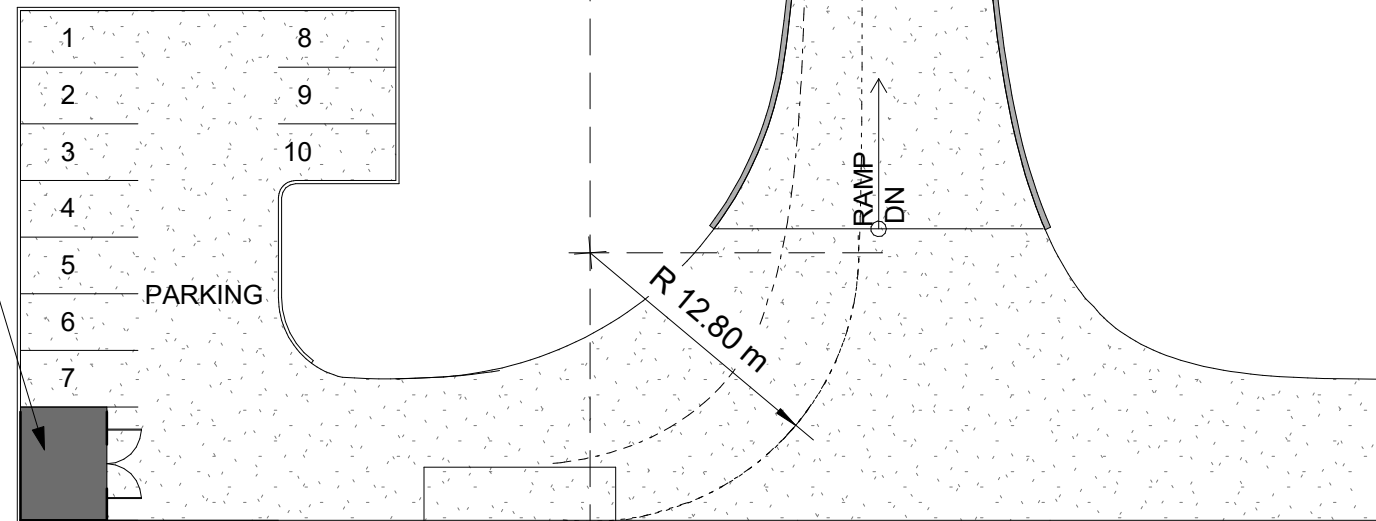
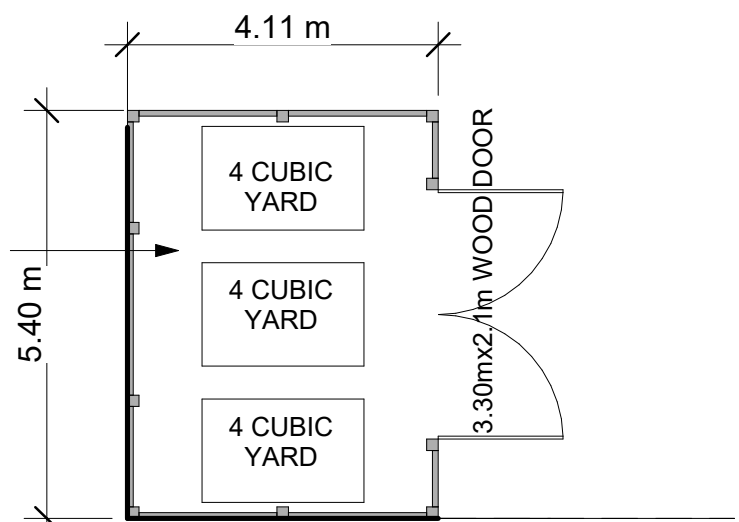




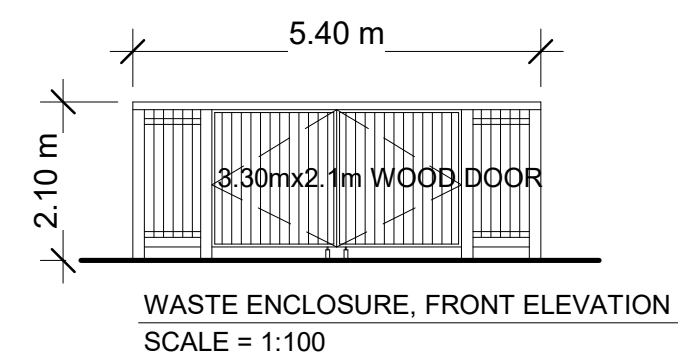
DETAIL "A" (GARBAGE TRUCK MOVEMENT DIAGRAM)



