



**PATERSON
GROUP**

November 5, 2025
File: PE7311-LET.01

Mattamy Homes
50 Hines Road, Suite 100
Ottawa, Ontario
K2K 2M5

Attention: **Ms. Arden Hamilton**

Subject: **Phase I - Environmental Site Assessment Update** patersongroup.ca
251 Linseed Road
Ottawa, Ontario

Dear Sir,

Further to your request, Paterson Group (Paterson) carried out a Phase I Environmental Site Assessment (ESA) Update for the aforementioned property. This report updates a Phase I ESA entitled "Phase I Environmental Site Assessment, 1020 & 1070 March Road, Ottawa, Ontario" prepared by Morey Associates, dated May, 2019. The 2019 Phase I ESA was completed for a larger parcel of land that included the Phase I ESA Update Property. This update report is intended to meet the requirements for an updated Phase I ESA, as per the MECP O.Reg. 153/04, as amended.

Background

The Phase I Property is located on the northeast corner of the intersection of March Road and Linseed Road in the City of Ottawa, Ontario. The Phase I Property consists of an irregularly shaped parcel of land with an area of approximately 1.09ha. The Phase I Property is situated in a primarily residential and vacant agricultural land use area.

Previous Engineering Reports

The following report was reviewed prior to this assessment:

- 'Phase I, Environmental Site Assessment, 1020 & 1070 March Road, Ottawa, Ontario,' prepared by Morey Associates, dated May, 2019.

Consulting Engineers

9 Auriga Drive
Ottawa, Ontario
K2E 7T9

Tel: (613) 226-7381

Geotechnical Engineering
Environmental Engineering
Hydrogeology
Materials Testing
Building Science
Rural Development Design
Retaining Wall Design
Noise and Vibration Studies



This report was prepared for a large, 48 hectare, parcel of land under two municipal addresses: 1020 and 1070 March Road. The Phase I property included the present Phase I ESA Update property.

The Phase I ESA indicated that based on available aerial photographs the Phase I Property was first developed for agricultural purposes and an associated dwelling some time prior to 1934.

At the time of the original Phase I - ESA, the site consisted of vacant agricultural lands. All former residential dwellings and barn buildings had been demolished at the time of the original Phase I ESA. Neighbouring properties generally consisted of residential dwellings, an elementary school, limited commercial retail space and vacant agricultural lands. No significant potential environmental concerns were identified with the historical use of the subject and neighbouring properties.

Morey Associates identified several potentially contaminating activities (PCAs) in their original Phase I ESA which they considered to result in areas of potential environmental concern (APECs) on the Phase I Property. These included an earthen mound and assumed presence of fill material used in the construction of the buildings on site. These also include an AST and a former rail line which are both east of the Phase I ESA Update Property.

The assumed presence of fill was identified on an area of the site which overlaps with the current Phase I ESA Update property. Based on Paterson's own interpretation of the aerial photos, review of other sources, the potential presence of fill is not considered to represent an actual APEC on the Phase I Update property. Potential fill material appears to be related to the placement of a granular pad adjacent to March Road.

The original Phase I ESA concluded that there was no regulatory requirement for a Phase II ESA at the time.

Records Update

Environment Canada

A search of the National Pollutant Release Inventory (NPRI) was conducted electronically on October 28, 2025. The Phase I Property was not listed in the NPRI database. No records of pollutant release were listed in the database for properties located within the Phase I Study Area.



MECP Brownfields Environmental Site Registry

A search of the MECP Brownfields Environmental Site Registry was conducted as part of this assessment for the subject site and neighbouring properties. No Records of Site Condition (RSCs) were filed for the subject site or neighbouring properties within a 250m radius of the Phase I Property.

Technical Standards and Safety Authority (TSSA)

The TSSA, Fuels Safety Branch in Toronto, was contacted October 28, 2025, and November 2nd 2025 to inquire about current and former underground/aboveground storage tanks, for the Phase I Property and neighbouring properties. No records were found for the Phase I Property or neighbouring properties. A copy of the TSSA correspondence is appended to this report.

City of Ottawa Historical Land Use Inventory (HLUI)

As part of this assessment, a requisition form was submitted to the City of Ottawa to request information from the City's Historical Land Use Inventory (HLUI) database for any environmental records pertaining to the Phase I Property as well as any properties situated within the Phase I Study Area. A response from the City of Ottawa had not been received by our firm prior to the issuance of this report, however, a copy of the response will be forwarded to the client should it contain any new pertinent information.

