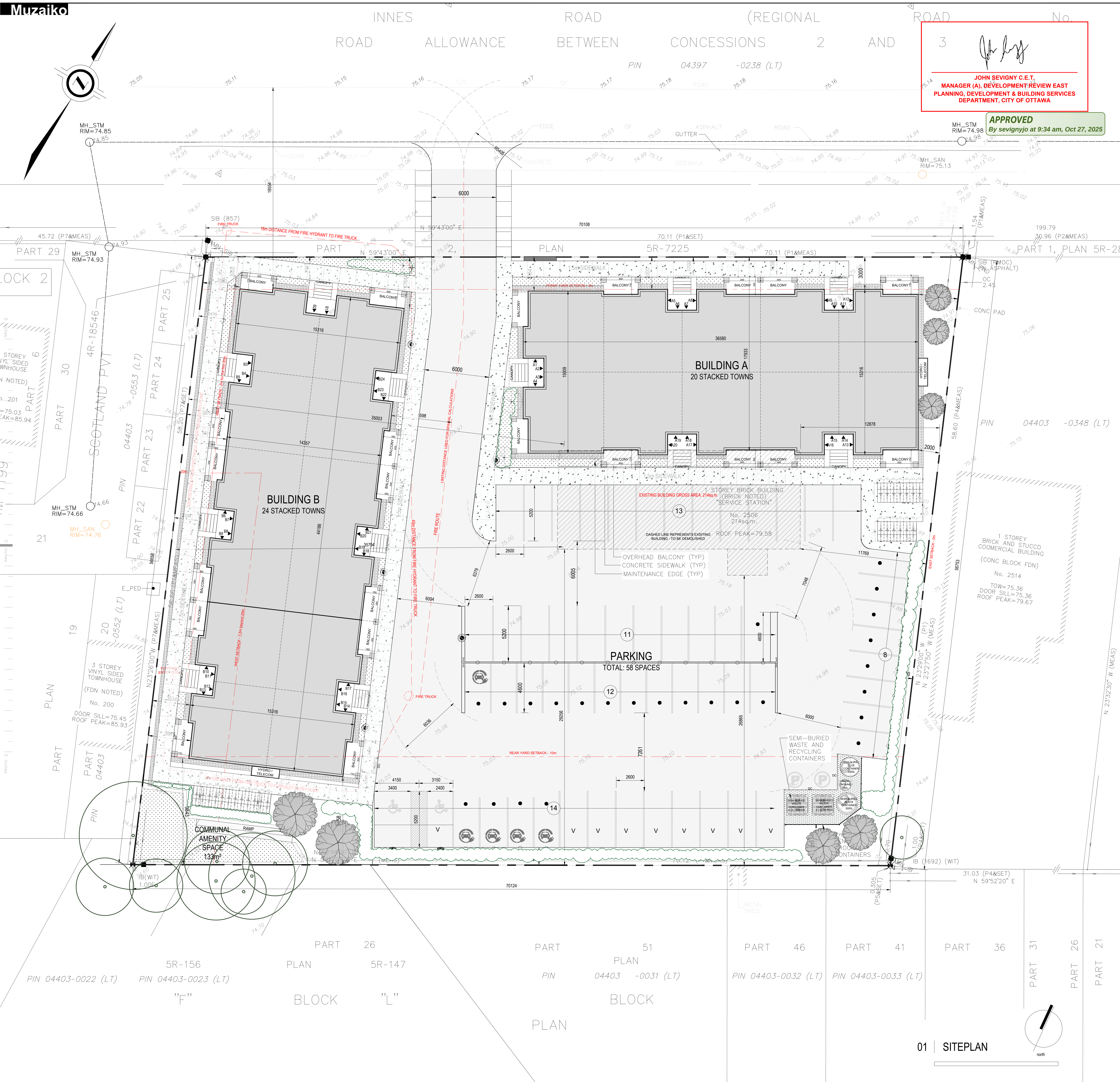
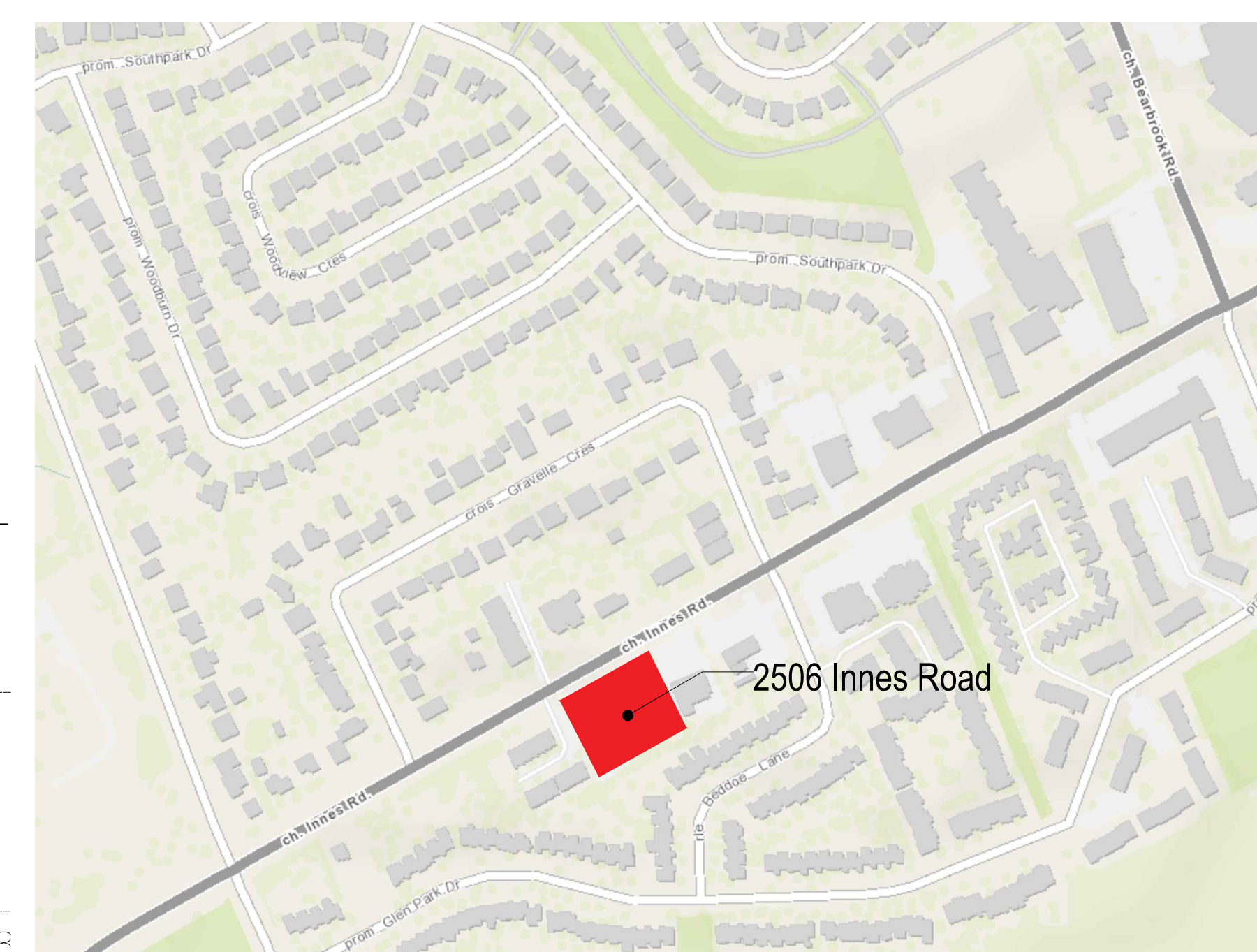




