



John Sevigny

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DEPARTMENT, CITY OF OTTAWA

APPROVED
By sevignyjo at 9:34 am, Oct 27, 2025

01 | EAST ELEVATION - Building B

LIMITING DISTANCE BREAKDOWN:

THE EXPOSING BUILDING FACE IS LOCATED AT VARIOUS DISTANCES TO CALCULATE ALLOWABLE WINDOW TESTED OPENING. THE WALL IS DIVIDED INTO THREE SEGMENTS BASED ON WINDOW PLACEMENTS, THE CENTER LINE OF ACCESS LANEWAY WAS USED AS THE MEASUREMENT POINT. BEFORE THE PURPOSE OF CALCULATING THE IMPROVED OPENING.

SEGMENT	LIMITING DISTANCE	SEGMENT AREA	MAX % OPENINGS	ALLOWABLE OPENING AREA	OPENING AREA
A	5.5m	144m ²	17%	24.5m ²	18.8m ²
B	50m	296m ²	100%	296m ²	53.8m ²



02 | WEST ELEVATION - Building B

LIMITING DISTANCE BREAKDOWN:

THE EXPOSING BUILDING FACE IS LOCATED AT VARIOUS DISTANCES TO CALCULATE ALLOWABLE WINDOW TESTED OPENING. THE WALL IS DIVIDED INTO SEVEN SEGMENTS BASED ON WINDOW PLACEMENTS, SEGMENTS ARE NOT IN FIRE COMPARTMENT LEVEL.

SEGMENT	LIMITING DISTANCE	SEGMENT AREA	MAX % OPENINGS	ALLOWABLE OPENING AREA	OPENING AREA
A	3.0m	70m ²	17%	11.5m ²	5.2m ²
B1	3.0m	40m ²	22%	8.8m ²	5.2m ²
B2	3.9m	34m ²	35%	11.9m ²	8.2m ²
C1	3.9m	40m ²	35%	11.9m ²	8.2m ²
C2	3.0m	34m ²	22%	8.8m ²	5.2m ²

SEGMENT	LIMITING DISTANCE	SEGMENT AREA	MAX % OPENINGS	ALLOWABLE OPENING AREA	OPENING AREA
D1	3.0m	40m ²	22%	8.8m ²	5.2m ²
D2	3.9m	34m ²	35%	11.9m ²	8.2m ²
E1	3.9m	34m ²	35%	11.9m ²	8.2m ²
E2	3.0m	40m ²	22%	8.8m ²	5.2m ²
F1	3.0m	40m ²	22%	8.8m ²	5.2m ²
F2	3.9m	34m ²	35%	11.9m ²	8.2m ²

APPLICANT: CONCORDE PROPERTIES

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project name: 2506 INNES ROAD
sheet no: 01

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1987

J. Sevigny (Architect) 2025/10/27
K. Sevigny (Architect) 2025/10/27
H. Sevigny (Architect) 2025/10/27
G. Sevigny (Architect) 2025/10/27
F. Sevigny (Architect) 2025/10/27
E. Sevigny (Architect) 2025/10/27
D. Sevigny (Architect) 2025/10/27
C. Sevigny (Architect) 2025/10/27
B. Sevigny (Architect) 2025/10/27
A. Sevigny (Architect) 2025/10/27
Issue: 01
Date: 2025/10/27

2506 INNES ROAD
Ottawa, ON

ELEVATIONS

drawn by: P.S.
scale: 1/10
date: 2025/10/27
project number: 2506 INNES ROAD
drawing number: 01

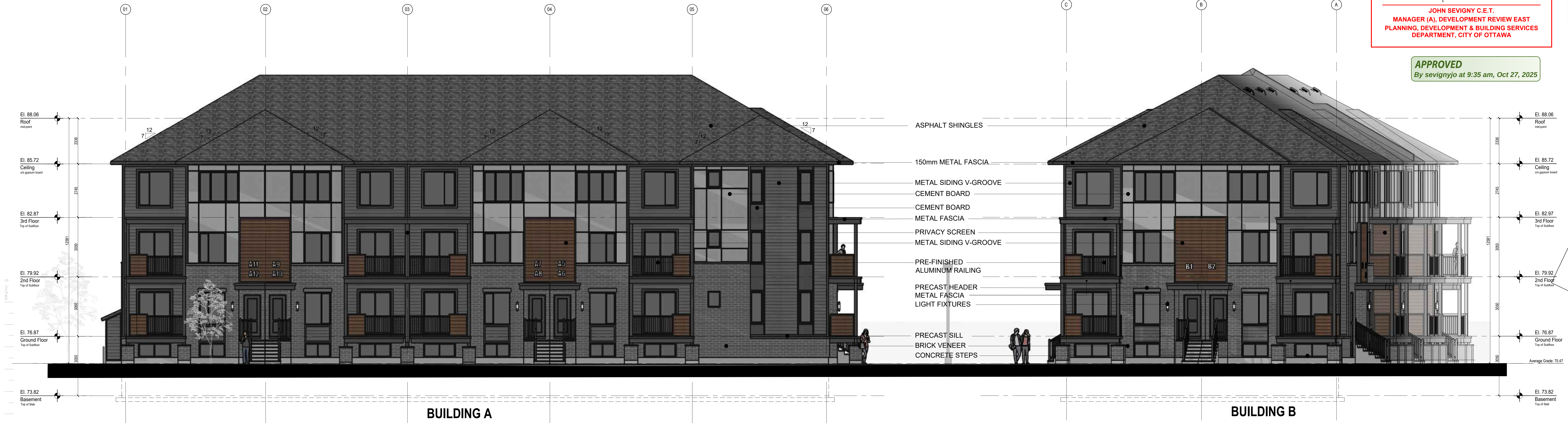
A2.02

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APPROVED
By sevignyjo at 9:35 am, Oct 27, 2025

Schematic Design
NOT FOR CONSTRUCTION

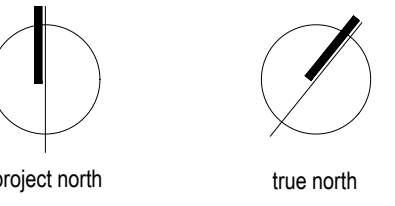
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01 | NORTH ELEVATIONS - Innes Road



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G		
F		
E		
D		
C	Re-Submitted for Site Plan Control	2024.09.12
B	Re-Submitted for Site Plan Control	2024.05.16
A	SITE PLAN CONTROL	2023.12.22
Issue	description	date

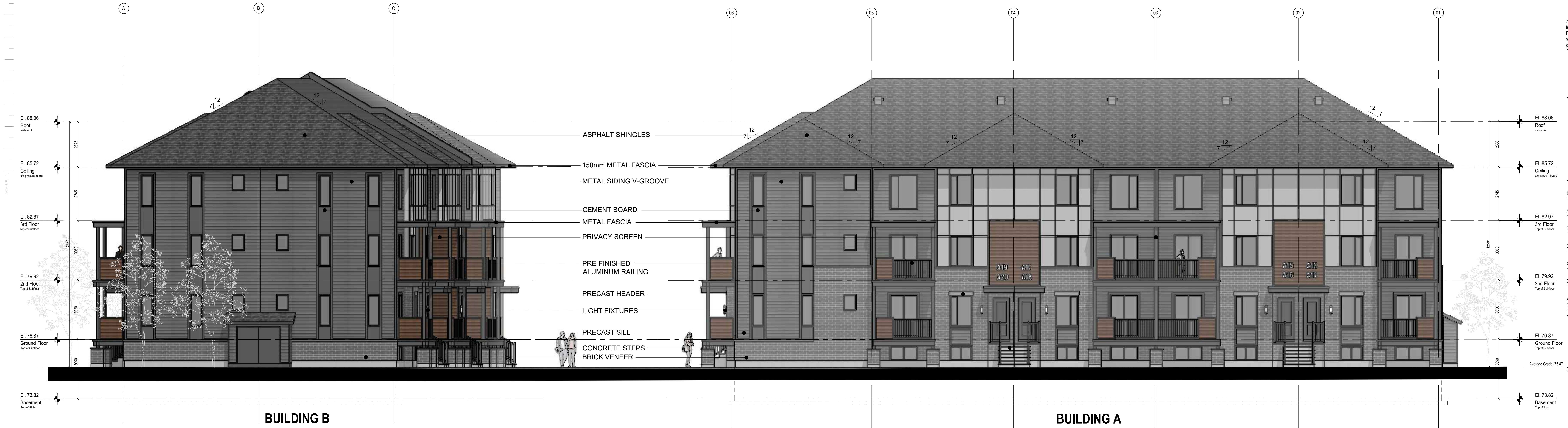
2506 INNES ROAD
Ottawa, ON

Drawing title

ELEVATIONS

drawn by	P.A.
scale	1:75
date	2021-08
project number	-
drawing number	-

A2.01 _REV C



02 | SOUTH ELEVATION - Rear Yard / Parking

