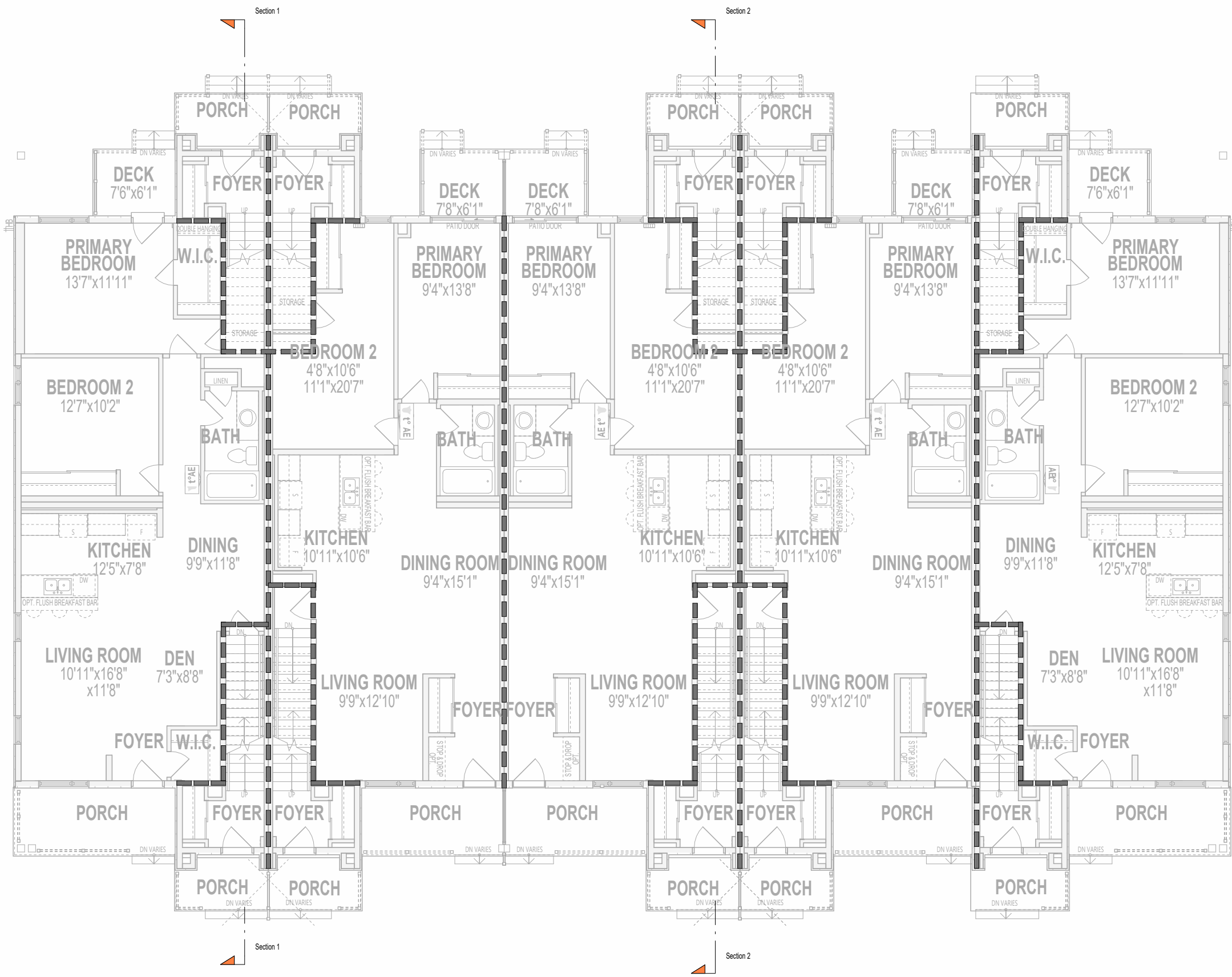
| 15B UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                         |          |
|---------------------------------------------|---------------------------|-------------------------|----------|
|                                             | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA    | WINDOW % |
| TOTAL                                       | 1526 SF<br>[141.79 m2]    | 145 SF<br>[13.49 m2]    | 9.51%    |
| FRONT                                       | 170.19 sqft<br>[15.81 m2] | 40.74 sqft<br>[3.78 m2] |          |
| REAR                                        | 186.65 sqft<br>[17.34 m2] | 52.17 sqft<br>[4.85 m2] |          |
| LEFT                                        | 584.71 sqft<br>[54.32 m2] | 0.00 sqft<br>[0.00 m2]  |          |
| RIGHT                                       | 584.71 sqft<br>[54.32 m2] | 52.28 sqft<br>[4.86 m2] |          |

| 6A UPG<br>EEDS ENERGY STAR<br>CALCULATIONS |                           |                           |          |
|--------------------------------------------|---------------------------|---------------------------|----------|
|                                            | GROSS<br>WALL AREA        | GROSS<br>WINDOW AREA      | WINDOW % |
| TOTAL                                      | 2428 SF<br>[225.61 m2]    | 189 SF<br>[17.53 m2]      | 7.77%    |
| FRONT                                      | 537.47 sqft<br>[49.93 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| REAR                                       | 543.30 sqft<br>[50.47 m2] | 122.17 sqft<br>[11.35 m2] |          |
| LEFT                                       | 673.82 sqft<br>[62.60 m2] | 0.00 sqft<br>[0.00 m2]    |          |
| RIGHT                                      | 673.82 sqft<br>[62.60 m2] | 66.57 sqft<br>[6.18 m2]   |          |

