

1670 TENTH LINE ROAD

LIST OF DRAWINGS

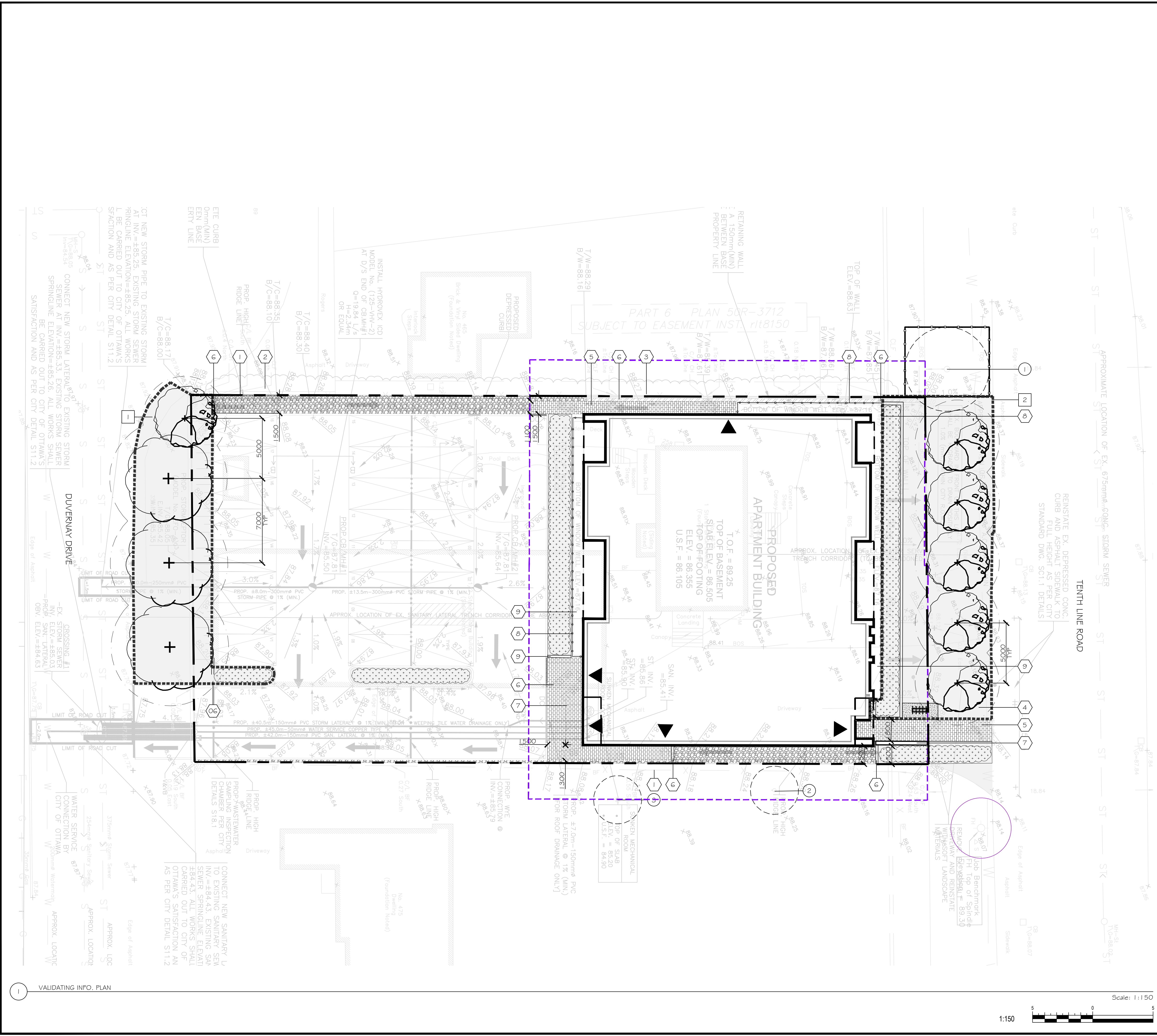
- L1.0 NOTES AND SCHEDULES
- L1.1 TREE CONSERVATION REPORT
- L1.2 VALIDATING INFO. PLAN
- L1.3 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS 1

CONSULTANTS

project1
studio
Urbantypology

PROJECT 1 STUDIO
300 - 260 ST. PATRICK STREET,
OTTAWA, ON, CANADA, K1N 5K5
PH: 613. 884. 3939

UNIT 101 - 45 SPENCER STREET
OTTAWA, ON, CANADA, K1Y 2P5
PH: 613.867.3042 / 613.897.1237



- LEGEND:
- SITE BOUNDARY
 - 4.5m SETBACK FOR SMALL & MEDIUM TREE, PER GEOTECHNICAL REPORT
 - PERMEABLE SURFACING (SOIL VOLUME AREAS WITH OUTLINE)
 - BUILDING/STRUCTURE
 - BUILDING OVERHANG
 - BIKE RACK ON CONCRETE PAD (6/L2.0 & 7/L2.0)
 - TREE CONSERVATION REPORT NUM.
 - CRITICAL ROOT ZONE (CRZ)
 - EXISTING DECIDUOUS TREE
 - EXISTING CONIFEROUS TREE
 - TREE TO BE REMOVED
 - LARGE DECIDUOUS TREE WITH 40YR CANOPY OFFSET
 - MEDIUM DECIDUOUS TREE WITH 40YR CANOPY OFFSET
 - SHRUB PLANTING
 - TREE PROTECTION
 - EXISTING FIRE HYDRANT
 - EXISTING MANHOLE
 - EXISTING CATCH BASIN
 - EXISTING TELEPHONE BOX
 - EXISTING LIGHT POST
 - EXISTING STORM WATER
 - EXISTING SEWER
 - EXISTING OVERHEAD WIRE
 - EXISTING GAS
 - EXISTING WATERMAIN

- KEYNOTES
- EXISTING CHAINLINK FENCE TO REMAIN AND BE PROTECTED
 - EXISTING CEDAR HEDGE TO REMAIN AND BE PROTECTED
 - EXISTING CEDAR HEDGE TO BE PRUNED UP TO LEADER OR FENCE LINE
 - TOPSOIL AND SOD
 - UNIT PAVERS (1/L2.0)
 - MAINTENANCE EDGE (2/L2.0)
 - WALL (5/L2.0)
 - GUARD RAIL (TYP) - REFER TO ARCHITECT
 - WINDOW WELL - REFER TO ARCHITECT
- SOIL VOLUME (BY AREA)
- 160.7m²
 - 246.6m²

KEY PLAN:

ASSOCIATION OF LANDSCAPE ARCHITECTS
OTTAWA CHAPTER

Urbantypology

UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA M6R 2B2
PH: 437.700.5466

UNIT 101 - 45 SPENCER STREET
OTTAWA, ON, CANADA K1V 2P5
PH: 613.867.3042 / 613.897.1237

NO.	REVISION:	DATE:
2	ISSUED FOR SITE PLAN CONTROL	29 OCT, 2025
1	ISSUED FOR SITE PLAN CONTROL	08 AUG, 2025

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- REPORT ALL DIMENSIONS AND CONDITIONS ON SITE.
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR.
- COMPLY WITH ALL PERTINENT CODES, BYLAWS AND LAWS.
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORKS.

PROJECT:
**1670 TENTH LINE RD
PART OF LOT B**

LOCATION:
**1670 TENTH LINE RD
OTTAWA, ON**

DRAWN: **SS** START DATE:
CHECKED: **SM** 15 JULY, 2025

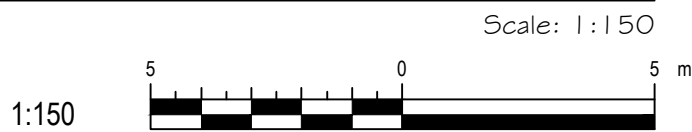
DRAWING:
**VALIDATING INFO.
PLAN**

SCALE: **1:150** PAGE SIZE: **24X36**

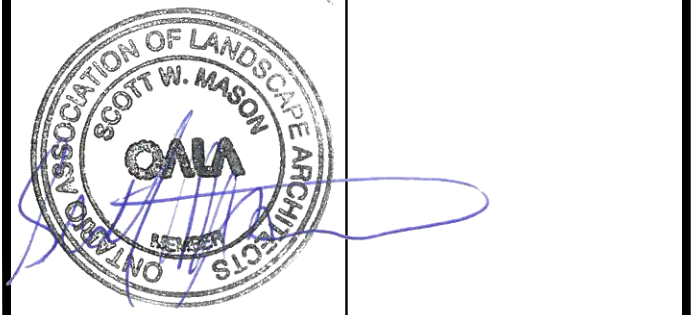
PROJECT NUMBER: **24.17**

NORTH:

SHEET NO.:
L1.2



- KEYNOTES
1. EXISTING CHAINLINK FENCE TO REMAIN AND BE PROTECTED
 2. EXISTING CEDAR HEDGE TO REMAIN AND BE PROTECTED
 3. EXISTING CEDAR HEDGE TO BE PRUNED UP TO LEADER OR FENCE LINE
 4. TOPSOIL AND SOD
 5. UNIT PAVERS (1/12.0)
 6. MAINTENANCE EDGE (2/12.0)
 7. WALL (5/12.0)
 8. GUARD RAIL (TYP) - REFER TO ARCHITECT
 9. WINDOW WELL - REFER TO ARCHITECT



UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA, M6R 2B2
PH: 437.700.5446

UNIT 101 - 45 SPENCER STREET
OTTAWA, ON, CANADA, K1Y 2P5
PH: 613.867.3042 / 613.897.1237

2	ISSUED FOR SITE PLAN CONTROL	29, OCT., 2025
1	ISSUED FOR SITE PLAN CONTROL	08, AUG., 2025
NO.:	REVISION:	DATE:

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWINGS(S). ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANITYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE;
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR;
- COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS;
- VERIFY LOCATION AND UTILITY UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

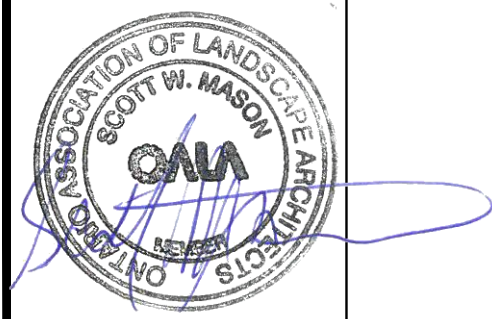
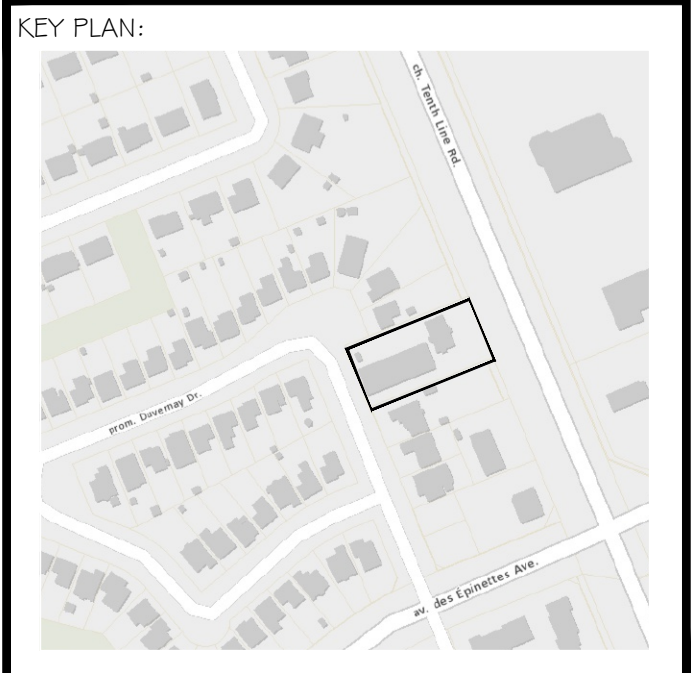
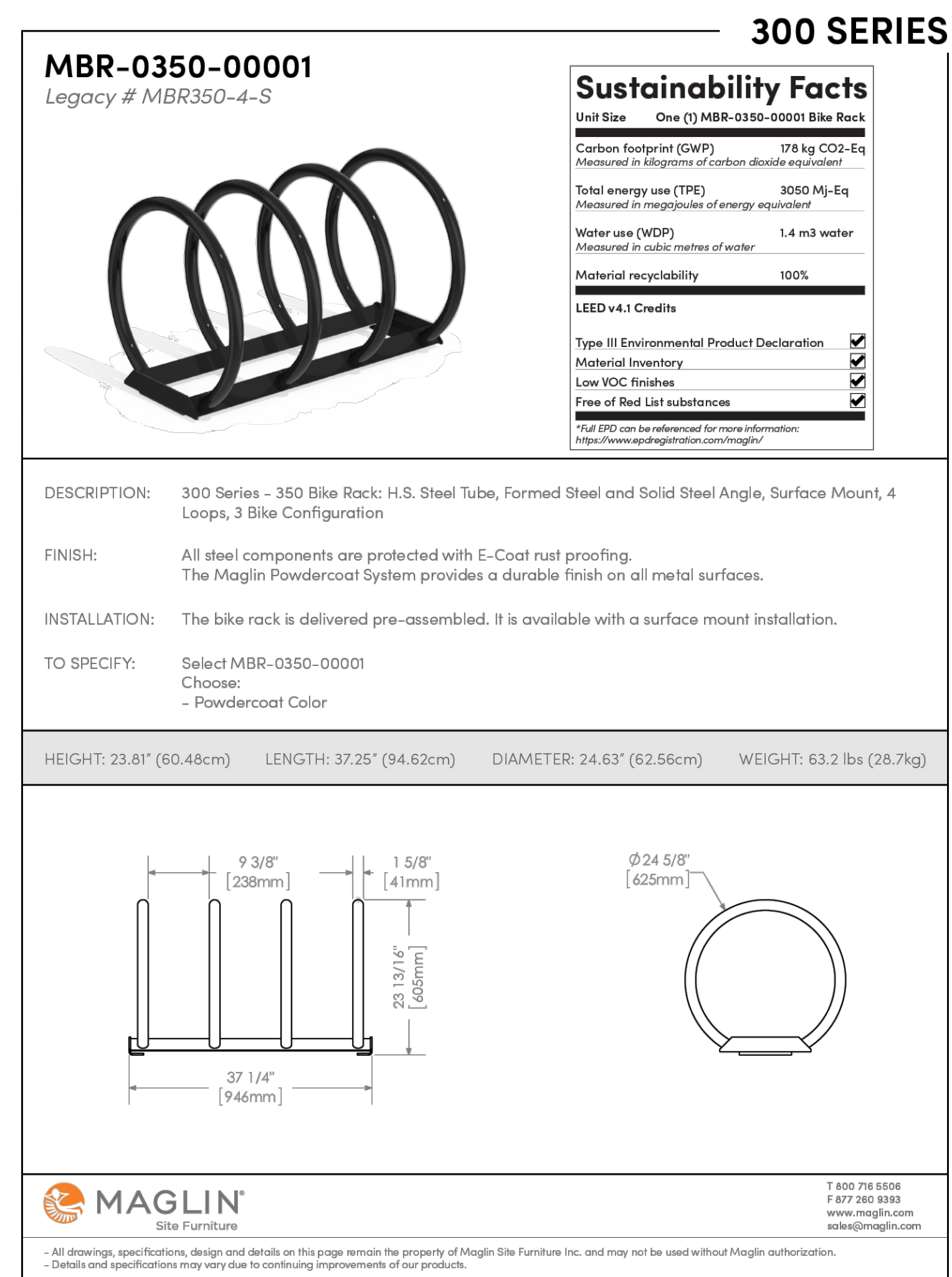
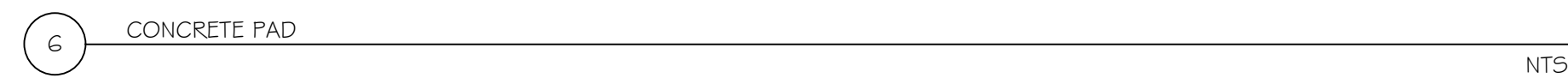
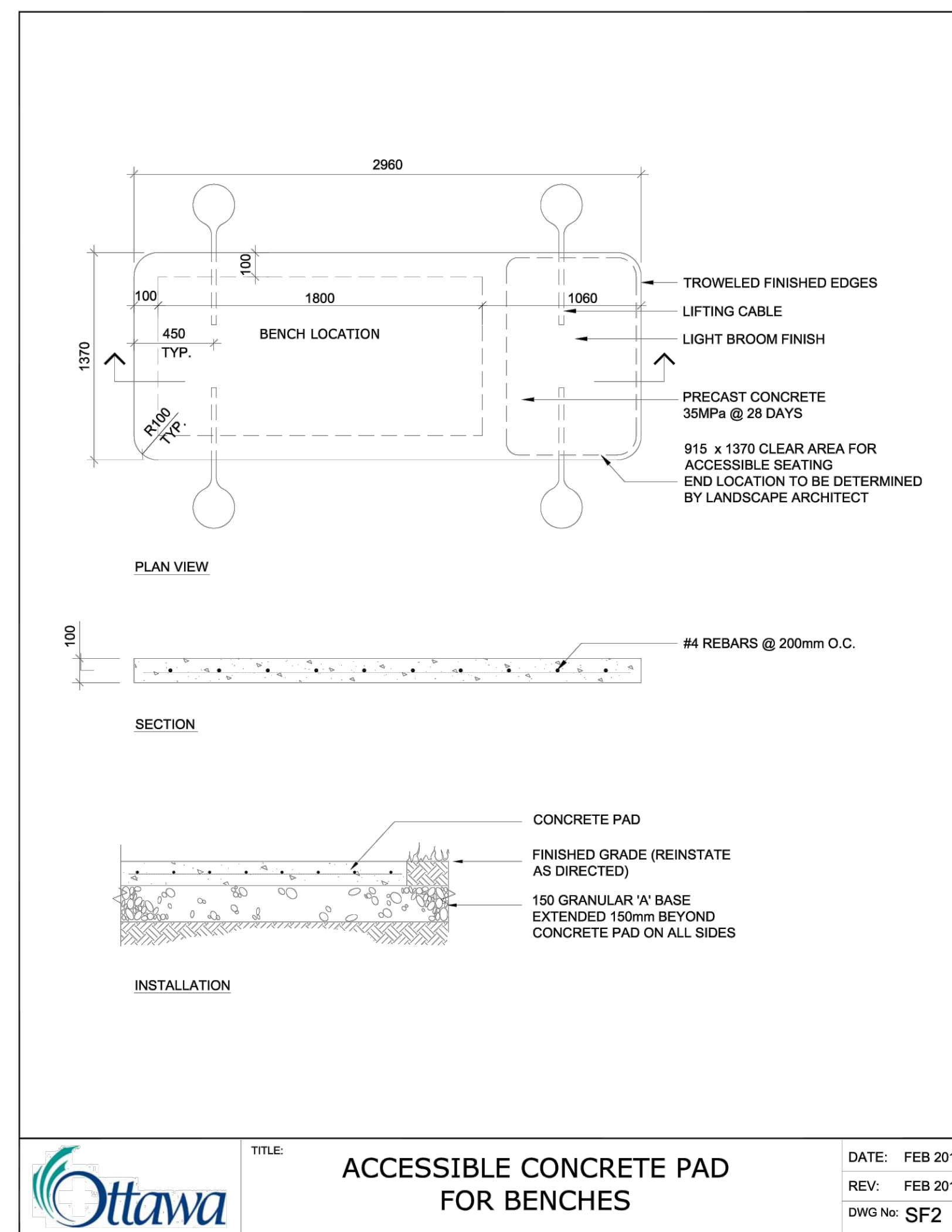
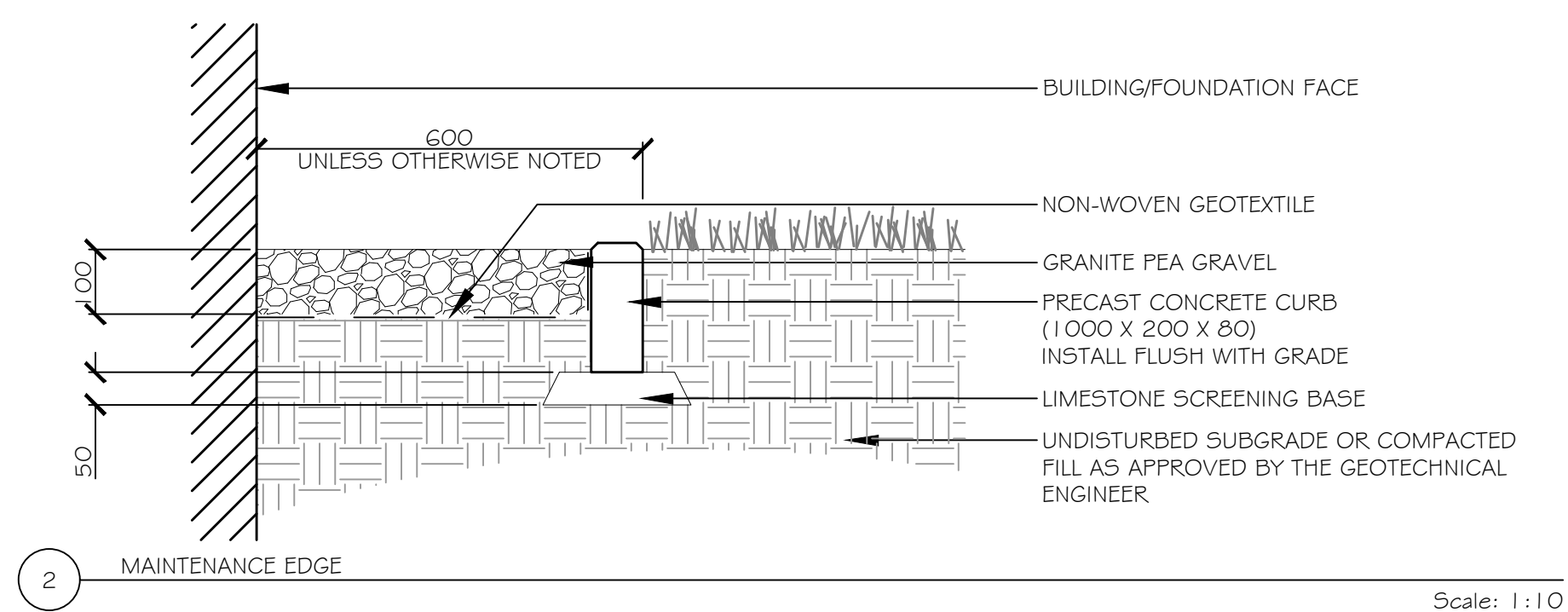
LOCATION:
1670 TENTH LINE RD
OTTAWA, ON

DRAWING:
LANDSCAPE PLAN

NORTH:	SHEET NO.:
--------	------------



L1.3



Urbantypology

UNIT 10-163 STERLING ROAD
TORONTO, ON, CANADA, M6R 2B2
PH: 437.700.5446

UNIT 101 - 45 SPENCER STREET
OTTAWA, ON, CANADA, K1Y 2P5
PH: 613.867.3042 / 613.897.1237

[illegible]

2	ISSUED FOR SITE PLAN CONTROL	29, OCT., 2025
1	ISSUED FOR SITE PLAN CONTROL	08, AUG., 2025
NO.:	REVISION:	DATE:

ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS SPECIFIED OTHERWISE. DO NOT SCALE THE DRAWING(S). ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONTRACT SPECIFICATIONS.

COPYRIGHT RESERVED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBANTYPOLOGY INC. AND SHALL NOT BE REPRODUCED OR USED FOR PURPOSES OTHER THAN INTENDED BY THE OWNER, WITHOUT PERMISSION.

THIS DRAWING SHALL ONLY BE USED FOR CONSTRUCTION WHEN FIXED WITH A PROFESSIONAL SEAL AND SIGNATURE BY THE LANDSCAPE ARCHITECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE;
- REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONTRACT ADMINISTRATOR;
- COMPLY WITH ALL PERTINENT CODES, BY-LAWS AND LAWS;
- VERIFY LOCATION OF ALL UNDERGROUND SERVICES AND UTILITIES WITH RESPECTIVE AUTHORITIES PRIOR TO COMMENCEMENT OF WORK.

PROJECT:

1670 TENTH LINE RD
PART OF LOT B

LOCATION:
1670 TENTH LINE RD
OTTAWA, ON

DRAWN: SS	START DATE:
CHECKED: SM	16 JUNE, 2025

DRAWING: NOTES AND SCHEDULES

SCALE:AS NOTED	PAGE SIZE: 24X36
----------------	------------------

PROJECT NUMBER:		24.17
NORTH:	SHEET NO.:	

L2.0

XXXX-XXXX-XXXX