A copy of the submission request has been appended to this report.

Environmental Risk Information Services (ERIS) Report

As part of the initial 2019 Phase I ESA an ERIS report was obtained for the properties addressed 1020 and 1070 March Road. These properties represent a larger area whose footprint encompasses the Phase I ESA Update property. The findings of the ERIS report were not considered to indicate any major environmental concern for the Phase I Property. An ERIS report was not obtained as part of this Phase I ESA Update report for the following reasons. There is a limited time horizon separating the initial ERIS report from this Phase I ESA Update, and a review of other documentation and records suggest that there have been no substantial changes to the land use of the Phase I ESA Property. Furthermore, the changes to the land use of the neighbouring properties in the Phase I ESA Study area are primarily represented by the construction of residential dwellings and one fire station. Therefore, a subsequent ERIS report was not considered to have yielded novel results which are pertinent to the conclusions of this Phase I ESA Update report.



Aerial Photographs

The latest aerial photograph reviewed as part of the 2019 Phase I ESA was from 2018. A 2025 aerial photograph was reviewed for this update. Since the previous photograph the Phase I Property has been cleared and grubbed. Some material appears to be stockpiled on the subject site. Additionally, multiple vehicles can be seen parked on the west side of the site. Since the previous photograph a fire station has been constructed to the west of the Phase I Property, Linseed Road has been constructed to the south, and residential dwellings have been constructed to the east. The property south of Linseed Road has also been cleared and grubbed since the previous photograph.

Based on Paterson's knowledge of the Northwoods subdivision, the stockpile observed in the aerial photo consists of soil stripped from other areas of the subdivision and is not considered to represent an environmental concern to the subject site.

A copy of the 2025 aerial photograph has been appended to this report.

Well Records

A search of the MECP's website for all drilled well records within 250m of the Phase I Property was conducted. Based on the online mapping search results, one well record was identified on the Phase I Property. Based on the driller's location sketch, this record was erroneously located on the Phase I Property. According to this website there are six records of wells within 250m of the Phase I Study Area, including one monitoring well, one abandonment and 3 domestic uses. As a result, potable wells are expected to be present within the Phase I Study Area.

Personal Interview

Ms. Olivia Hughes, Land Development Manager for Mattamy Homes, was available via phone on November 4th, 2025, to respond to questions about the subject site. Mattamy Homes is the current landowner of the Phase I Property and Ms. Hughes has been involved with the Northwoods development which encompasses the Phase I Update Property, for several years. Ms. Hughes indicated that there has been no development activity on the Phase I Update Property between the original Phase I ESA and the present. She stated that a contractor had used a portion of the property as a staging yard while they were completing site servicing works for the Northwoods development. She further stated that to her knowledge there had not been any fuel storage tanks used or stored on this staging yard. Ms. Hughes stated that she was not aware of any environmental concerns associated with the subject or neighbouring properties.



Site Reconnaissance

A site visit was conducted on October 31, 2025, by Paterson personnel from the environmental department. The uses of the subject and neighbouring properties were assessed at the time of the site visit.

The Phase I Property consisted of a vacant plot of land with a berm along the northern property line. The site topography is generally flat, with the local topography sloping downward to the east in the direction of the Ottawa River. Site drainage consists primarily of infiltration in the landscaped areas.

No evidence of any aboveground or underground storage tanks was noted at the time of the site visit. No signs of staining or discolouration were observed on the ground. No areas of ponded water or frozen water were observed. No unidentified substances, fill material of unknown quality or PCAs were identified during the site visit. The berm consists of reworked native soil from the subdivision.

Neighbouring Properties

An inspection of the neighbouring properties was conducted from publicly accessible roadways at the time of the site inspection. Land use adjacent to the Phase I Property was as follows:

- North: Residential dwellings, followed by a commercial retail strip mall;
- South: Linseed Road, followed by commercial homes sales center;
- East: Residential dwellings, followed Tonic Crescent and further residential dwellings;
- West: March Road followed by a fire station and Buckbean Avenue;

No other potential concerns were identified with the current use of the surrounding lands.

Conceptual Site Model Update

Based on the review of current information for the Phase I Property as well as the recent site visit, the following describes the Phase I Conceptual Site Model:

Existing Buildings and Structures / Proposed Redevelopment

The Phase I Property is currently vacant. The land is intended to be redeveloped with four multi-unit residential buildings.