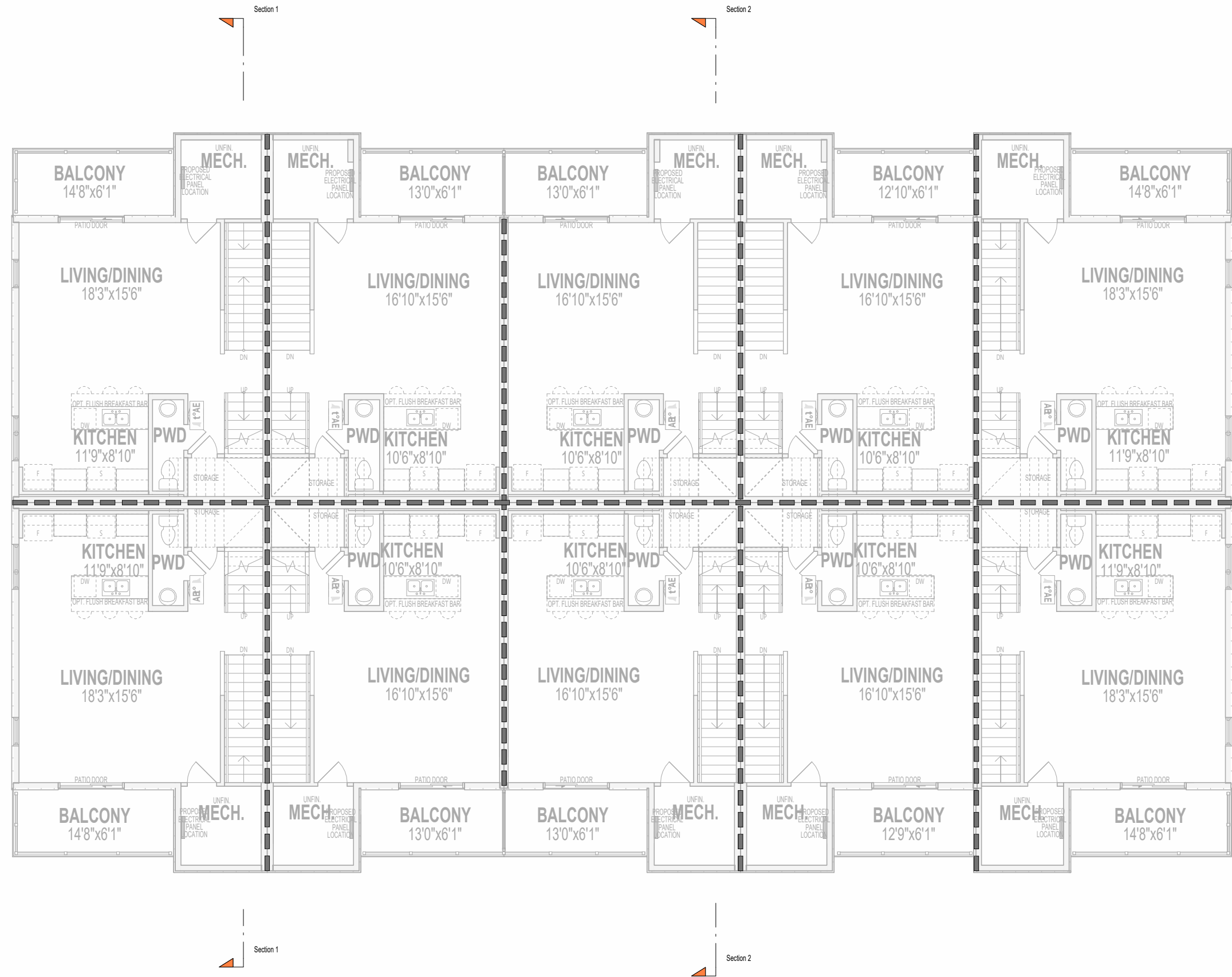




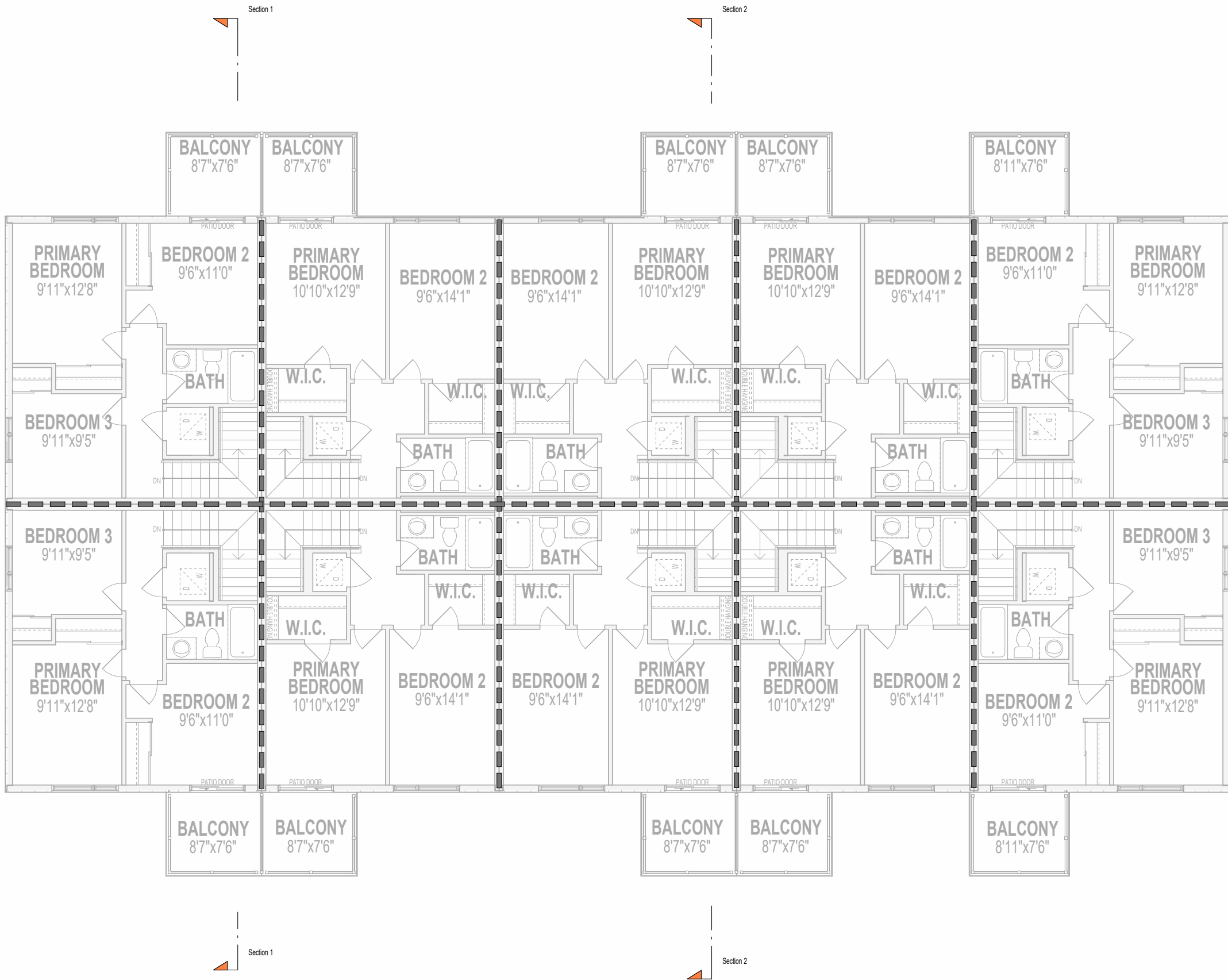
BASEMENT FIRE SEPERATION PLAN



GROUND FLOOR FIRE SEPERATION PLAN



SECOND FLOOR FIRE SEPERATION PLAN



THIRD FLOOR PLAN - FIRE SEPERATION PLAN

LEGEND  
1 HOUR FIRE SEPERATION



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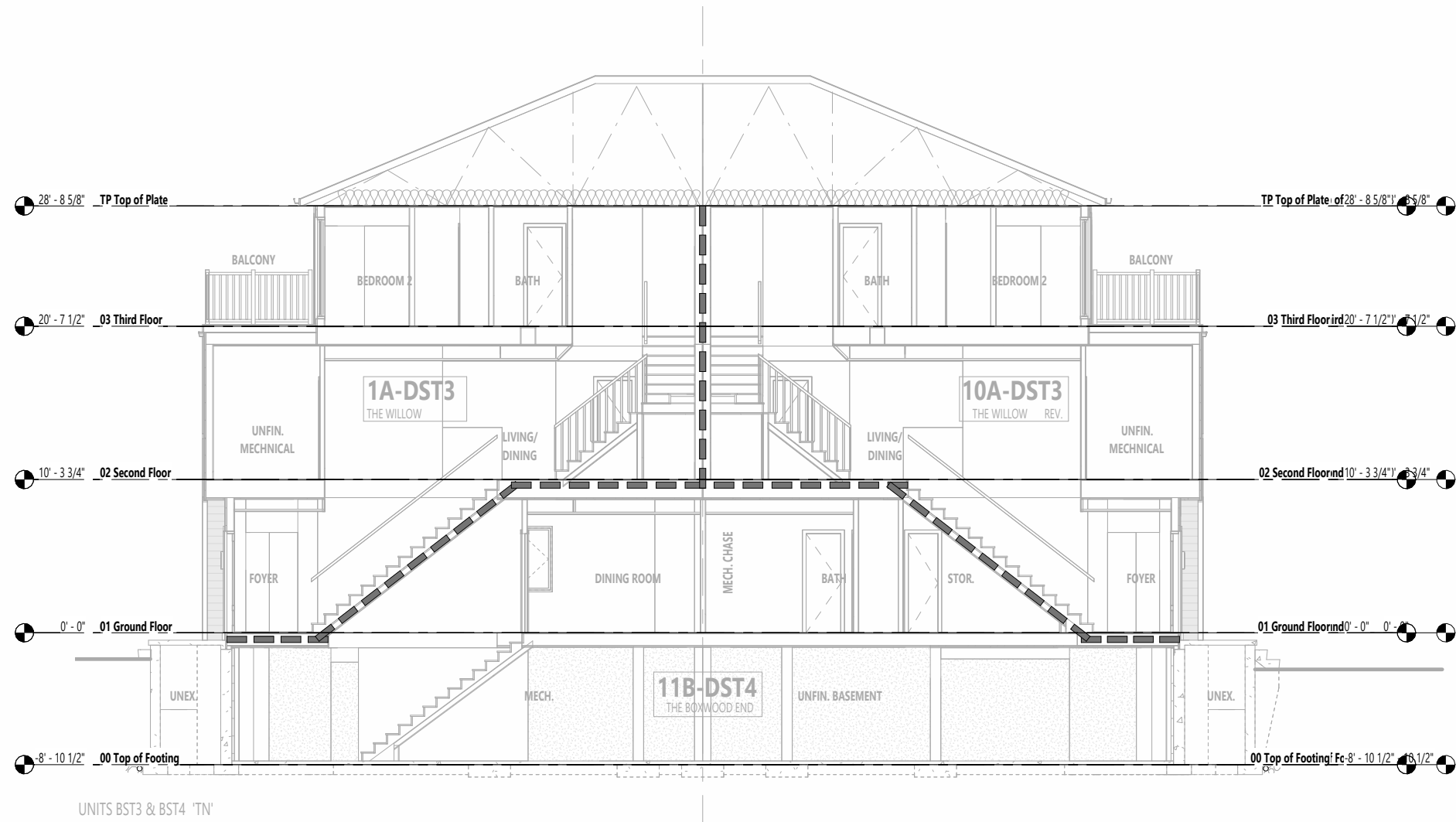
FIRE SEPERATION PLAN

ELEVATION D (TN)

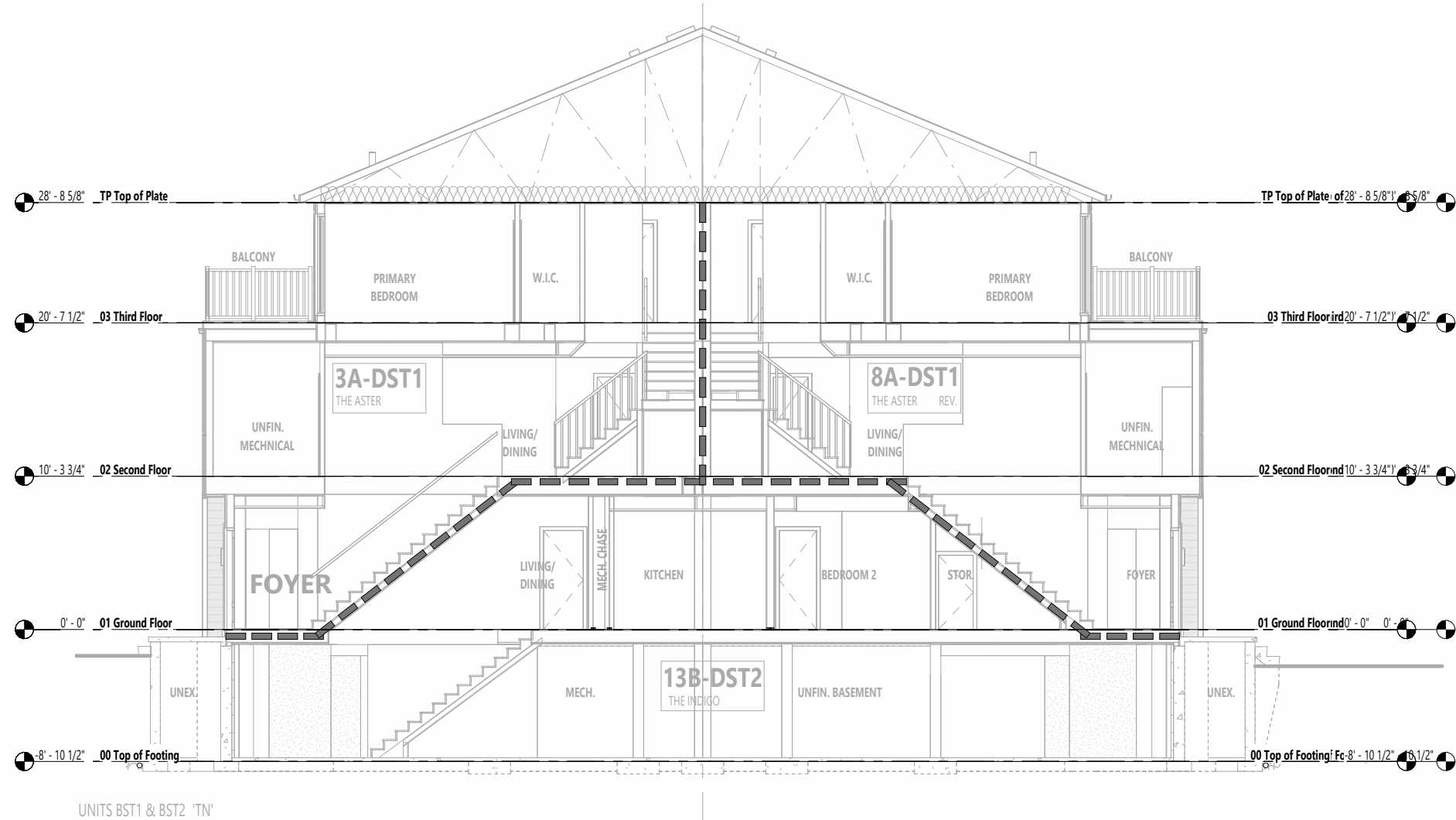
HALF MOON BAY SOUTH PH7



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BUILDING SECTION A-A FIRE SEPERATION



BUILDING SECTION B-B FIRE SEPERATION

ARCHITECT STAMP

| ISSUED / REVISION CHART |                         |            |
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## FIRE SEPERATION PLAN

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7





organica  
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## BASEMENT PLAN

**HALF MOON BAY SOUTH PH7**

|               |               |
|---------------|---------------|
| CITY PLAN NO. | CITY FILE NO. |
|---------------|---------------|

**PAGE A1.00**

WALL LEGEND

THE FIRE RATED AS

 45 MIN. FIRE RATED

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER  
 THAN 1-HR., CONSULT CODES TO DETERMINE ALL FIRE

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH -

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STANDARD DRAWINGS BY ATA ENGINEERING INC. - S-01 TO S-06

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL  
RIGS AND LOCATIONS.

SEE S-03 FOR FOORINGS AND PAD SIZES AND REINFORCEMENT

ENSURE BACKWATER VALVES DO NOT SERVE MORE THAN ONE DWELLING UNIT.

HYDRO CABLES TO RUN UNDER FOOTINGS. COORDINATE WITH PLUMBING & ELECTRICAL.



### BASEMENT PLAN - STANDARD

THE INDIGO II REV.

**12B - EST2 'D(TN)'**  
THE INDIGO II REV.

THE INDIGO II

**13B - EST2 'D(TN)'**  
THE INDIGO II

THE INDIGO II REV.

