

LEGEND:

	GRID DESTINATION		FURNITURE NOT IN CONTRACT.
	ROOM NAME		EXISTING 2'-0" x 2'-0" FLUORESCENT LIGHT FIXTURE TO BE REMOVED
	ROOM NUMBER		EXISTING AIR SUPPLY
	D = DOOR XXX = DOOR NUMBER		NEW AIR SUPPLY
	W.XXX XXX = WINDOW NUMBER		NEW AIR RETURN
	WALL, ROOF OR FLOOR TYPE TYPE WALL, PARTITION, ROOF OR FLOOR NUMBER		EXISTING AIR RETURN
	P.W.X PARTITION TYPE		EXHAUST FAN
	BUILDING ELEVATION NUMBER SHEET NUMBER		NEW POT LIGHT
	BUILDING/WALL SECTION NUMBER SHEET NUMBER		EXISTING POT LIGHT TO BE REMOVED
	DRAWING NUMBER SHEET NUMBER		NEW PENDANT LIGHT
	TYPICAL/SIMILAR CONFIGURATION		EXISTING PENDANT LIGHT TO BE REMOVED
	C.B. CEILING FINISH X-X CEILING FINISH HEIGHT		NEW UNDERCOUNTER LIGHT
	XX.XX ELEVATION		NEW LINEAR TRACK LIGHT
	1 DRAWING NUMBER SHEET NUMBER		EXISTING WALL MOUNTED LIGHT
	2 TYPICAL/SIMILAR CONFIGURATION		NEW WALL MOUNTED LIGHT
	NEW PARTITION		NEW DIMMABLE SWITCH. REFER TO ELECTRICAL DWGS FOR FURTHER INFORMATION
	EXISTING PARTITION TO REMAIN.		SPRINKLER
	EXISTING PARTITION TO BE REMOVED.		N.I.C.
	NEW SLIDING DOOR		BARRIER FREE TURNING CIRCLE
	EXISTING DOOR AND FRAME TO REMAIN.		BARRIER FREE CLEAR AREA
	EXISTING DOOR AND FRAME TO BE REMOVED.		NEW GYPSUM BOARD CEILING
	NEW DOOR AND FRAME		NEW LAY-IN CEILING
	NEW DOOR AND FRAME WITH DOOR NUMBER		EXISTING SINK SINK TO BE REMOVED
	EXISTING WINDOW AND FRAME TO REMAIN.		EXISTING SOAKER TUB TO BE REMOVED
	BARRIER FREE PUSH BUTTON		NEW HAND WASH SINK REFER TO MECH. DWGS. FOR ADDITIONAL INFORMATION
	COAT HOOK		DISHWASHER REFER TO MECH. & ELEC. DWGS. FOR ADDITIONAL INFORMATION
	TOILET TISSUE DISPENSER (REFER TO SPECS)		EXISTING SINK TO BE REMOVED
	PAPER TOWEL DISPENSER (REFER TO SPECS)		EXISTING W.C. TO BE REMOVED
	SHELF		NEW W.C.
	HAND SANITIZER DISPENSER (REFER TO SPECS)		CORNER GUARD TYPE
	SOAP DISPENSER (REFER TO SPECS)		CORNER GUARD
	GB-X GRAB BAR TYPE		MILLWORK
	GRAB BARS (REFER TO SPECS)		

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL FIRE RATED SEPARATIONS IN ALL THE CONSTRUCTION TO REMAIN AND IN ALL THE NEW PARTITIONS. FIRE STOP ALL PENETRATIONS AND PROVIDE ULC APPROVED DETAILS FOR EACH REQUIRED SYSTEM.
- MECHANICAL AND ELECTRICAL WORK MAY BE REQUIRED IN AREAS LOCATED OUTSIDE OF THE SCOPE OF WORK. SCHEDULE ADDITIONAL WORK WITH OWNER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR SHALL NOTIFY THE CONSULTANTS OF ANY DISCREPANCY ON THE DOCUMENTS.
- ADDITIONAL WORK NOT INDICATED ON THIS DRAWING MAY BE REQUIRED. COORDINATE ALL DEMOLITION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF WORK. (REMOVALS, REINSTATEMENT AND NEW WALLS)
- THOROUGHLY INSPECT ALL AREAS TO REMAIN. PATCH AND REPAIR ANY VISIBLE DAMAGE.
- PROTECT ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT TO REMAIN.
- ALL WALLS TO BE PW1 UNLESS OTHERWISE NOTED.
- FOR ALL ELECTRICAL OUTLETS & SWITCHES, REFER TO ELECTRICAL DRAWINGS.