01 | SITEPLAN



DEVELOPED FROM

KEY MAP

SURVEYOR'S REAL PROPERTY REPORT
PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT)
2506 INNES ROAD
CITY OF OTTAWA

DESCRIPTION
PART OF LOT 15 CONCESSION 3 (OTTAWA FRONT), BEING ALL OF
PIN 04403-0349 (LT), IN THE CITY OF OTTAWA

J.D. BARNES 2023



GRAPHIC SCALE FOR REFERENCE ONLY
ALL MEASUREMENTS ARE METRIC (mm)

ZONING: AM11[2208] - Proposed Use: STACKED RESIDENTIAL DWELLINGS

ZONING MECHANISM	REQUIRED	PROVIDED	COMMENTS
A) MINIMUM LOT AREA		3948m ²	
B) MINIMUM LOT WIDTH		70.11m	along Innes Rd
C) MINIMUM LOT DEPTH		56.76m	
D) MINIMUM FRONT YARD SETBACK		3.0m	
E) MINIMUM INTERIOR SIDE YARD SETBACK	ALONG WEST SIDE	3.0m & 7.5m	3.5m
	ALONG EAST SIDE	0.0m	3.0m
F) MINIMUM CORNER SETBACK		3.0m	N/A
H) MAXIMUM BUILDING HEIGHT		varies	refer to elevations and siteplan
J) VEHICLE PARKING	1-2 Spaces per d.u. + 0.2 per d.u. (Visitor)	53 + 9 visitor	49 + 9 visitor
K) BICYCLE STORAGE	0.5 PER UNIT	22	25

PROPOSED SITE DEVELOPMENT INFO	COMMENTS
LOT AREA	3948m ²
BUILDING HEIGHT	12.5m
PARKING SPACES	58 (9 VISITOR)
NUMBER OF STOREYS	3
NUMBER OF UNITS	44
- TWO-BEDROOM UNITS	44
- THREE-BEDROOM UNITS	0
LOT COVERAGE	30.3%
LANDSCAPING COVERAGE	1125m ² (28.5%)
PARKING LOT	1625m ²
MINIMUM WIDTH OF PRIVATE WAY ENTRY	6m
SEPARATION BETWEEN BUILDINGS	11.2m
AMENITY SPACE PROVIDED	
- COMMUNAL	133m ²
- PRIVATE (BALCONIES)	290m ²

GARBAGE MANAGEMENT REQUIREMENT	REQUIRED	PROVIDED
GARBAGE	0.231 cubic yards per unit: 44x0.231=10.16	2- 6 cubic yard garbage semi-buried container
RECYCLING	for every 6 units provide 1 360L blue cart and 1 360L black cart	1-3000L Blue & 1-3000L Black semi-buried containers
ORGANICS	container for each unit and 1 communal 240L green container per 50 units	container for each unit and 1 communal 250L green container

Property owner will be responsible for the removal and storage of snow for all walkways, exterior stairs, and driveway throughout the winter

BUILDING AREAS (gross areas)	BUILDING A	BUILDING B	TOTAL
BASEMENT	524.5m ²	629.4m ²	1153.9m ²
GROUND FLOOR	524.5m ²	629.4m ²	1153.9m ²
SECOND FLOOR	547.5m ²	657.0m ²	1204.5m ²
THIRD FLOOR	547.5m ²	657.0m ²	1204.5m ²
TOTAL AREAS	2144m ²	2572.8m ²	4716.8m ²

SITE PLAN LEGEND:

USE THE SURVEYOR'S REAL PROPERTY REPORT FOR OTHER SYMBOLS

	Denotes UNIT ENTRY POINT
	Denotes PROPOSED FIRE HYDRANT LOCATION
	PARKING SPACES HAVE A WIDTH OF 2.4m, A LENGTH OF 4.6m
	COMPACT CAR SIGN
	Denotes NO PARKING
	Denotes NO STOPPING SIGN (FIRE ROUTE)
	Denotes EV CHARGING SPACE
	Denotes SINGLE BICYCLE RACK
	Denotes VISITOR PARKING SPACE
	PARKING LIGHT POLE
	Denotes NUMBER OF PARKING SPACES WITHIN A ROW
	REPRESENTS EXISTING BUILDING - TO BE DEMOLISHED
	Denotes PROPOSED LOCATION FOR COMMUNITY SIGN
	DEPRESSED CURB
	ACCESSIBLE PARKING SPACE (TYPE A)
	Denotes ACCESSIBLE PARKING SIGN - TYPE A
	Denotes ACCESSIBLE PARKING SIGN - TYPE B

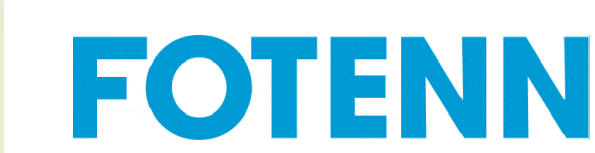
DEVELOPER / APPLICANT



ARCHITECTURE



PLANNING



ENGINEERING

Landscape Management - Grading & Drainage - Storm & Sanitary Sewers - Watermain
Watermain & Sewerage - Storm & Sanitary Sewers - Watermain
Storm & Sanitary Sewers - Storm & Sanitary Sewers - Storm & Sanitary Sewers
Storm & Sanitary Sewers - Storm & Sanitary Sewers - Storm & Sanitary Sewers

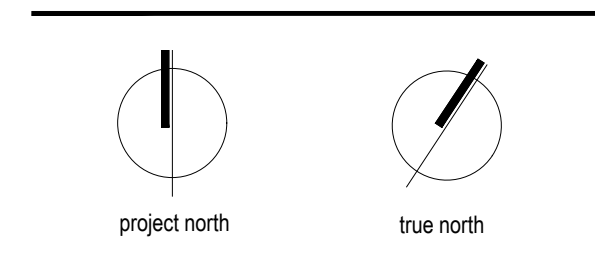
LANDSCAPING



FORESTER



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T Re-Submitted for Site Plan Control 2025.08.12

S re-issued for Permit 2025.08.04

R re-issued for Permit 2025.07.25

Q re-issued for permit 2025.07.18

P re-issued for permit 2025.04.24

O Re-Submitted for Site Plan Control 2025.05.26

N Issued for Tender 2025.04.09

M ISSUED FOR PERMIT 2025.02.28

L ISSUED FOR ENGINEERING 2024.09.30

K Submitted for Minor Variances 2025.01.17

J Re-Submitted for Site Plan Control 2024.12.14

I Re-Submitted for Site Plan Control 2024.09.12

H Re-Submitted for Site Plan Control 2024.05.16

G Revised Site Design 2024.04.25

F Revised Site Design 2024.03.18

E Revised Site Design 2024.02.19

D SITE PLAN CONTROL 2023.12.22

C Revised Site Design 2023.11.13

B Revised Site Design 2023.11.13

A PRELIMINARY SITE DESIGN 2023.11.02

Issue description date

2506 INNES ROAD

Ottawa, ON

Drawing title

SITEPLAN

drawn by P.A.

scale 1:125

date 2023-10

project number

drawing number

A0.03

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