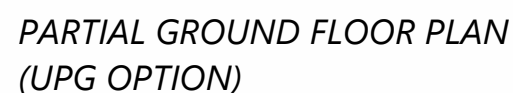
**14B - EST2 'D(TN)'**  
THE INDIGO II REV.

THE BOXWOOD END II REV.

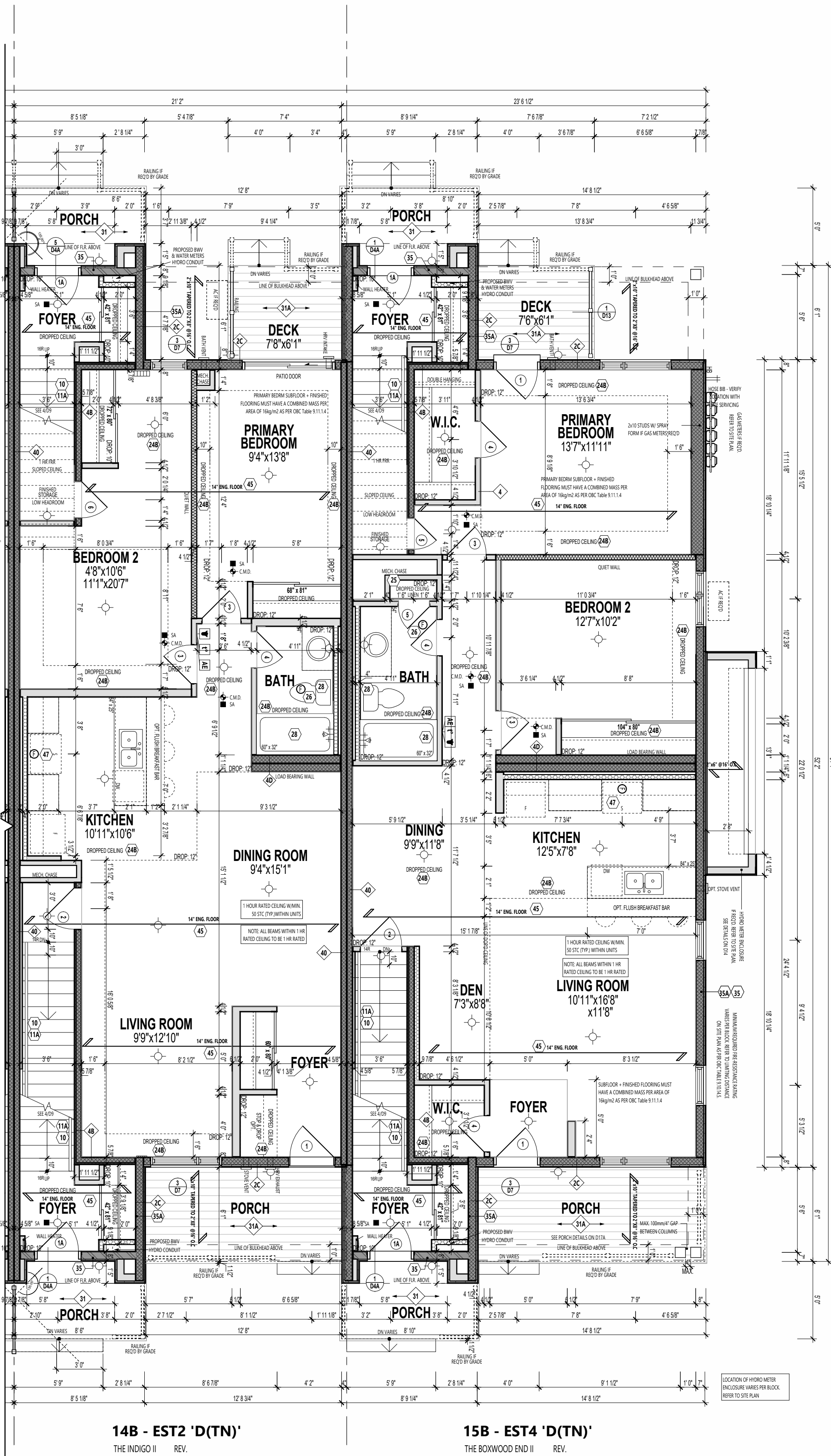
**15B - EST4 'D(TN)'**  
THE BOXWOOD END II      REV.



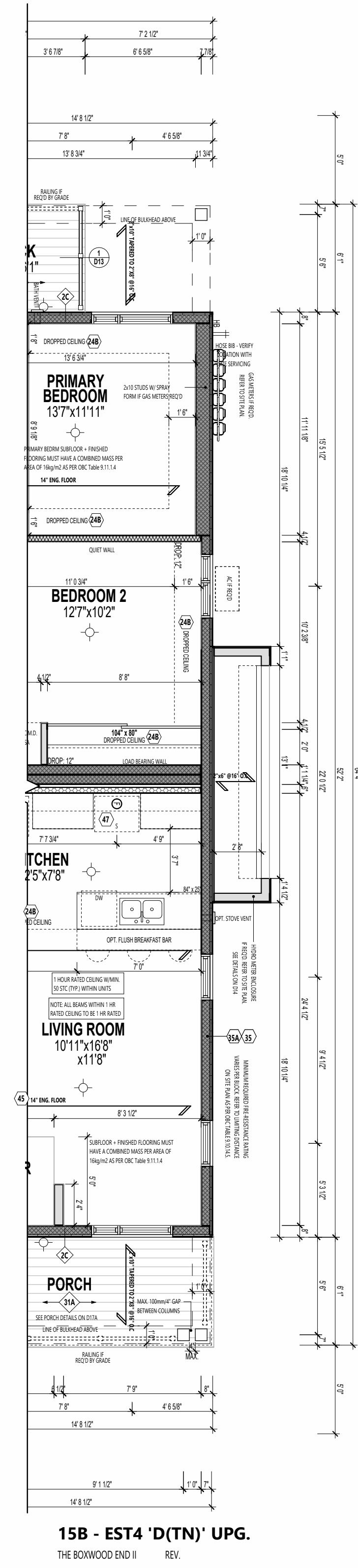
RUINS AND LOCATIONS.



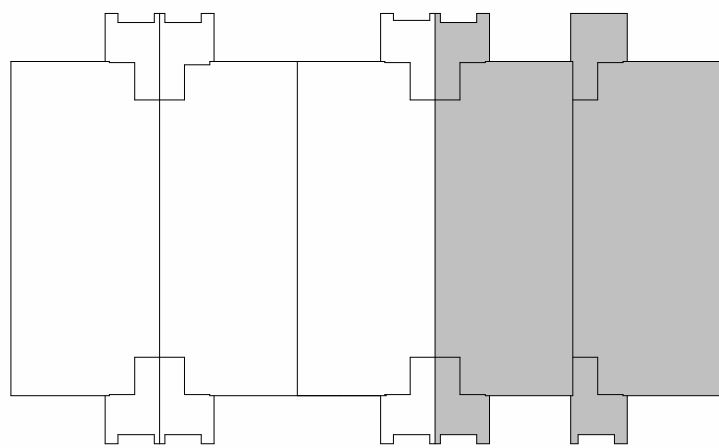




PARTIAL GROUND FLOOR PLAN - STANDARD



PARTIAL GROUND FLOOR PLAN (UPG OPTION)



KEY PLAN - GROUND FLOOR

**PLAN NOTES:**  
N.B. & SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, HEATING, VENTILATION, GAS, FIRE, VENTS, HVAC, GAS METER, HYDROMETER, ELECTRICAL AND ANY MECHANICAL EQUIPMENT. BUILDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

**FLOOR TRUSSES:**  
FLOOR TRUSSES TO BE PROVIDED IN 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR FLOOR TRUSSES. SEE HANG DIMS FOR LOCATION & NUMBER OF HOLES REQUIRED.

**FLOOR FRAMING:**  
FOR FLOOR FRAMING, REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSS JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

**FRAMEWORK / SIDING CONSTRUCTION:**  
45 MINUTE OR 1 HOUR FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 15 MINUTE TYPE 'X' GYPSUM BOARD (INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50CM AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENSURE INSULATION IS TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION 9B.2.3 OF SUPPLEMENTARY STANDARDS)  
PROVIDE 7/16" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING.  
(REFER TO B.M.C. #14-105)

**BACK VENER CONSTRUCTION:**  
45 MINUTE OR 1 HOUR FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 15 MINUTE TYPE 'X' GYPSUM BOARD (INTERIOR SIDE INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50CM AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHS, SHOWERS, ETC. ENSURE INSULATION IS TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION 9B.2.3 OF SUPPLEMENTARY STANDARDS)  
PROVIDE 7/16" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING.  
(REFER TO B.M.C. #14-105)

**HEADER / RIM JOIST LEVEL:**  
45 MINUTE OR 1 HOUR FIRE RATED @ HEADER  
PROVIDE 15 MINUTE TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

**WALL LEGEND**

|          |                            |
|----------|----------------------------|
| [Symbol] | LOAD BEARING WALL          |
| [Symbol] | MECHANICAL WALL            |
| [Symbol] | 1 HR FIRE RATED ASSEMBLY   |
| [Symbol] | 45 MIN FIRE RATED ASSEMBLY |

ENSURE THE PROTECTION OF LOAD BEARING ELEMENTS BY 5.10.3.1.1 OF THE OBC/2012 IS INSTALLED ENSURING THE CONTINUITY OF THE FIRE SEPARATION.  
IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED, PROVIDE SPEC TO INSPECTOR ON SITE.  
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH - CONSTRUCTION DETAILS: CO TO D17  
THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY ATA ENGINEERING INC. - S-01 TO S-06  
REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, PANS AND LOCATIONS



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ARCHITECT STAMP

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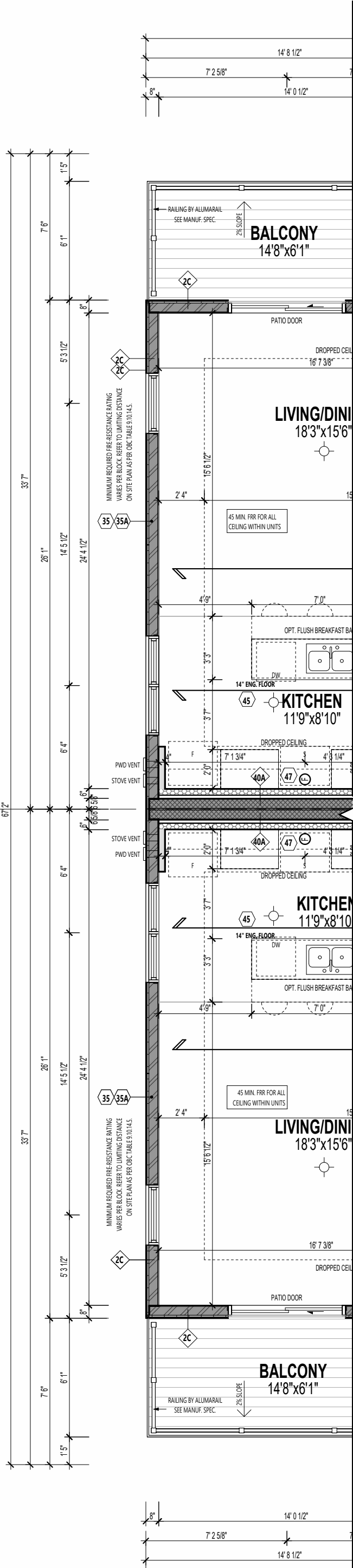
GROUND FLOOR PLAN

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7



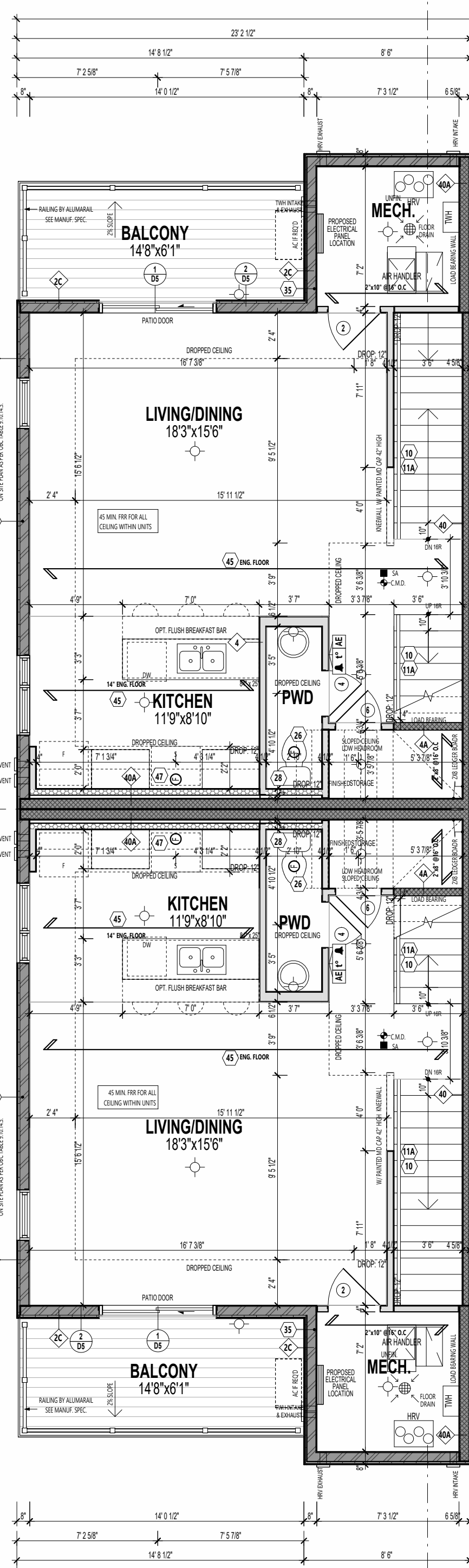
10A - EST3 'D(TN)' UPG.  
THE WILLOW II  
REV.



1A - EST3 'D(TN)' UPG.  
THE WILLOW II

PARTIAL SECOND FLOOR PLAN (UPG  
OPTION)

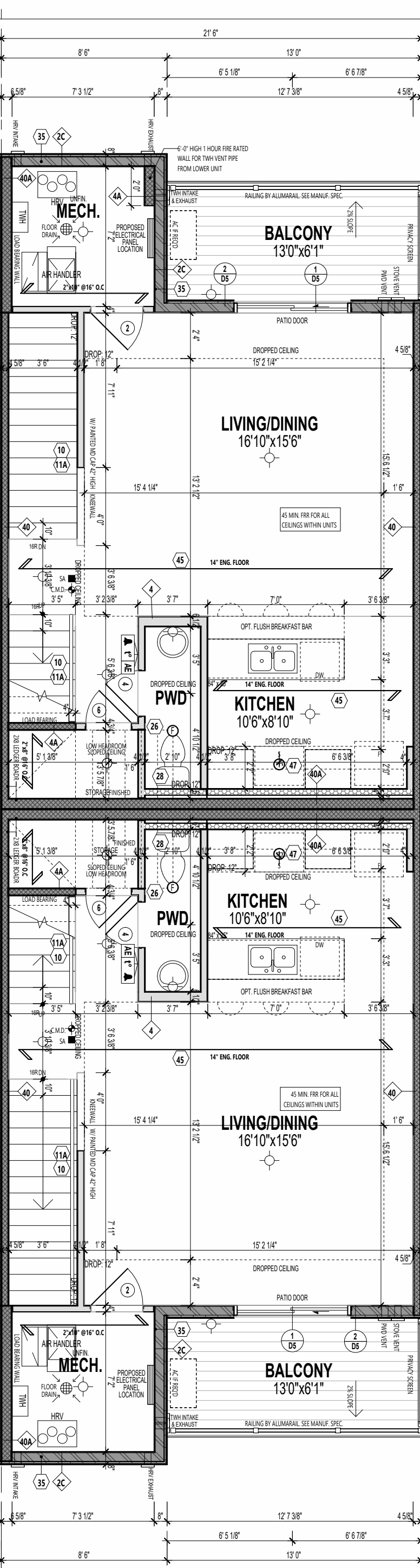
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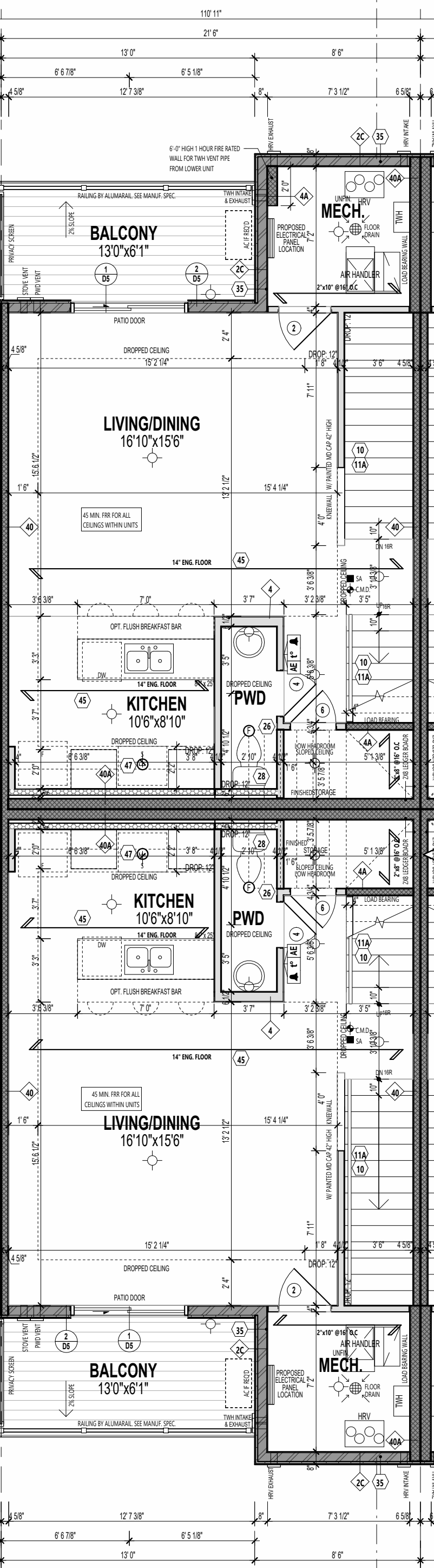
PARTIAL SECOND FLOOR PLAN - STANDARD

9A - EST1 'D(TN)'  
THE ASTER II  
REV.

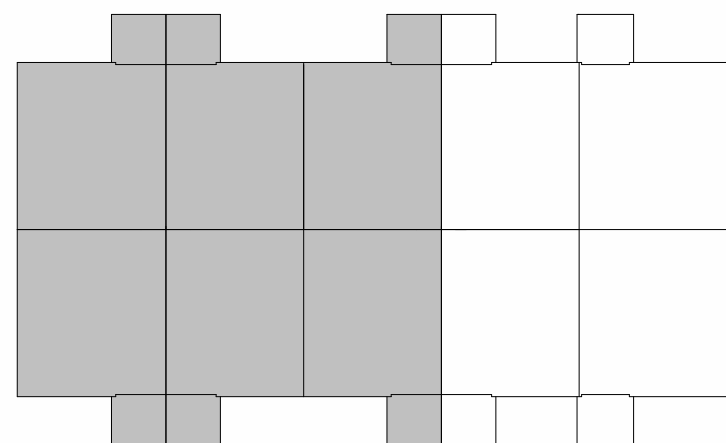


2A - EST1 'D(TN)'  
THE ASTER II  
REV.

8A - EST1 'D(TN)'  
THE ASTER II  
REV.



3A - EST1 'D(TN)'  
THE ASTER II



KEY PLAN - SECOND FLOOR

**PLAN NOTES:**  
N.B. & SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, HEVTRUCK, GAS, FIRE, VENTS, HVAC, GAS METER, HYDROMETER, ELECTRICAL AND ANY MECHANICAL EQUIPMENT BUILDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

**FLOOR TRUSSES:**  
FLOOR TRUSSES TO BE PROVIDED IN 4' O.A. PRE-CUT HOLES @ 8' APART FOR EXIST. ONLY FOR MAIN JOISTS. SEE HANG CHANGS FOR LOCATION & NUMBER OF HOLES REQUIRED TYP.

**FLOOR FRAMING:**  
FOR FLOOR FRAMING AND REFER TO FLOOR JOIST MANUFACTURERS SHOP DRAWINGS FOR ALL TRUSSES. JUST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

**FRAMEWORK / SIDING CONSTRUCTION:**  
45 MINUTE OR 1 HOUR FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 15 MIN 5/8" TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50MM AND MUST FALL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION 9A-2.3 OF SUPPLEMENTARY STANDARDS)  
PROVIDE 7/16" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING.  
(REFER TO S.M.E.C. 814-105)

**BACK (FLOOR) CONSTRUCTION:**  
45 MINUTE OR 1 HOUR FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 15 MIN 5/8" TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50MM AND MUST FALL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION 9A-2.3 OF SUPPLEMENTARY STANDARDS)

**HEADER / RIM JOIST LEVEL:**  
45 MINUTE OR 1 HOUR FIRE RATED @ HEADER  
PROVIDE 15 MIN 5/8" TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

**WALL LEGEND**

LOAD BEARING WALL

MECHANICAL WALL

1 HR FIRE RATED ASSEMBLY

45 MIN FIRE RATED ASSEMBLY

INSURE THE PROTECTION OF LOAD BEARING ELEMENTS REQ. BY S.10.3.3.1 OF THE OBC2012 IS MAINTAINED ENSURING THE CONTINUITY OF THE FIRE SEPARATION.

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED, PROVIDE SPECS TO INSPECTOR ON SITE.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH - CONSTRUCTION DETAILS: C01 TO D17

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY ATA ENGINEERING INC. - S-01 TO S-06

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RUNS AND LOCATIONS

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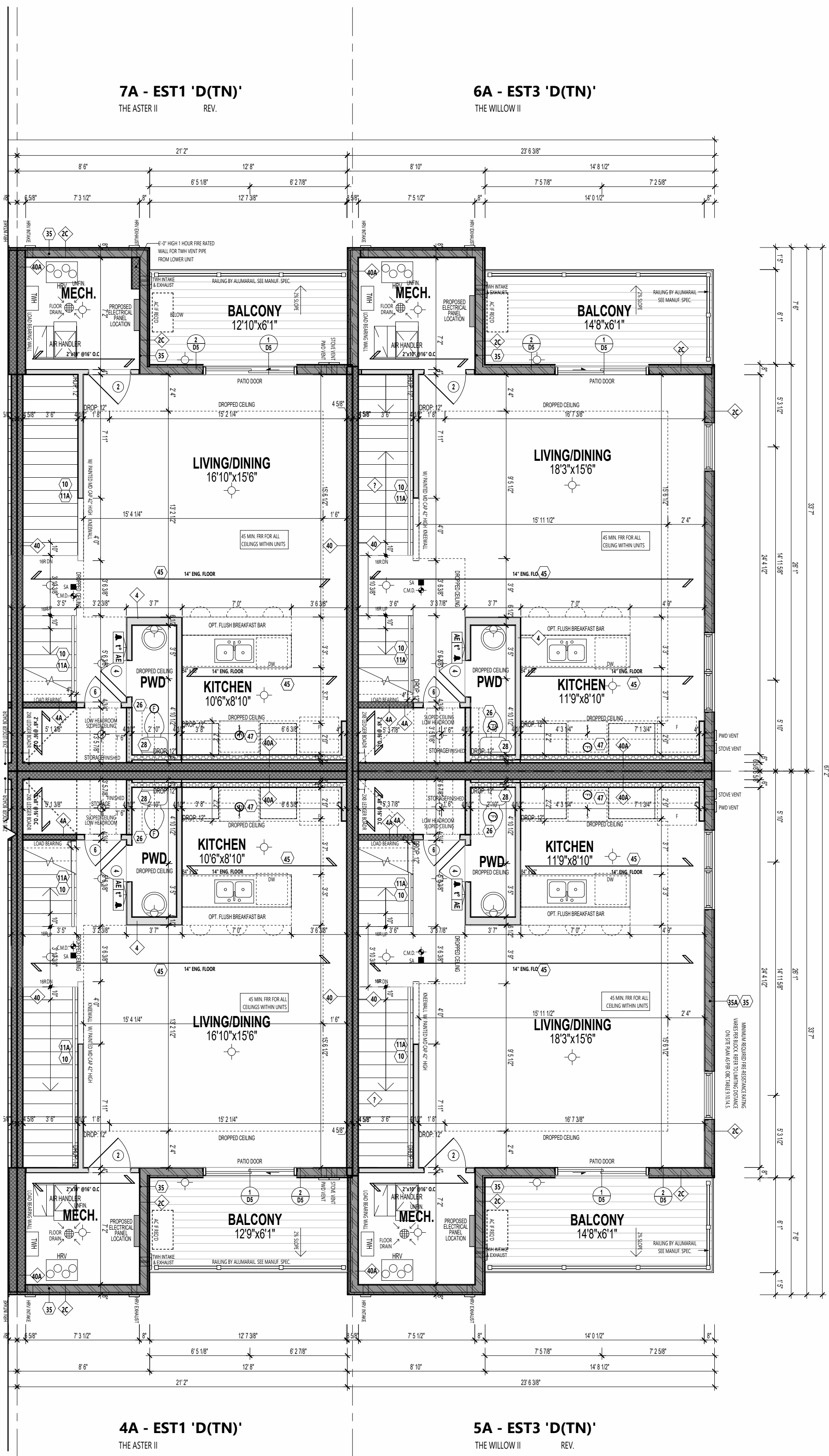
**SECOND FLOOR PLAN**

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

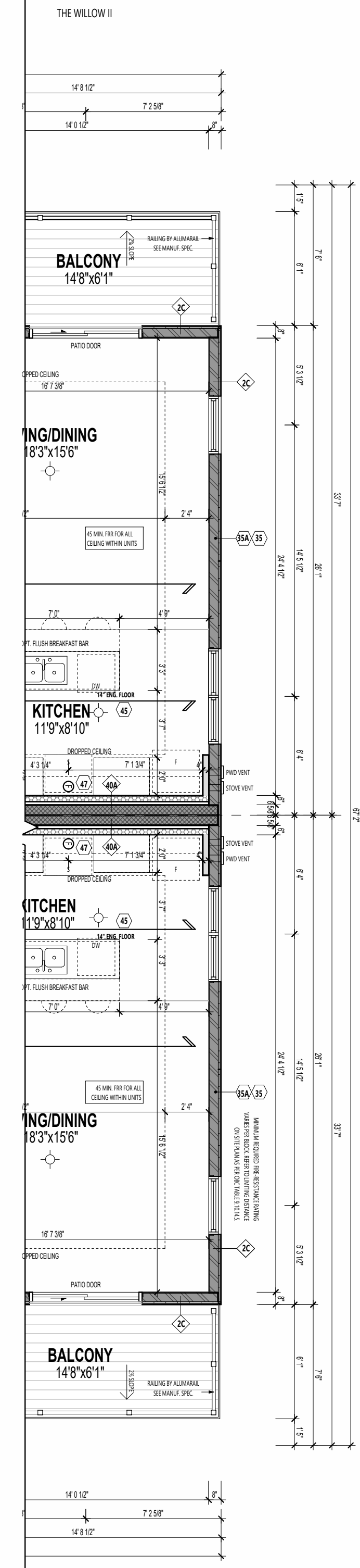
CITY OF OTTAWA  
CITY PLAN NO. CITY FILE NO.





PARTIAL SECOND FLOOR PLAN - STANDARD

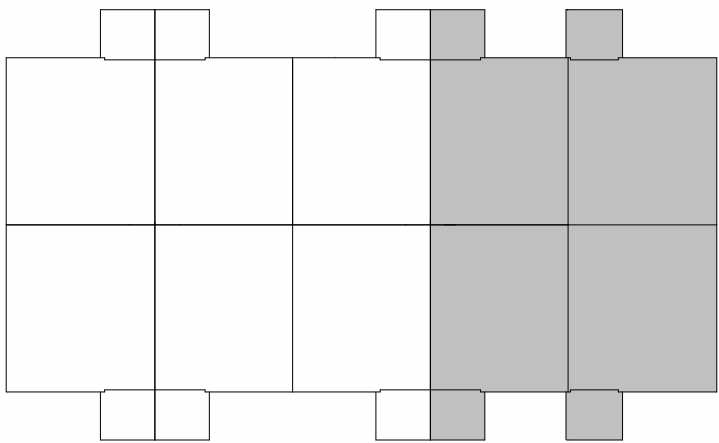
6A - EST3 'D(TN)' UPG.



5A - EST3 'D(TN)' UPG.



PARTIAL SECOND FLOOR PLAN (UPG OPTION)



KEY PLAN - SECOND FLOOR

**NOTES:**  
N.B. & SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, VENTILATION, GAS FIRE VENTS, HVAC, GAS METER, HYDROMETER, ELECTRICAL AND ANY MECHANICAL EQUIPMENT BUILDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

**FLOOR TRUSSES:**  
FLOOR TRUSSES TO BE PROVIDED IN 4' DIA. PRE-CUT HOLES @ 8' APART FOR EXIST. ONLY FOR MAIN JOISTS. SEE HVAC DWGS FOR LOCATION & NUMBER OF HOLES REQ'D. TYP.

**FLOOR FRAMING:**  
FOR FLOOR FRAMING INFO REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSSES. JUST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

**FRAMEWORK / SIDING CONSTRUCTION:**  
PROVIDE A CONTINUOUS LAYER OF 15 MIN 5/8" TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50CM AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2.3 OF SUPPLEMENTARY STANDARDS) PROVIDE 7/16" EXTERIOR GRADE GYPSUM BOARD SHEATHING BEHIND SIDING. (REFER TO S.M.E.C. #1-4-105)

**BACK (RIM) CONSTRUCTION:**  
PROVIDE A CONTINUOUS LAYER OF 15 MIN 5/8" TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PERFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/50CM AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS. (REFER TO SECTION SB-2.3 OF SUPPLEMENTARY STANDARDS)

**HEADER / RIM JOIST LEVEL:**  
PROVIDE 15 MIN 5/8" TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

**WALL LEGEND**

- LOAD BEARING WALL
- MECHANICAL WALL
- 1 HR FIRE RATED ASSEMBLY
- 45 MIN FIRE RATED ASSEMBLY

INSURE THE PROTECTION OF LOAD BEARING ELEMENTS REQ'D BY S.10.3.3.1(1) OF THE OBC2012 IS INSTALLED ENSURING THE CONTINUITY OF THE FIRE SEPARATION.

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAILED, PROVIDE DETAILS TO INSPECTOR ON SITE.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY ATA ENGINEERING INC. - S-01 TO S-06.

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, RUNS AND LOCATIONS.



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**ARCHITECT STAMP**

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**SECOND FLOOR PLAN**

**ELEVATION D (TN)**

**HALF MOON BAY SOUTH PH7**

| CITY OF OTTAWA |               |
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| CITY PLAN NO.  | CITY FILE NO. |



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SHEET SIZE 24"x36"  
SCALE As indicated  
ISSUE DATE 2025/11/07