GENERAL DEMOLITION NOTES

- REMOVE ENTIRE HEIGHT OF PARTITION WHERE DEMOLITION IS INDICATED.
- ALL EXISTING FIRE SEPARATIONS TO BE MAINTAINED. INFILL NEW/EXISTING PENETRATIONS TO MAINTAIN RATING
- ADDITIONAL WORK NOT INDICATED ON THIS DRAWING MAY BE REQUIRED. COORDINATE ALL DEMOLITION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF WORK. (REMOVALS, REINSTATEMENT AND NEW WALLS)
- THOROUGHLY INSPECT ALL AREAS TO REMAIN. PATCH AND REPAIR ANY VISIBLE DAMAGE. NEW FINISH TO MATCH EXISTING ADJACENT SURFACE.
- PROTECT ALL EXISTING MECHANICAL AND ELECTRICAL EQUIPMENT TO REMAIN.
- CONTRACTOR TO KEEP ALL WINDOW FRAMES FOR REUSE. NO STRUCTURAL WALLS TO BE REMOVED.

GENERAL NEW NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED.
- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE AND IMMEDIATELY NOTIFY CONSULTANT OF DISCREPANCIES.
- ADDITIONAL WORK MAY BE REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE OF WORK.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL SWITCH AND OUTLETS LOCATION. PATCH AND REPAIR EXISTING WALL AFFECTED BY THE INSTALLATION OF OUTLETS AND SWITCHES. NEW SURFACE TO MATCH EXISTING ADJACENT SURFACES.
- PATCH AND REPAIR ALL DRYWALL AFFECTED DURING DEMOLITION. NEW FINISH TO MATCH ADJACENT SURFACE.
- PAINT ALL DOORS AND FRAMES WITHIN THE SCOPE OF WORK.
- ALL SLABS SHALL BE SCANNED PRIOR TO CUTTING, CORING & DETAILING.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING WALLS AND WINDOWS BEFORE PROCEEDING W/ ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- DISRUPTION TO SPACES BELOW WILL OCCUR DUE TO INSTALLATION OF SINKS.
- ALL NEW PARTITIONS TO BE PW1 UNLESS OTHERWISE NOTED.
- CONTRACTOR TO PROVIDE ADDITIONAL SELF LEVELLING COMPOUND WHERE WALLS WERE REMOVED TO ALLOW A PROPER INSTALLATION OF THE NEW FLOOR FINISH.
- CONTRACTOR TO SPRAY INSULATION UNDER EXPOSED SLAB BETWEEN GROUND FLOOR AND BASEMENT. PROVIDE NEW DRYWALL CEILING.
- CONTRACTOR TO PAINT ALL EXISTING DOORS AND FRAMES TO BE REUSED.

DRAWING LIST

ARCHITECTURAL

- A001 - DRAWING LIST, LEGEND, BUILDING ASSEMBLIES, ZONING REPORT + O.B.C. MATRIX
- A010 - DEMOLITION AND NEW SITE PLAN + NOTES
- A040 - GROUND FLOOR DEMOLITION PLAN + NOTES
- A100 - EXISTING BASEMENT FLOOR PLAN + NOTES.
- A101 - NEW GROUND FLOOR PLAN + NOTES
- A102 - NEW FINISHING PLAN + NOTES
- A200 - NEW ELEVATIONS + NOTES
- A202 - NEW ELEVATIONS + NOTES
- A500 - BASEMENT EXISTING CEILING PLAN + NOTES
- A501 - GROUND FLOOR DEMOLITION CEILING PLAN + NOTES
- A502 - BASEMENT NEW CEILING PLAN + NOTES
- A503 - GROUND FLOOR NEW CEILING PLAN + NOTES
- A800 - NEW ENLARGED FLOOR PLANS, INTERIOR ELEVATION + NOTES

CIVIL

- C-1 - SITE SERVICING PLAN
- C-2 - EXISTING CONDITIONS, REMOVALS & DECOMMISSIONING
- C-3 - GRADING PLAN
- C-4 - EROSION & SEDIMENT CONTROL PLAN
- C-5 - NOTES & DETAILS
- C-6 - PRE-DEVELOPMENT DRAINAGE PLAN
- C-7 - POST-DEVELOPMENT DRAINAGE PLAN

MECHANICAL

- M000 - MECHANICAL DRAWING LIST, LEGEND AND NOTES
- M001 - MECHANICAL SCHEDULES
- M002 - MECHANICAL SPECIFICATIONS
- M100 - PLUMBING DEMOLITION - GROUND FLOOR PLAN
- M101 - PLUMBING NEW - GROUND FLOOR PLAN
- M102 - PLUMBING DEMOLITION - BASEMENT PLAN
- M103 - PLUMBING NEW - BASEMENT PLAN
- M200 - HVAC DEMOLITION - GROUND FLOOR PLAN
- M201 - HVAC NEW GROUND FLOOR PLAN
- M202 - HVAC DEMOLITION - BASEMENT PLAN
- M203 - HVAC NEW - BASEMENT PLAN
- M300 - MECHANICAL DETAILS AND SCHEMATICS
- M301 - MECHANICAL DETAILS AND SCHEMATICS (CONT'D)

ELECTRICAL

- E000 - ELECTRICAL DRAWING LIST, LEGEND + NOTES
- E001 - ELECTRICAL SPECIFICATIONS
- E100 - GROUND FLOOR DEMOLITION ELECTRICAL PLAN
- E101 - GROUND FLOOR NEW LIGHTING PLAN
- E102 - GROUND FLOOR NEW POWER + SYSTEMS PLAN
- E200 - BASEMENT DEMOLITION ELECTRICAL PLAN
- E201 - BASEMENT NEW ELECTRICAL PLAN

ELECTRICAL - EXTERIOR LIGHTING

- E000 - ELECTRICAL DRAWING LIST, LEGEND, NOTES AND SCHEDULES
- E100 - ELECTRICAL DEMOLITION SITE PLAN LIGHTING
- E101 - ELECTRICAL NEW SITE PLAN LIGHTING

LANDSCAPE

- L1.1 - REMOVALS PLAN
- L2.1 - LAYOUT PLAN
- L3.1 - PLANTING PLAN
- L4.1 - DETAILS

WALL ASSEMBLIES

- 1/2" GYPSUM WALL BOARD
2x4 WOOD STUDS @ 16" O.C.
BATT INSULATION
1/2" GYPSUM WALL BOARD
(REPLACE W/ MOISTURE RESISTANT GYPSUM WALL BOARD IN ALL BATHROOMS)
- 1/2" CEMENT BOARD
2x6 WOOD STUDS @ 16" O.C. c/w
FIBREGLASS BATT INSULATION
6 MIL. POLY. VAPOUR BARRIER MEMBRANE (WARM SIDE)
1/2" CEMENT BOARD
- REMOVE EXISTING GYPSUM WALL BOARD AND REPLACE WITH:
1/2" CEMENT BOARD
* PROVIDE CEMENT BOARD BEHIND CERAMIC TILE FINISHING. REFER TO FINISHING SCHEDULE AND DWG.
- 1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C. c/w
FIBREGLASS BATT INSULATION
6 MIL. POLY. VAPOUR BARRIER MEMBRANE (WARM SIDE)
1/2" CEMENT BOARD
- 1/2" GYPSUM WALL BOARD
2x6 WOOD STUDS @ 16" O.C. c/w
FIBREGLASS BATT INSULATION
1/2" GYPSUM WALL BOARD

G. Wildman

GERALDINE WILDMAN
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Geraldine Wildman at 12:05 pm, Oct 23, 2025

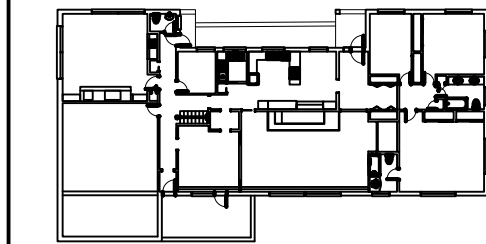
Address: 3150 WOODROFFE AVE.		
Zoning By-Laws LC 8 (2050) H(11)h		
Legal Description	Required	Provided
Schedule 1	-	
Schedule 2	-	
Schedule 3	-	
Other Schedules	-	
Exceptions	-	
Road Widening	By-law 1782	
Easements	-	
Corner Lot triangle	-	
Heritage Overlay	-	
Street considered front (if a corner lot):	Woodroffe Avenue	
Flood plane line	-	
Adjacent zoning	-	
Proximity to another special needs house	-	
Gross floor area (max.)	500m ²	427m ²
Lot area (minimum)	No minimum	3391.94m ²
Lot Width (minimum)	No minimum	58.48m
Lot Coverage	No minimum	12%
Lot coverage (min/max)		
Floor Space Index	N/A	
Permitted use	Local Commercial	Local Commercial, Personal services.
Front yard and corner side setbacks(min)	3m	Front: Corner Side:14.73m
Side yard setback(min)	5m	11.12m
Rear yard setback(min)	7.5m	12.33m
Building height (max.)	12.5m	4m
Permitted projections into required yard	-	-
Permitted projections above the height limit	-	-
Accessory Building Requirements	-	-
Parking	15 (3.4 per 100 m ² of gross floor area)	29
Bicycle Parking	1 (1 x 500m ² of gross floor area)	2
Off Street Parking requirements	no off-street motor vehicle parking is required to be provided. (By-law 2016-249)	-
Visitors parking	-	-
Loading Dock	-	-
Existing SOD	2055.11m ²	
New SOD	1121.01m ²	
Landscape Area(min.)	15% of the area of parking lot	49%
Minimum width of Landscape area around parking lot	Abutting Street: 3m Not abutting Street: 1.5m	Abutting Street: 3.23m (min.) Not abutting Street: 2.91m
Outdoor Storage	-	

1 ZONING REPORT
A001 SCALE: N.T.S

Name of Practice Arbaum Architects Inc. 102-535 Legget Drive, Ottawa, ON K2K 3B8		Contact: Andrea Buchsbaum andrea.buchsbaum@arbaum.com 613-435-7148		Name of Project: Exhalo SPA	
Location: 3150 Woodroffe Avenue Ottawa, ON K2J 4G4					
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9			BC Reference	
	References are to Division B unless noted [A] for Division A or [C] for Division C.				
1	Project Description:	☐ New ☐ Addition ☒ Change of Use ☐ Alteration	X Part 11 11.1 to 11.4	☐ Part 9 1.1.2. [A]	
2	Major Occupancy(s)	Group D Business and Personal Service		3.1.2.1.(1)	
3	Building Area (m ²)	Existing 427 (4618.68sf) New - Total 427 (4618.68sf)		3.2.10.4.2	
4	Gross Area	Existing 427 (4618.68sf) New - Total 427 (4618.68sf)		No change	
5	Number of Storeys	Above grade 1 Below grade 1		No Change	
6	Number of Streets Fire Fighter Access	2		No Change	
7	Building Classification	Group D Business and Personal Service		No Change	
8	Sprinkler System Proposed	☐ entire building ☐ selected compartments ☐ selected floor areas ☐ basement ☐ in lieu of roof rating ☒ X not required		No Change	
9	Standpipe required	☐ Yes ☒ No		No Change	
10	Fire Alarm required	☒ Yes ☐ No		No Change	
11	Water Service/Supply is Adequate	☒ Yes ☐ No		New sewer under approval	
12	High Building	☐ Yes ☒ No		No change	
13	Construction Restrictions	☐ Combustible permitted ☐ Non-combustible required ☐ Combustible ☐ Non-combustible	☒ X Both ☐ X Both	3.2.2.55	
14	Mezzanine(s) Area m ²	0		Not applicable	
15	Occupant load based on	☐ m ² /person ☒ X design of building		3.1.17.1	
Total # of occupants: 56					
16	Barrier-free Design	☒ Yes ☐ No (Explain)		3.8.	
17	Hazardous Substances	☐ Yes ☒ No		3.3.1.2. & 3.3.1.19.	
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours)	Listed Design No. or Description (SG-2)	3.2.2.38 & 3.2.1.4.	
		Floors 45 Min.	Existing Structure		
		Roof 0 Hours	Existing Structure		
		FRR of Supporting Members	Listed Design No. Or Description (SG-2)		

2 OBC MATRIX
A001 SCALE: N.T.S

KEY PLAN: GROUND LEVEL



TRUE NORTH

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWINGS.