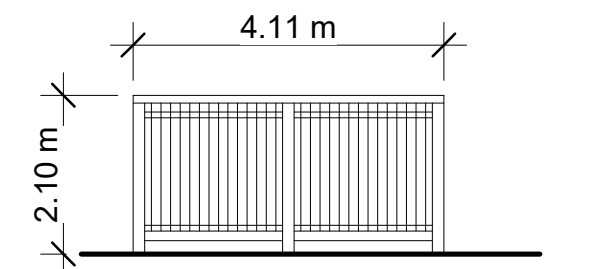
POURED CONCRETE SLAB



WASTE ENCLOSURE, PLAN
SCALE = 1:100

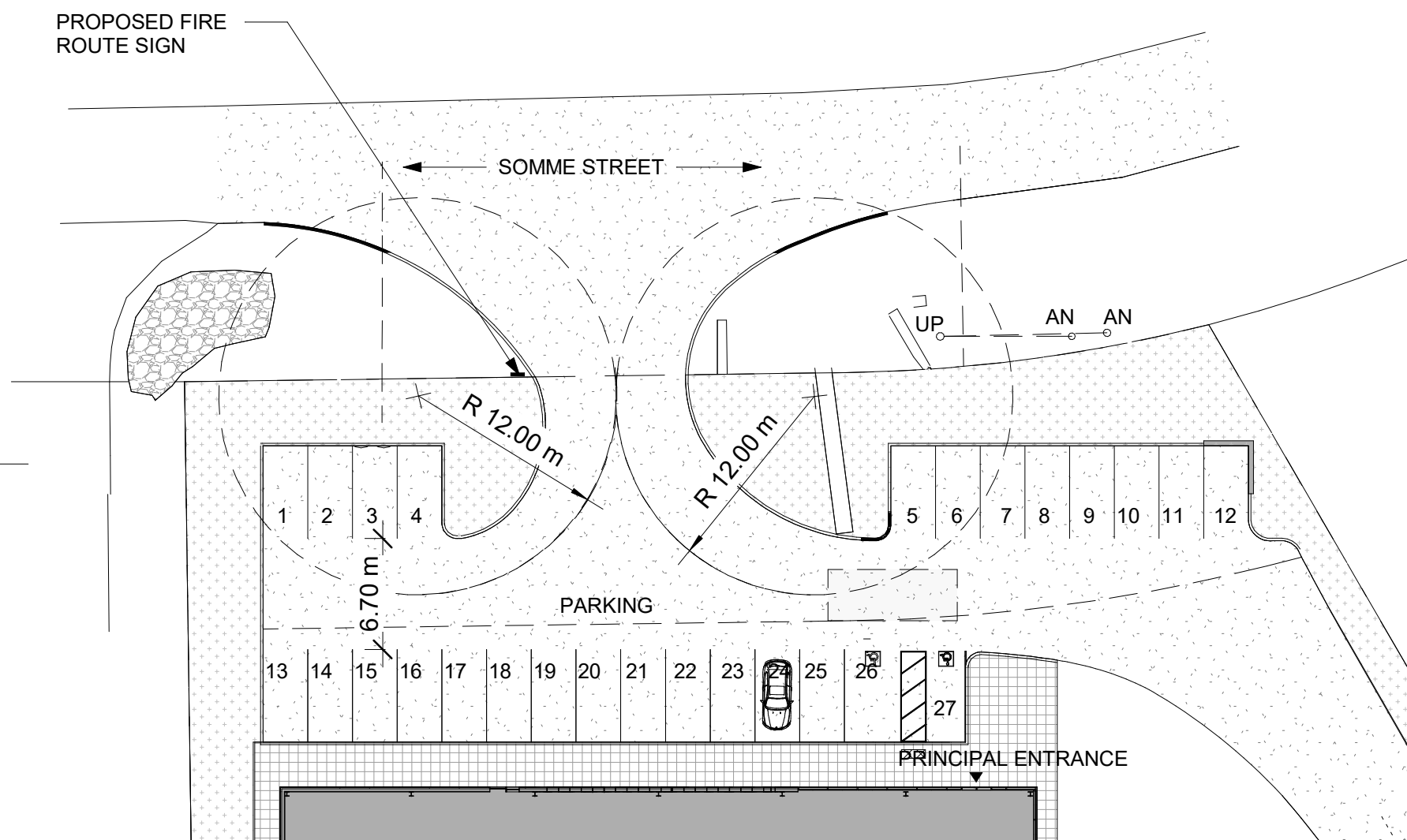


WASTE ENCLOSURE, FRONT ELEVATION
SCALE = 1:100

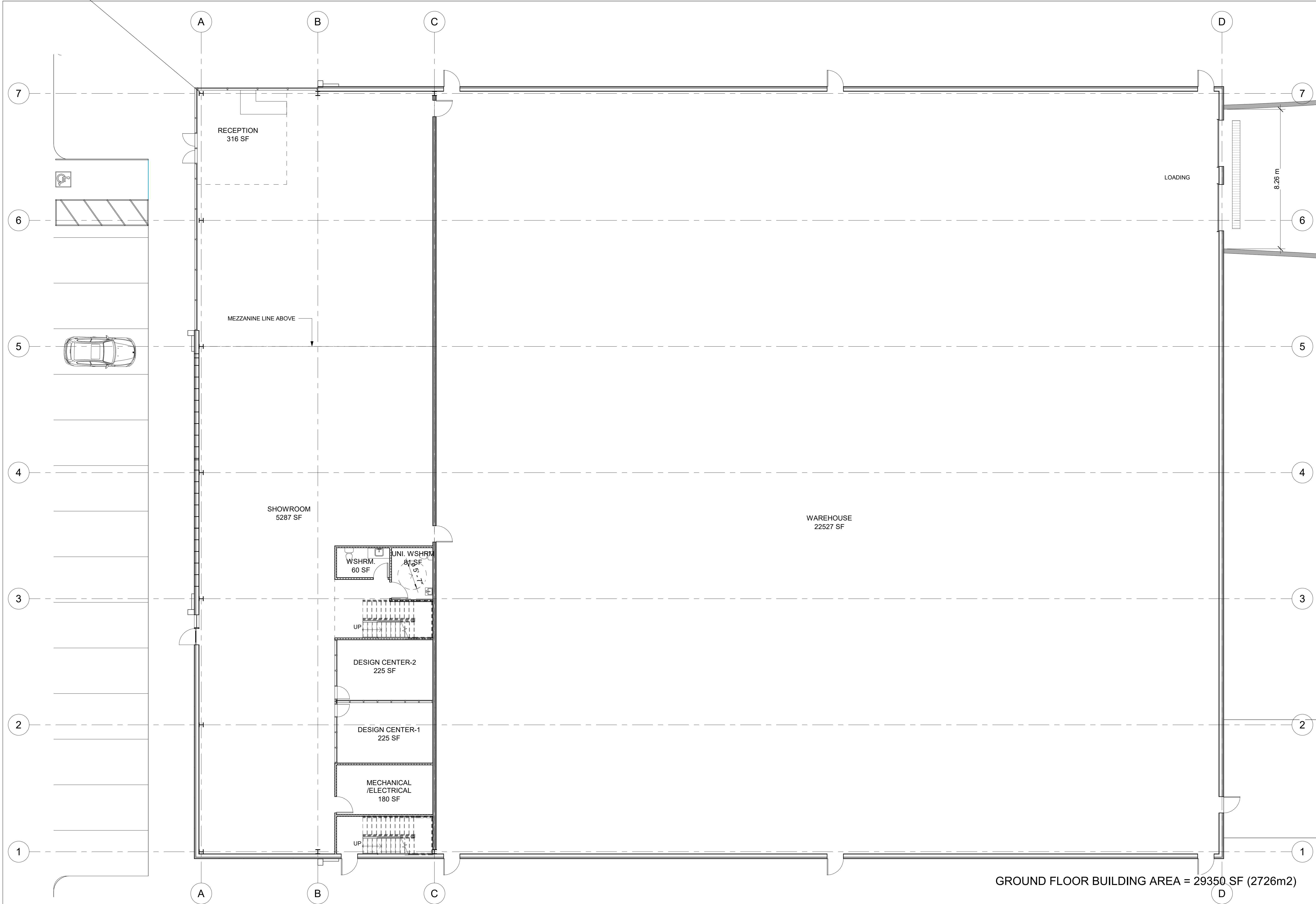


WASTE ENCLOSURE, SIDE ELEVATION
SCALE = 1:100

561 SOMME STREET			
SITE PLAN OF SURVEY PART OF BLOCK 2 AND PART OF RESERVE BLOCK 17, REGISTERED PLAN 4M-1388, CITY OF OTTAWA			
PREPARED BY H.A.KEN SHIPMAN SURVEYING LTD. COMPLETED APRIL 26, 2024			
RH - RURAL HEAVY INDUSTRIAL ZONE (SECTIONS 221-222), CITY OF OTTAWA; DWELLING TYPE: LIGHT INDUSTRIAL USE			
ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	8000 m ²	16205.4 m ²	
B) MINIMUM LOT WIDTH	50 m	69.3 m	
C) MINIMUM LOT DEPTH	N/A	157.47 m	
D) MINIMUM FRONT YARD SET BACK	15 m	24.56 m	
E) MINIMUM INTERIOR SIDE YARD SET BACK	3 m	4.57 m & 26.37 m	
F) MINIMUM REAR YARD SETBACK	15 m	66.21 m	
G) MAXIMUM PRINCIPAL BUILDING HEIGHT	15 m	9.25 m	