Subsurface Structures and Utilities

No subsurface structures or utilities are known to exist on the Phase I Update Property.

Neighbouring Land Use

Neighbouring land use within 250m of the subject property consists primarily of residential with some commercial, institutional, and agricultural land use.

Potentially Contaminating Activities and Areas of Potential Environmental Concern

No PCAs were identified on the Phase I Property or adjacent properties.

Assessment of Uncertainty and/or Absence of Information

The information available for review as part of the preparation of the Phase I ESA Update is considered to be sufficient to conclude that there are no PCAs that have resulted in an APEC on the Phase I Property.

A variety of independent sources were consulted as part of this assessment, and as such, the conclusions of this report are not affected by uncertainty which may be present with respect to the individual sources.

Conclusion

As a result of the records update and follow-up site visit undertaken as part of this assessment in order to meet the requirements of O.Reg. 153/04, as amended, **it is our opinion that a Phase II ESA is not required for the Phase I Property**



Statement of Limitations

This Phase I Environmental Site Assessment Update report has been prepared under the supervision of a Qualified Person, in general accordance with Ontario Regulation 153/04, as amended, under the Environmental Protection Act. The conclusions presented herein are based on information gathered from a limited historical review and field inspection program. The findings of the Phase I ESA Update are based on a review of readily available geological, historical, and regulatory information and a cursory review made at the time of the field assessment.

Should any conditions be encountered at the site and/or historical information that differ from our findings, we request that we be notified immediately in order to allow for a reassessment.

This report was prepared for the sole use of Mattamy Homes. Permission and notification from Mattamy Homes and Paterson will be required to release this report to any other party.

We trust that this submission satisfies your current requirements. Should you have any questions please contact the undersigned.

Paterson Group Inc.

Mark Bujaki, B.Sc., MBA

Adrian Menyhart, P.Eng., QP_{ESA}



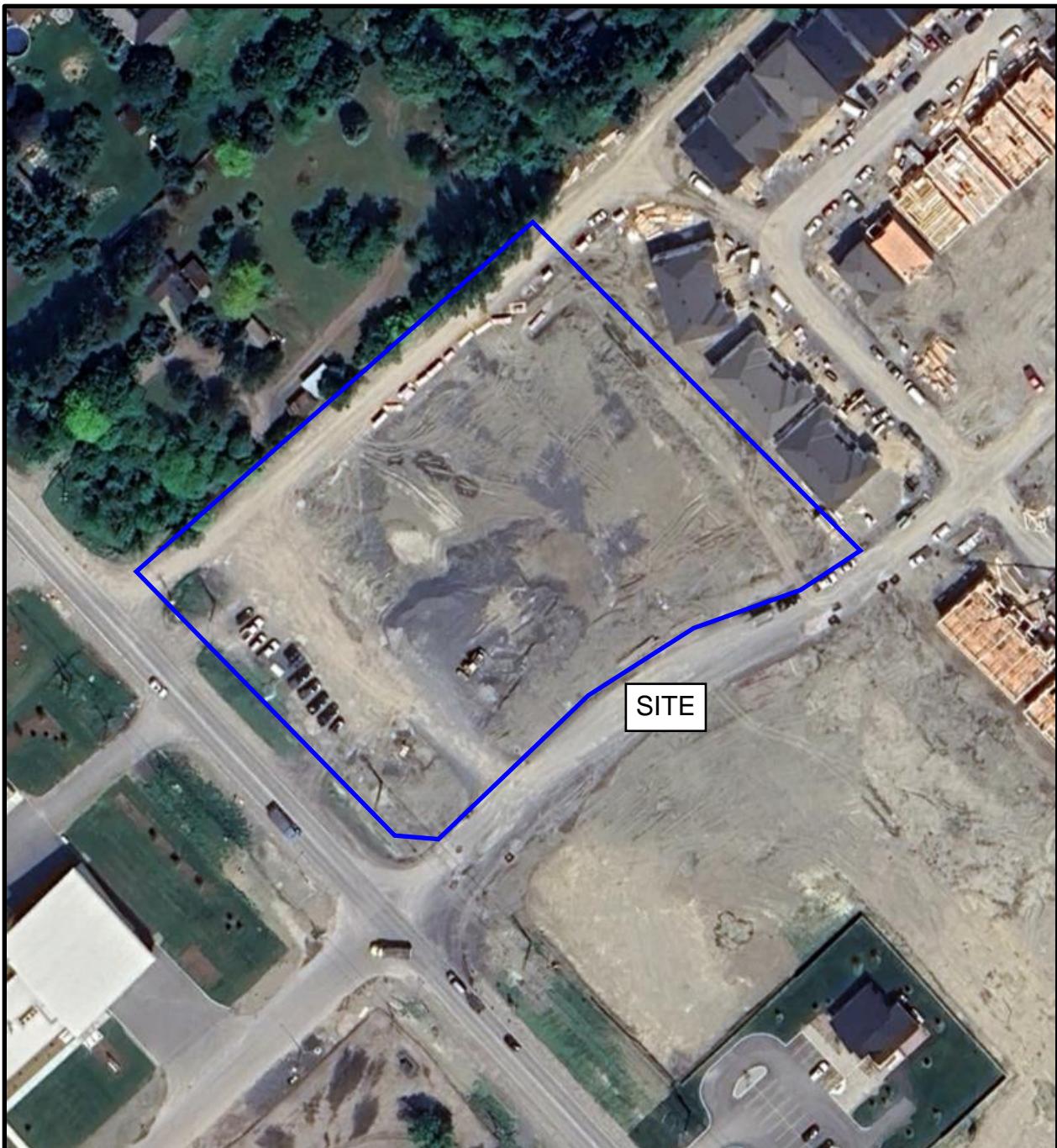
Report Distribution:

- Mattamy Homes
- Paterson Group

Appendix:

- 2025 Aerial Photograph
- TSSA Response
- HLUI
- PE7311-1-Site Plan





AERIAL PHOTOGRAPH
2025

Mark Bujaki

From: Public Information Services <publicinformationservices@tssa.org>
Sent: October 28, 2025 9:37 AM
To: Mark Bujaki
Subject: RE: PE7311 - Records Search Request

External Email: Do not click on links or open attachments unless you trust the sender.

Hello ,

NO RECORDS FOUND IN CURRENT DATABASE:

- We confirm that there are **NO fuels records** in our database at the subject address(es).

This is not a confirmation that there are no records in the archives. For a further search in our archives, please go to the [TSSA Client Portal](#) to complete an Application for Release of Public Information.

Please refer to [Training \(tssa.org\)](#) for instructions on how to use the portal. Please refer to [How to Submit a Public Information Request \(tssa.org\)](#) for instructions.

The associated fee must be paid via credit card (Visa or MasterCard).

Once all steps have been successfully completed you will receive your payment receipt via email.

TSSA does not make any representations or warranties with respect to the accuracy or completeness of any records released. The requestor assumes all risk in using or relying on the information provided.

If you have any questions or concerns, please do not hesitate to contact our Public Information Release team at publicinformationservices@tssa.org.

Kind regards,



Slavka Zahrebelny | Public Information & Records Agent
Public Information
345 Carlingview Drive
Toronto, Ontario M9W 6N9
Tel: +1 416-734-3585 | Fax: +1 416-734-6242 | E-Mail: szahrebelny@tssa.org
www.tssa.org



Winner of 2025 5-Star Safety Cultures Award

From: Mark Bujaki <mbujaki@Patersongroup.ca>
Sent: October 28, 2025 8:53 AM
To: Public Information Services <publicinformationservices@tssa.org>
Cc: Environmental Searches <environmentalsearches@Patersongroup.ca>
Subject: PE7311 - Records Search Request

[CAUTION]: THIS EMAIL ORIGINATED OUTSIDE THE ORGANISATION.
PLEASE DO NOT CLICK LINKS OR OPEN ATTACHMENTS UNLESS YOU RECOGNISE THE SOURCE OF THIS EMAIL AND KNOW THE CONTENT IS SAFE.

Hello,

Could you please complete a search of your records for underground/aboveground storage tanks for the following addresses located in Ottawa, Ontario.

1015 March Road
1020 March Road
1035 March Road
1053 March Road
1070 March Road
1075 March Road
1090 March Road

1060 March Valley Road
1345 March Valley Road
1365 March Valley Road

Thank you



Mark Bujaki, B.Sc., MBA
Junior Environmental Scientist
Environmental Division
TEL: (613) 226-7381 ext. 335
DIRECT: (613) 299-4209
9 AURIGA DRIVE
OTTAWA ON K2E 7T9
patersongroup.ca

TEMPORARY SHORING DESIGN SERVICES ARE NOW AVAILABLE, PLEASE CONTACT US TO SEE HOW WE CAN HELP!
NEW OFFICE OPEN IN THE GREATER TORONTO AREA WITH OUR EXPANSIVE LIST OF SERVICES NOW AVAILABLE!