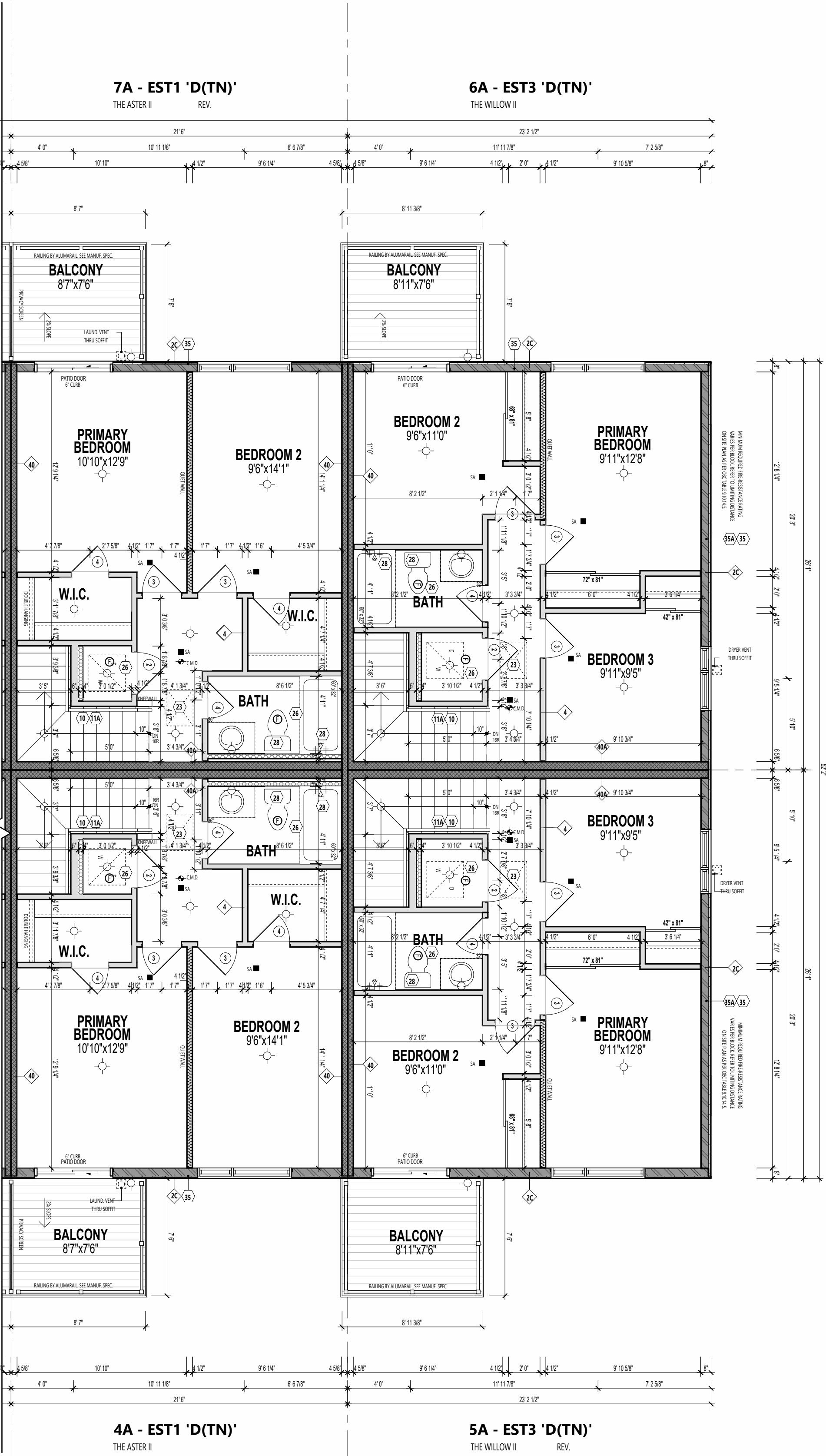
**PAGE A1.30**



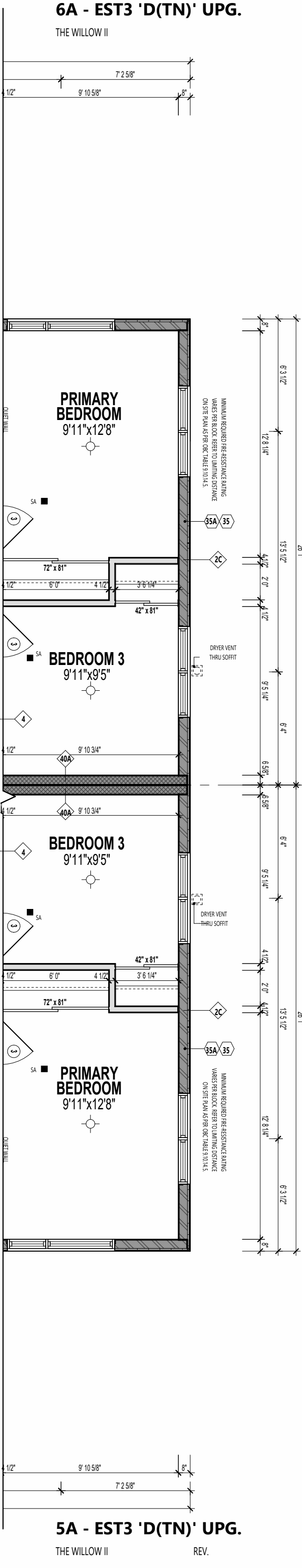
### PARTIAL THIRD FLOOR PLAN - STANDARD

KEY PLAN - THIRD FLOOR

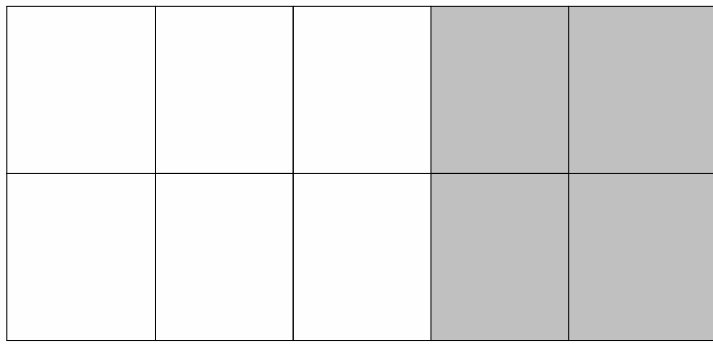




PARTIAL THIRD FLOOR PLAN - STANDARD



PARTIAL THIRD FLOOR PLAN (UPG OPTION)



KEY PLAN - THIRD FLOOR

**DIAMETERS:**  
M & E SHOWN ON ARCHITECTURAL DRAWINGS IS PROPOSED LOCATION ONLY. MECHANICAL AND ELECTRICAL ENGINEERS ARE RESPONSIBLE FOR THE DESIGN AND LOCATION OF ALL MECHANICAL, VENTILATION, GAS, FIRE, VENTS, HVAC, GAS METER, HYDROMETER, ELECTRICAL AND ANY MECHANICAL EQUIPMENT BUILDER AND SUBCONTRACTOR TO ENSURE THE INSTALLATION ADHERES TO ALL APPLICABLE CODES AND LOCAL UTILITY AUTHORITIES.

**FLOOR TRUSSES:**  
FLOOR TRUSSES TO BE PROVIDED IN 4" DIA. PRE-CUT HOLES @ 8" SPACING FOR FLOOR ONLY. FLOOR TRUSSES SHALL BE PROVIDED FOR LOCATION & NUMBER OF HOLES REQUIRED. TYP.

**FLOOR FRAMING:**  
FOR FLOOR FRAMING INFO REFER TO FLOOR JOIST MANUFACTURER'S SHOP DRAWINGS FOR ALL TRUSSES. JOIST INFORMATION AND DETAILS UNLESS OTHERWISE NOTED.

**ROOF FRAMING:**  
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDERS, TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.

**FRAMEWORK / JOISTING CONSTRUCTION:**  
45 MINUTE (OR 1 HOUR) FIRE RATED JOIST.  
PROVIDE A CONTINUOUS LAYER OF 15.9mm (5/8") TYPE 'Y' OPSYDAM BOARD. INTERIOR JOIST INSTALLED SO THAT ALL JOISTS ARE SUPPORTED, TAPPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 kg/502M AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'Y' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'Y' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION 9B-2.3 OF SUPPLEMENTARY STANDARDS)  
PROVIDE 7/16" EXTERIOR GRADE OPSYDAM BOARD SHEATHING BEHIND JOISTING.  
(REFER TO B.M.C. #1 & 105)

**BRICK VENER CONSTRUCTION:**  
45 MINUTE (OR 1 HOUR) FIRE RATED BRICK.  
PROVIDE 15.9mm (5/8") TYPE 'Y' OPSYDAM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RUN JOIST WHEN FLOOR JOISTS ARE PARALLEL TO BRICK JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

**HEADER / RUN JOIST LEVEL:**  
45 MINUTE (OR 1 HOUR) FIRE RATING @ HEADER.  
PROVIDE 15.9mm (5/8") TYPE 'Y' OPSYDAM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RUN JOIST WHEN FLOOR JOISTS ARE PARALLEL TO BRICK JOIST TO MAINTAIN 45 MINUTE OR 1 HOUR FIRE RATING.

**WALL LEGEND**

|  |                             |
|--|-----------------------------|
|  | LOAD BEARING WALL           |
|  | MECHANICAL WALL             |
|  | 1 HR FIRE RATED ASSEMBLY    |
|  | 45 MIN. FIRE RATED ASSEMBLY |

ENSURE THE PROTECTION OF LOAD BEARING ELEMENTS REQ. BY 9.10.8.3(1) OF THE OREGO12 IS INSTALLED ENSURING THE CONTINUITY OF THE FIRE SEPARATION.

IF FIRE SEPARATIONS OR RESISTANCE RATINGS ARE OTHER THAN DETAIL, PROVIDE SPECS TO INSPECTOR ON SITE.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH - CONSTRUCTION DETAILS 00 TO 017.

THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS BY AIN ENGINEERING INC. - 5-01 TO 5-06.

REFER TO HVAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS, PIPES AND LOCATIONS.



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ARCHITECT STAMP

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THIRD FLOOR PLAN

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7





**BIM**  
**STUDIO**

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bim@bimstudio.ca

**ARCHITECT DISCLAIMER**

**ARCHITECT STAMP**

## ROOF PLAN

**ELEVATION D (TN)**

**HALF MOON BAY SOUTH PH7**

CITY OF OTTAWA

|               |               |
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| CITY PLAN NO. | CITY FILE NO. |
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SHEET SIZE 24"x36"  
SCALE 3/16" = 1'-0"  
ISSUE DATE 2025/11/07

PAGE A1.40



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 OBLIGATION TO REVIEW, SHOP DRAWINGS  
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## CITY OF OTTAWA





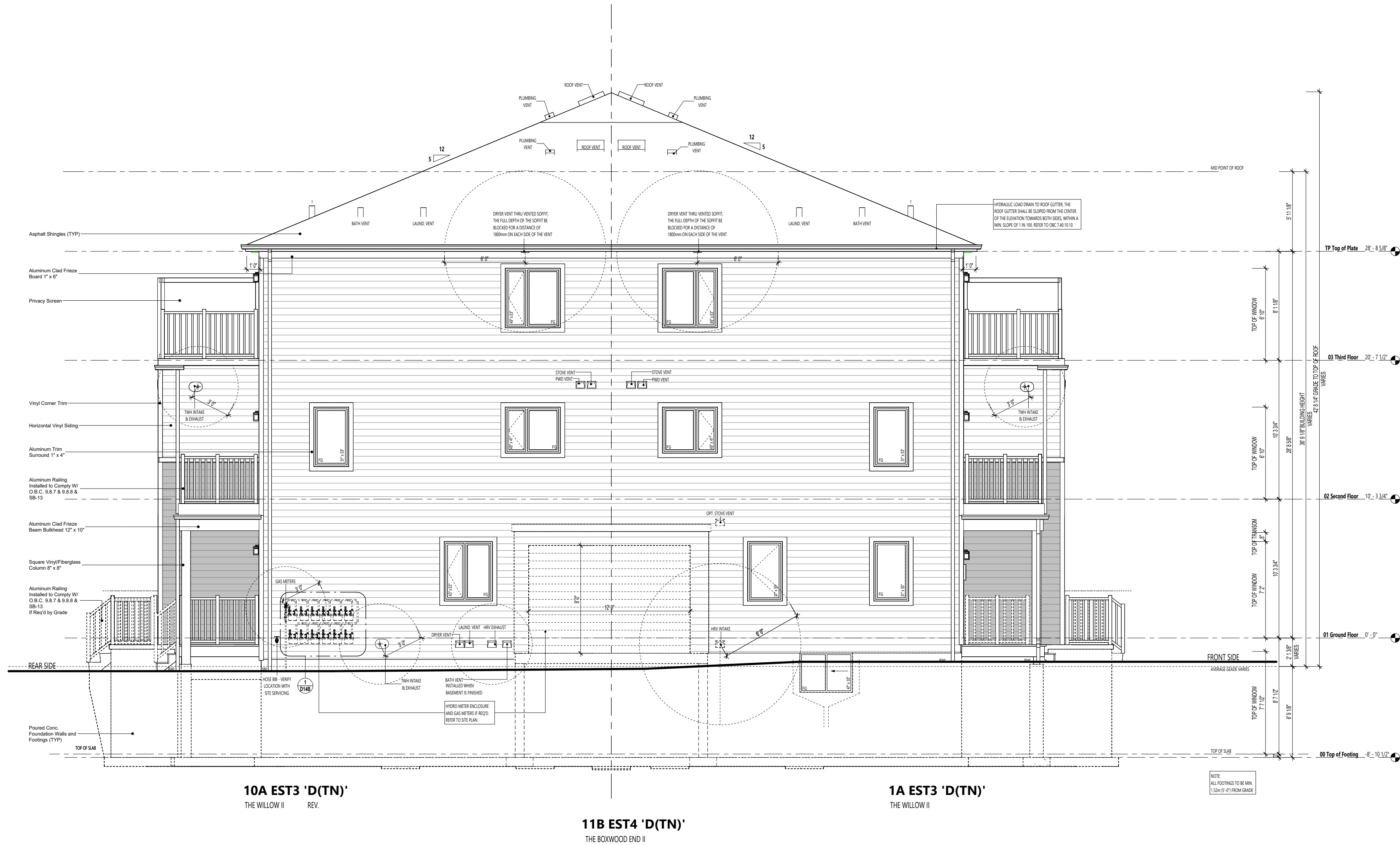
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**ISSUED / REVISION CHART**

[illegible]**HALF MOON BAY SOUTH PH7**

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| CITY PLAN NO. | CITY FILE NO. |
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PAGE A2.10





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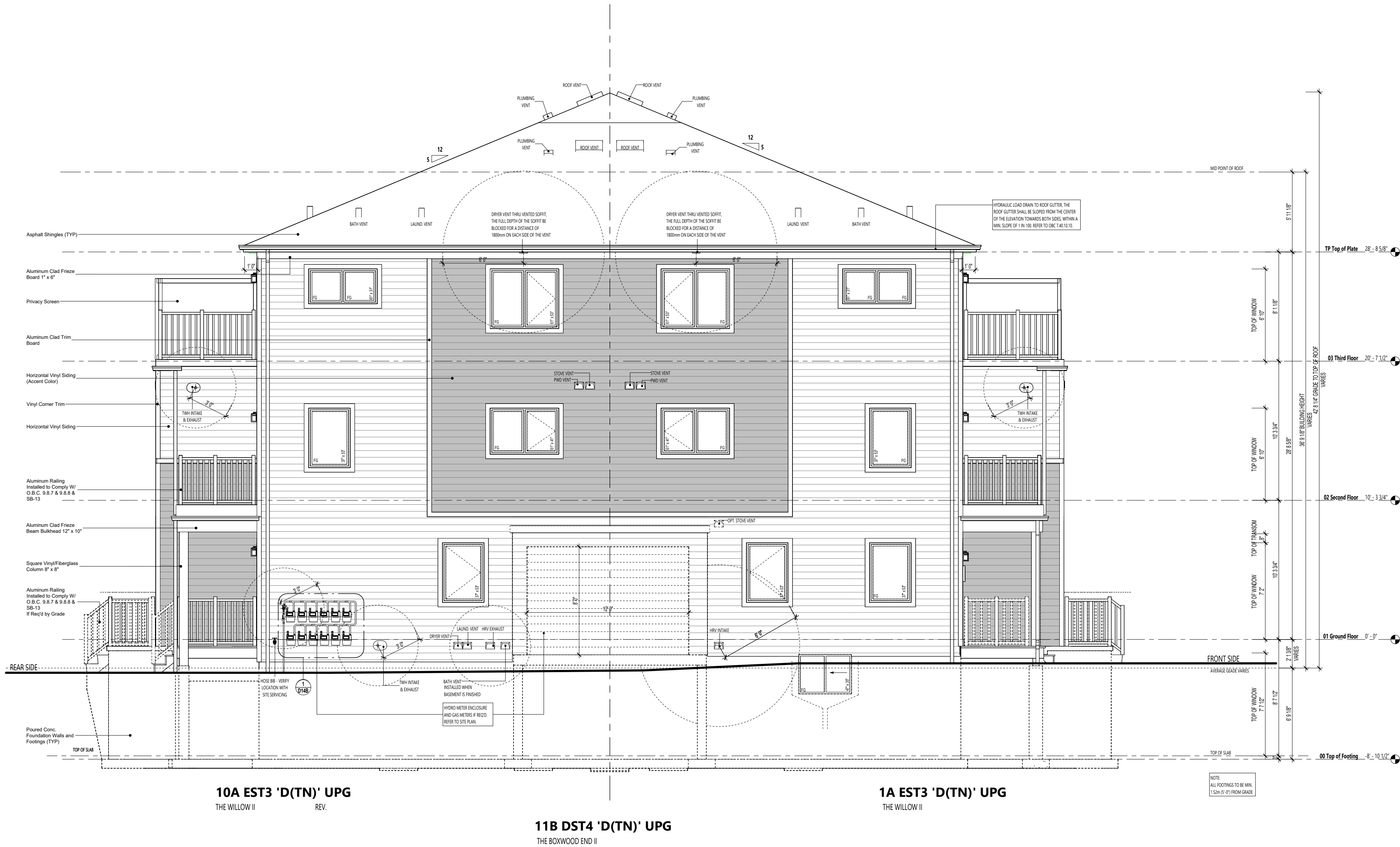
ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

CITY OF OTTAWA

CITY PLAN NO. CITY FILE NO.

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## REAR ELEVATION

ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

| CITY OF OTTAWA |               |
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| CITY PLAN NO.  | CITY FILE NO. |





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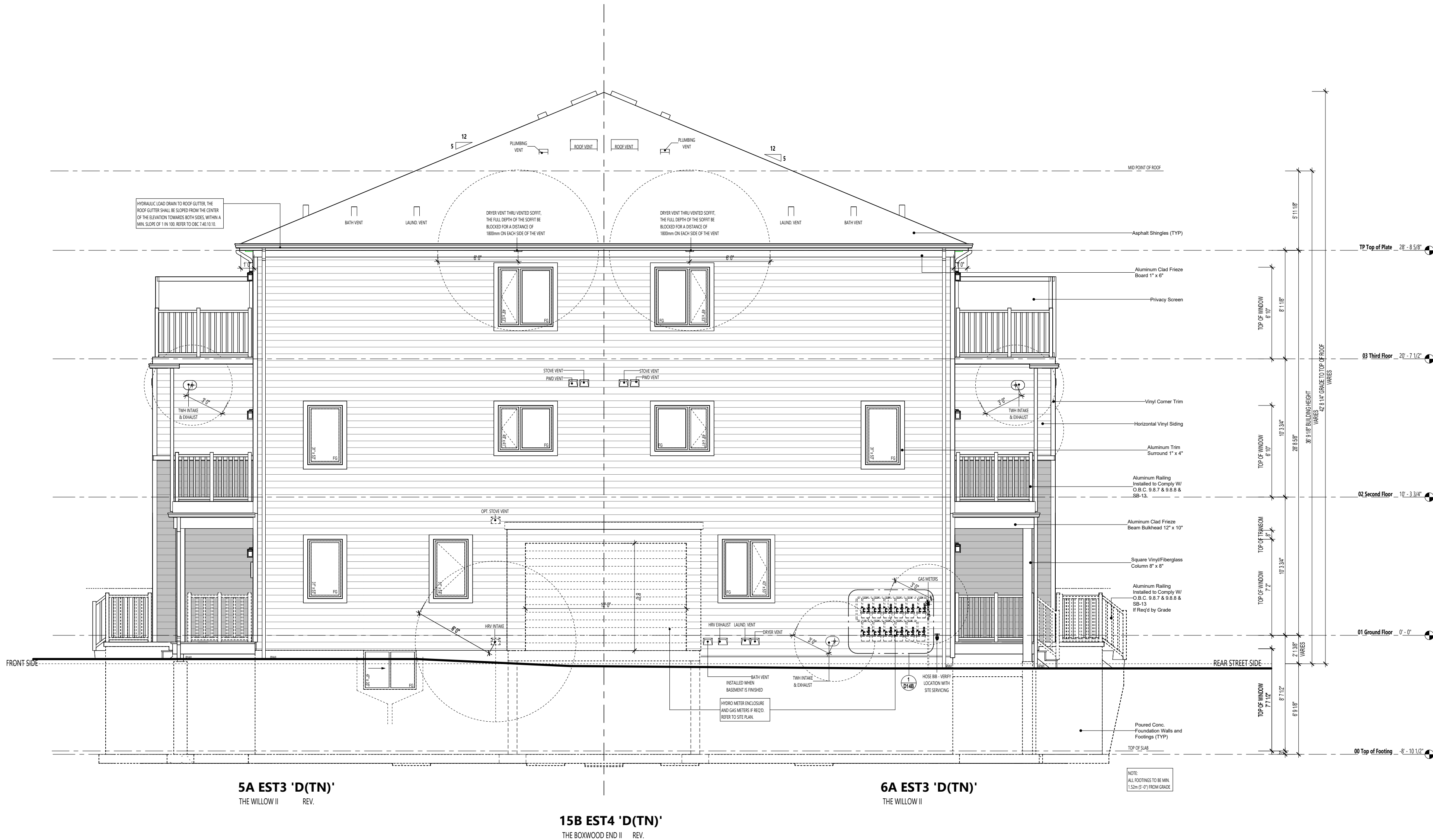
ELEVATION D (TN)

HALF MOON BAY SOUTH PH7

CITY OF OTTAWA

CITY PLAN NO. CITY FILE NO.

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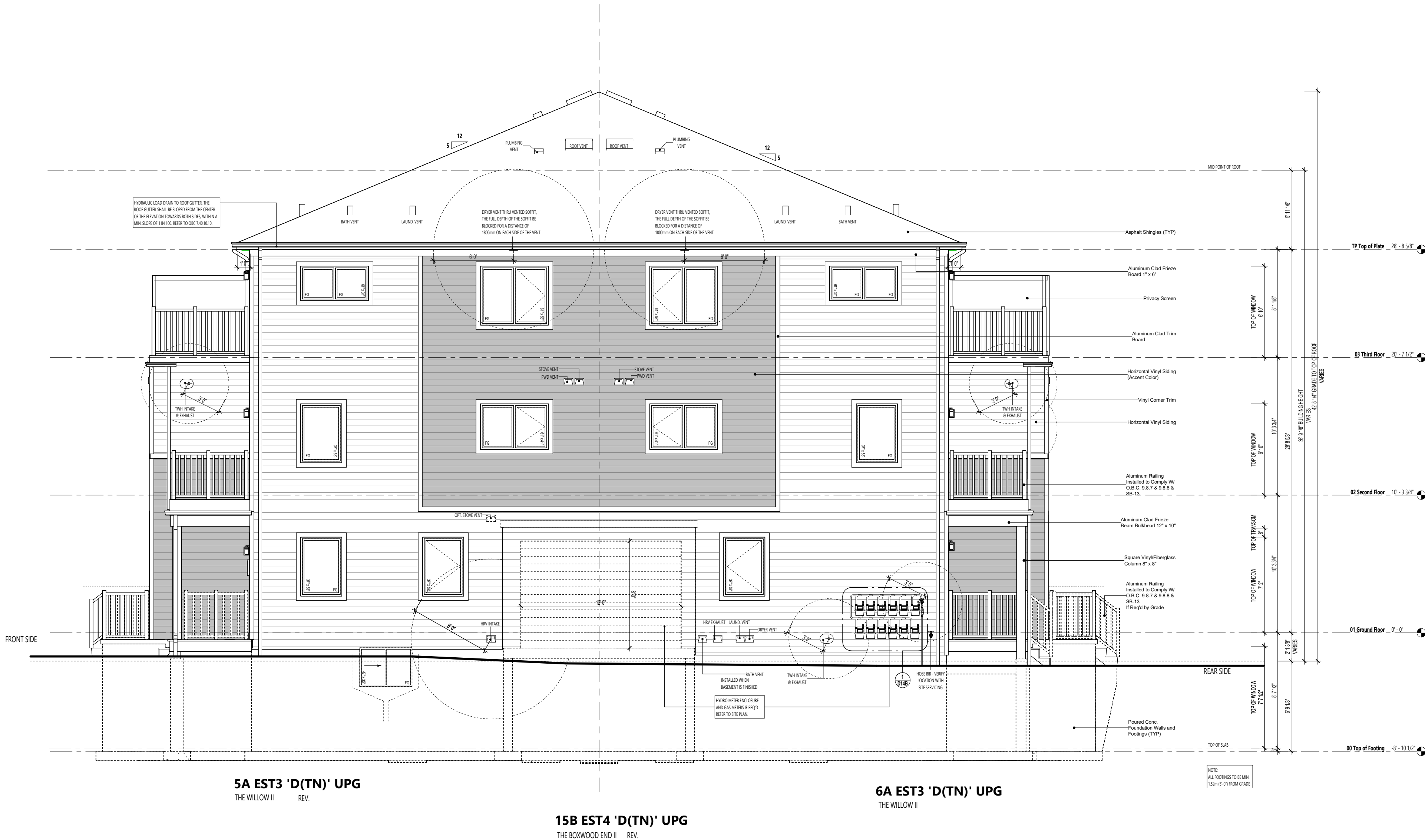
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**ROOF FRAMING:**  
ALL LAMINATED VENEER LUMBER (LVL) BEAMS, BUILT-UP BEAMS, GIRDER, TRUSSES AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED AND CERTIFIED BY ROOF TRUSS MANUFACTURER. REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED ON ARCHITECTURAL DRAWINGS.



# STUDIO

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organica  
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architecture | interiors | design | research

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**ARCHITECT STAMP**

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## BUILDING SECTIONS

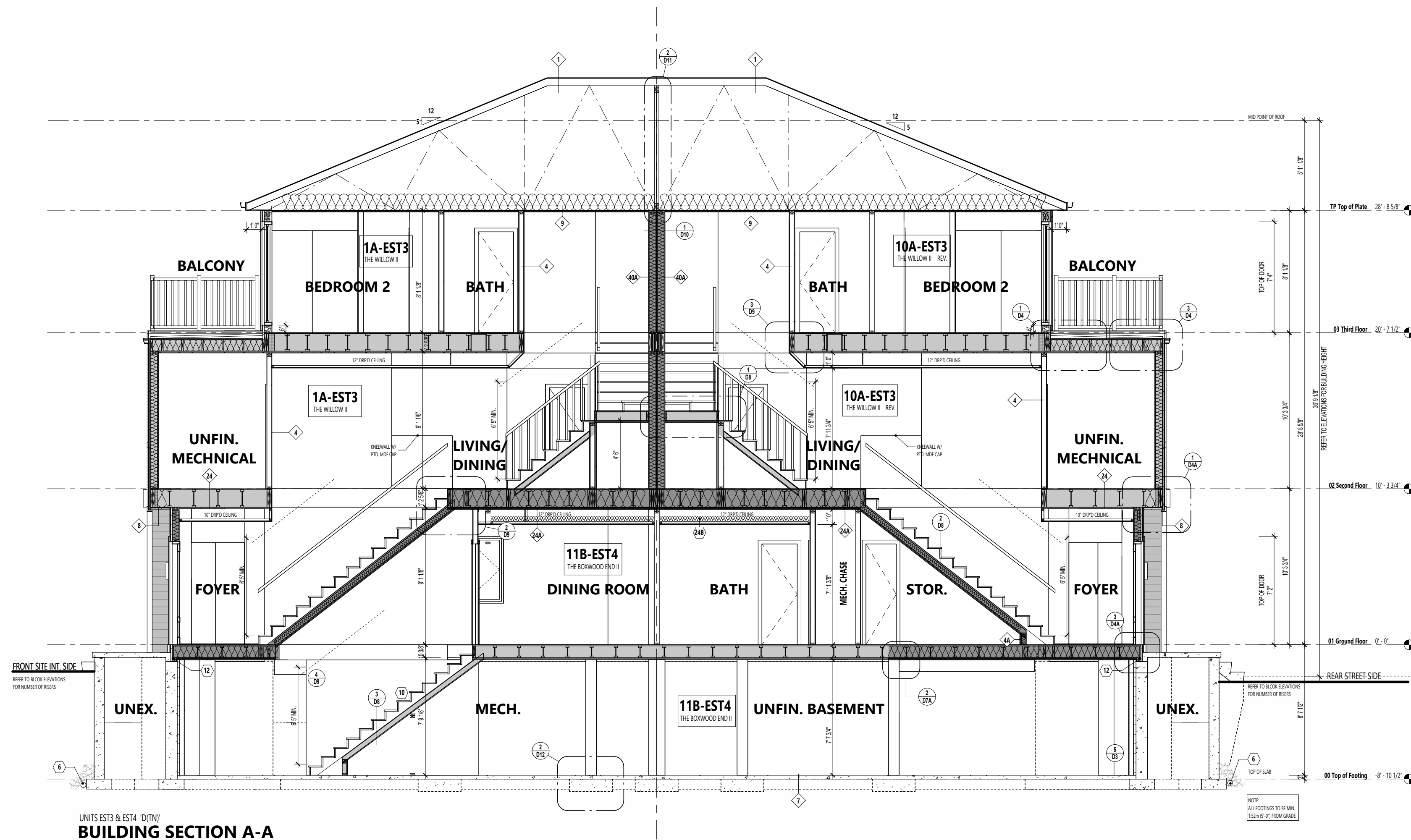
**ELEVATION D (TN)**

**HALF MOON BAY SOUTH PH7**

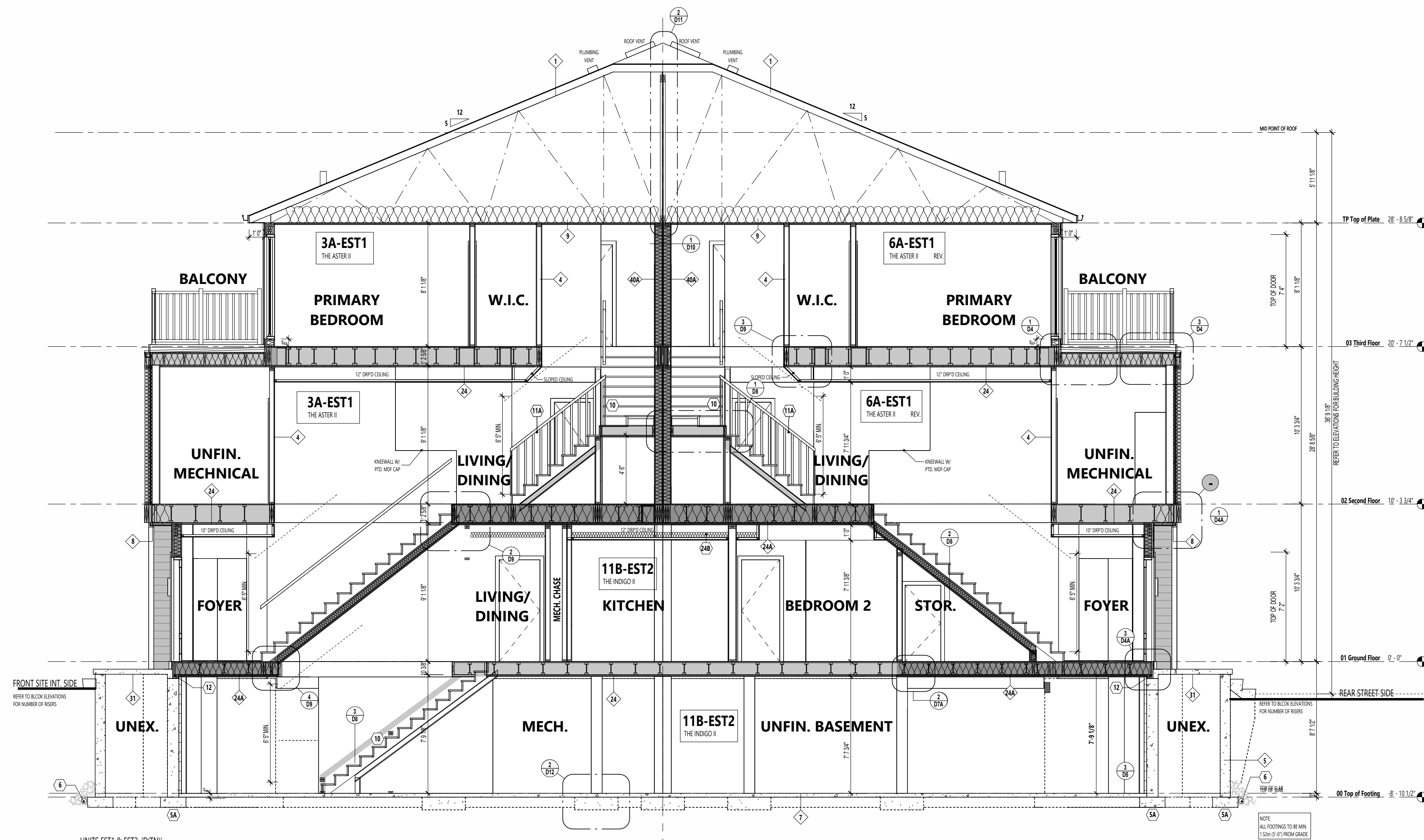
CITY OF OTTAWA

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**PAGE A3.00**

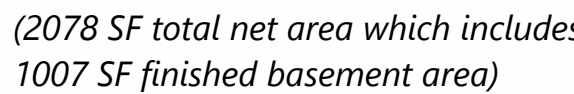
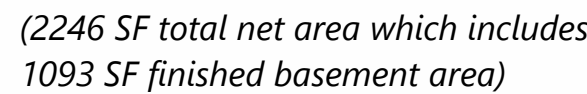
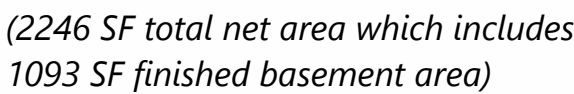


UNITS EST3 & EST4 'D(TN)'  
**BUILDING SECTION A-A**



UNITS EST1 & EST2 'D(TN)'  
**BUILDING SECTION B-B**





**PAGE A4.00**



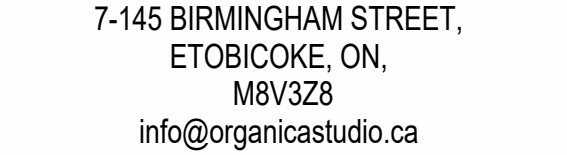
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DRAWINGS BY ATA ENGINEERING INC. - S-01 TO S-06

REFER TO H/VAC DRAWINGS FOR LAYOUT OF MECHANICAL ROOMS,  
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SHEET SIZE 24"x36"  
SCALE As indicated  
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**PAGE A4.10**



4 Partial Third Floor Plan  
(Double Ensuite Option)  
3/16" = 1'-0"