H) MAXIMUM LOT COVERAGE	50%	17.2%	
I) PARKING	Warehouse: 0.8 per 100 m ² for the first 5000 m ² of gross floor area Ground floor: (2726 m ² /100)x0.8 = 21.8 spaces Second floor: (414.6 m ² /100)x0.8 = 3.32 spaces Total required: 26 spaces	27 front including 2 barrier free & 10 rear Total: 37	
J) LOADING	1- 7 m x 3.5 m loading space & 9 m driveway accessing the space	2- 7 m x 3.5 m loading spaces & 9 m driveway accessing the space	
K) OUTDOOR STORAGE	Not permitted in front yard and must be screened (1.8 m opaque) from public street and residential uses	None shown on plan	
AVERAGE GRADE: CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES AVERAGE GRADE : 90.675m (90.19m + 90.46m + 91.18m + 90.87m) /4			



FIREFIGHTING ACCESS ROUTE



GROUND FLOOR BUILDING AREA = 29350 SF (2726m2)

RA REDLINE
ARCHITECTURE

REDLINE ARCHITECTURE INC.
Tel: 613-612-2232
info@redlinearchitecture.ca
www.redlinearchitecture.ca

RESPONSIBILITIES:
DO NOT SCALE DRAWINGS
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT DESIGNER
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT
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GENERAL NOTES:



561 SOMME STREET TWO STOREY GRANITE SHOWROOM AND WAREHOUSE

OWNER/DEVELOPER:
BLACKSTONE HOMES DESIGN AND BUILD LTD.

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:
DR PLANNING + DESIGN,
DAYNA EDWARDS
24 KIRKSTALL AVENUE, OTTAWA,
ON K2C 3M5

CIVIL ENGINEER:
LSE ENGINEERING
5430 CANOTEX ROAD
OTTAWA, ON K1J 8C2

LANDSCAPING:
RUHLAND ASSOCIATES LTD.
1755 COLBYWOOD CRESCENT #200
OTTAWA, ON K2C 2B5

SURVEYOR:
FARLEY, SMITH & DENIS SURVEYING
LTD.
UNIT 275, 30 COLONNADE ROAD
OTTAWA, ON K2E 7J6

CONSULTANTS:
STRUCTURAL - TRD
MECHANICAL - TRD
ELECTRICAL - TRD

NO.	REVISION/ISSUE	DATE
9		
8		
7		
6		
5		
4		
3		
2		
1	ISSUED FOR SPA REV	6/23/25

PROJECT:
561 SOMME STREET
EDWARDS, ON N6A 1Y6

PROPOSED FLOOR PLAN

DRAWN BY: SHEET:

7

6

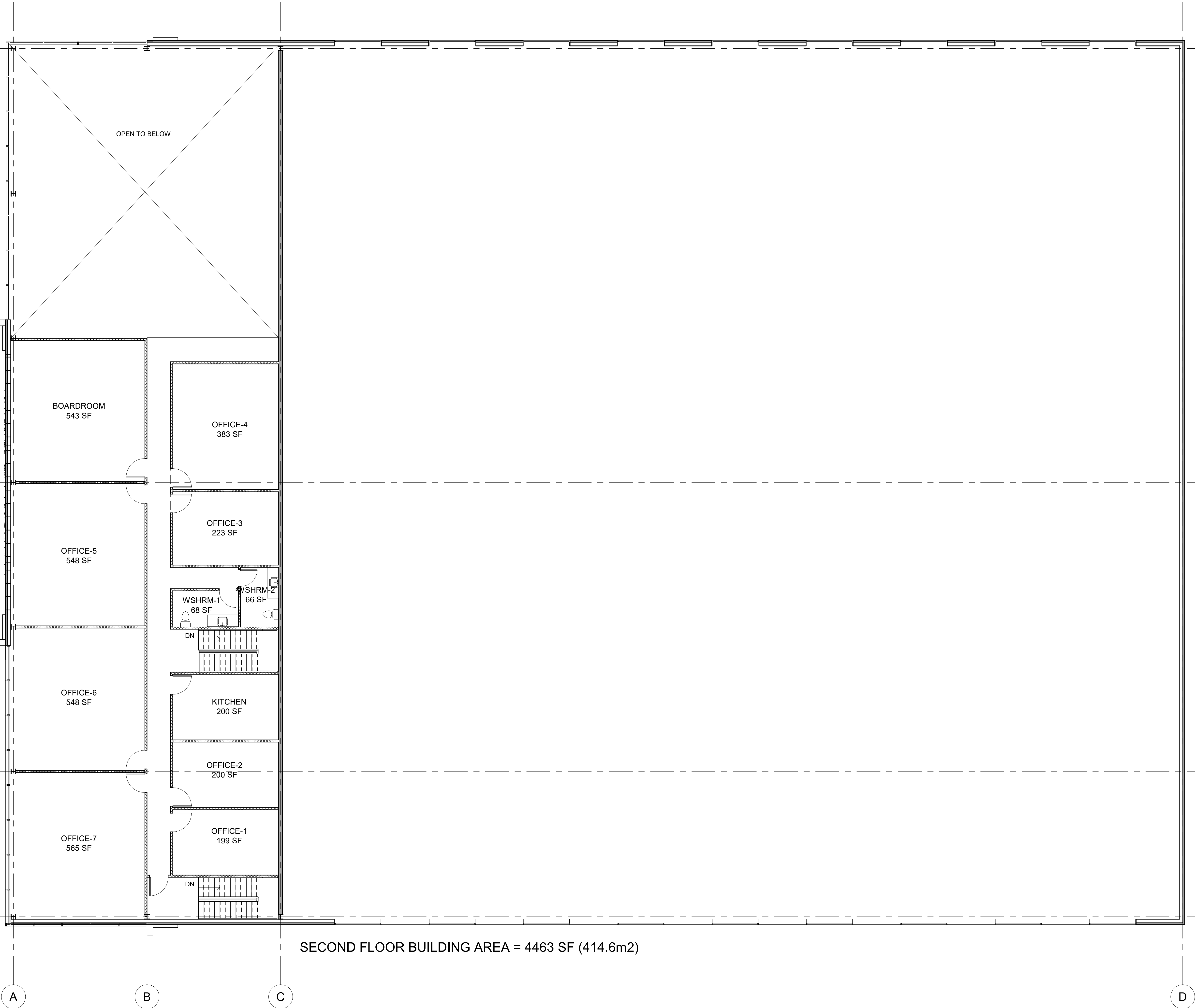
5

4

3

2

1



SECOND FLOOR BUILDING AREA = 4463 SF (414.6m2)

1 SECOND FLOOR PLAN
1/8" = 1'-0"



561 SOMME STREET
TWO STOREY GRANITE SHOWROOM AND WAREHOUSE

OWNER/DEVELOPER:
BLACKSTONE HOMES DESIGN AND BUILD LTD.

ARCHITECT:
REDLINE ARCHITECTURE INC.

APPLICANT:
GE PLANNING + DESIGN,
DAYNA EDWARDS
28 KRISTALL AVENUE, OTTAWA,
ON K2G 3M5

CIVIL ENGINEER:
CRL ENGINEERING
5430 CANOTEX ROAD
OTTAWA, ON K1J 5G2

LANDSCAPING:
RUHLAND ASSOCIATES LTD.
1735 COLBYWOOD CRESCENT #200
OTTAWA, ON K2C 2B5

SURVEYOR:
FARLEY, SMITH & DENIS SURVEYING
LTD.
UNIT 275, 30 COLONNADE ROAD
OTTAWA, ON K2E 7J6

CONSULTANTS:
STRUCTURAL - TBD
MECHANICAL - TBD
ELECTRICAL - TBD

9			MDY
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5			
4			
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2			
1	ISSUED FOR SPA REV	6/23/25	
NO	REVISION/ISSUE	DATE	

PROJECT:
561 SOMME STREET
EDWARDS, ON K2A 1Y0

PROPOSED FLOOR PLAN