This electronic message and any attached documents are intended only for the named recipients. This communication from the Technical Standards and Safety Authority may contain information that is privileged, confidential or otherwise protected from disclosure and it must not be disclosed, copied, forwarded or distributed without authorization. If you have received this message in error, please notify the sender immediately and delete the original message.

Mark Bujaki

From: Public Information Services <publicinformationservices@tssa.org>
Sent: November 3, 2025 12:25 PM
To: Mark Bujaki
Subject: RE: PE7311 - Records Search Request

External Email: Do not click on links or open attachments unless you trust the sender.

Hello ,

NO RECORD FOUND IN CURRENT DATABASE:

- We confirm that there are **NO fuels records** in our database at the subject address(es).

For a further search in our archives, please go to the [TSSA Client Portal](#) to complete an Application for Release of Public Information. Please refer to [Training \(tssa.org\)](#) for instructions on how to use the portal. Please refer to [How to Submit a Public Information Request \(tssa.org\)](#) for instructions.

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If you have any questions or concerns, please do not hesitate to contact our Public Information Release team at publicinformationservices@tssa.org.

Kind regards,



Cassandra Cecilia | Public Information Agent

Facilities and Business Services
345 Carlingview Drive
Toronto, Ontario M9W 6N9
Tel: +1-416-734-6222 | Fax: +1-416-734-3568 | E-Mail: publicinformationservices@tssa.org
www.tssa.org



From: Mark Bujaki <mbujaki@Patersongroup.ca>

Sent: Monday, November 3, 2025 12:18 PM

To: Public Information Services <publicinformationservices@tssa.org>

Subject: PE7311 - Records Search Request

[CAUTION]: THIS EMAIL ORIGINATED OUTSIDE THE ORGANISATION.
PLEASE DO NOT CLICK LINKS OR OPEN ATTACHMENTS UNLESS YOU RECOGNISE THE SOURCE OF THIS EMAIL AND KNOW THE CONTENT IS SAFE.

Hello,

Could you please complete a search of your records for underground/aboveground storage tanks for the following addresses located in Ottawa, Ontario.

251 Linseed Road
250 Linseed Road

45 Buckbean Avenue

1095 March Road

101 Tonic Crescent
107 Tonic Crescent
113 Tonic Crescent

400 Mortar Terrace

1445 Hedge Drive

1402 Houston Crescent

Thank you



Mark Bujaki, B.Sc., MBA
Junior Environmental Scientist
Environmental Division
TEL: (613) 226-7381 ext. 335
DIRECT: (613) 299-4209
9 AURIGA DRIVE
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patersongroup.ca

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NEW OFFICE OPEN IN THE GREATER TORONTO AREA WITH OUR EXPANSIVE LIST OF SERVICES NOW AVAILABLE!

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October 28, 2025
File: PE7311-HLUI

City of Ottawa
110 Laurier Avenue W
Ottawa, Ontario
K1P 1J1

Subject: **Authorization Letter: HLUI Search**
Phase I – Environmental Site Assessment Update
251 Linseed Road, Ottawa, Ontario

Consulting Engineers
9 Auriga Drive
Ottawa, Ontario
K2E 7T9
Tel: (613) 226-7381

Geotechnical Engineering
Environmental Engineering
Hydrogeology
Materials Testing
Building Science
Rural Development Design
Retaining Wall Design
Noise and Vibration Studies

patersongroup.ca

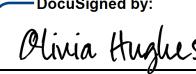
Dear Sir/Madame

Please consider this letter as confirmation that Paterson Group has been retained to conduct a Phase I - Environmental Site Assessment at the aforementioned property.

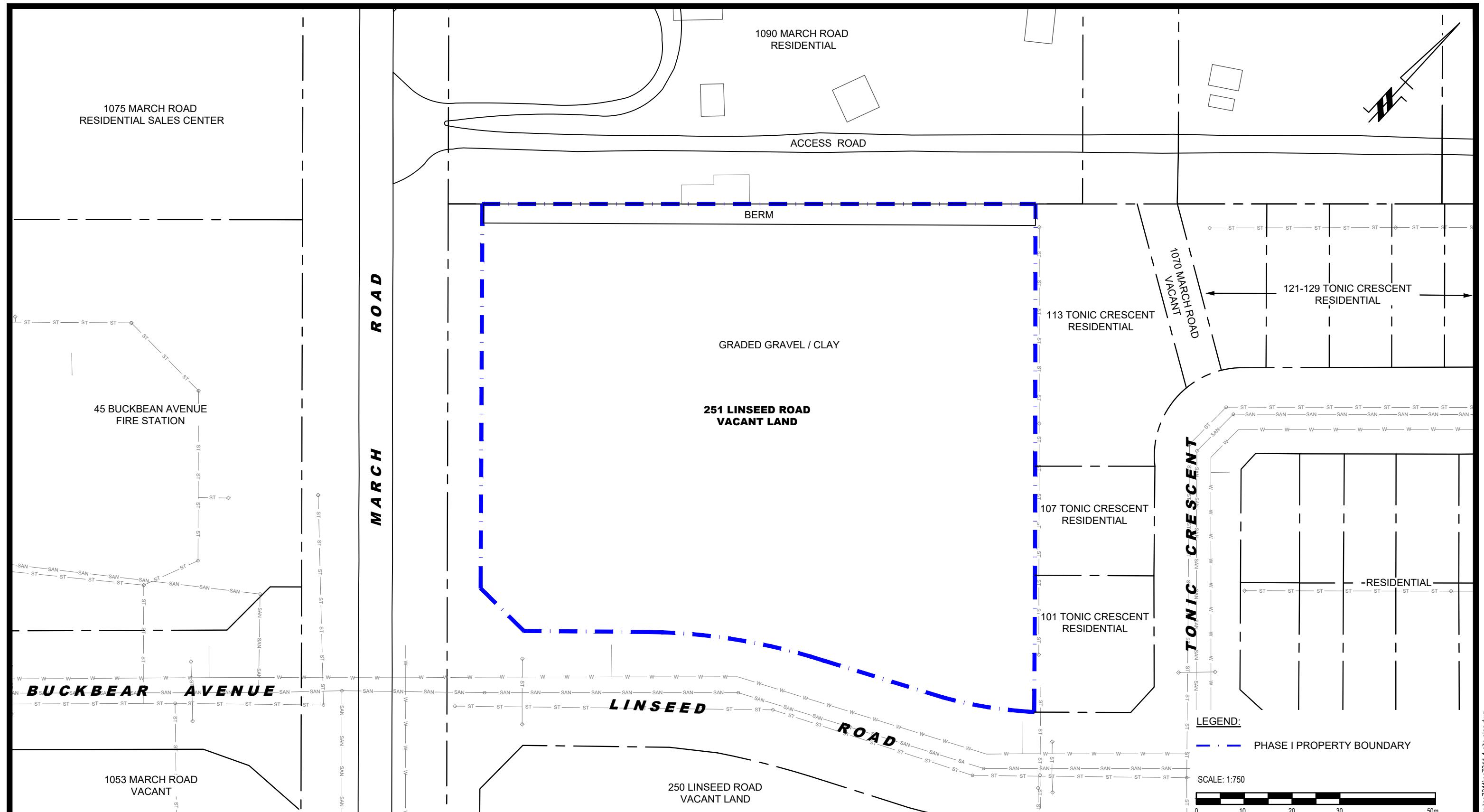
With this letter, the property owner authorizes the City of Ottawa and other regulatory bodies to release, to Paterson Group, information requested for the purpose of completing an environmental assessment of the property.

Name of Company/Property Owner: Mattamy (Northwoods) Limited

Name of Representative: Olivia Hughes

Signature: 
DocuSigned by:
5C400C496D27412...

Date: October 28th 2025



PATERSON GROUP

9 AURIGA DR
OTTAWA, ON
K2E 7T
TEL: (613) 226-738

11x17

MATTAMY HOMES
**PHASE I - ENVIRONMENTAL SITE ASSESSMENT UPDATE
NORTHWOODS PHASE 6 - 251 LINSEED ROAD**

OTTAWA

SITE PLAN

ONTA

REV ON TO 81	REVISIONS		
	NO.	REVISIONS	DATE

PHASE I
NO
OTTAWA,
Title:
INITIAL

MATTAMY HOMES ENVIRONMENTAL SITE ASSESSMENT UPDATE DS PHASE 6 - 251 LINSEED ROAD ONTARIO SITE PLAN		Scale: 1:750	Date: 11/2025
		Drawn by: YA	Report No.: PE7311-1
		Checked by: MSWB	Dwg. No.: PE7311-1
		Approved by: AM	Revision No.: