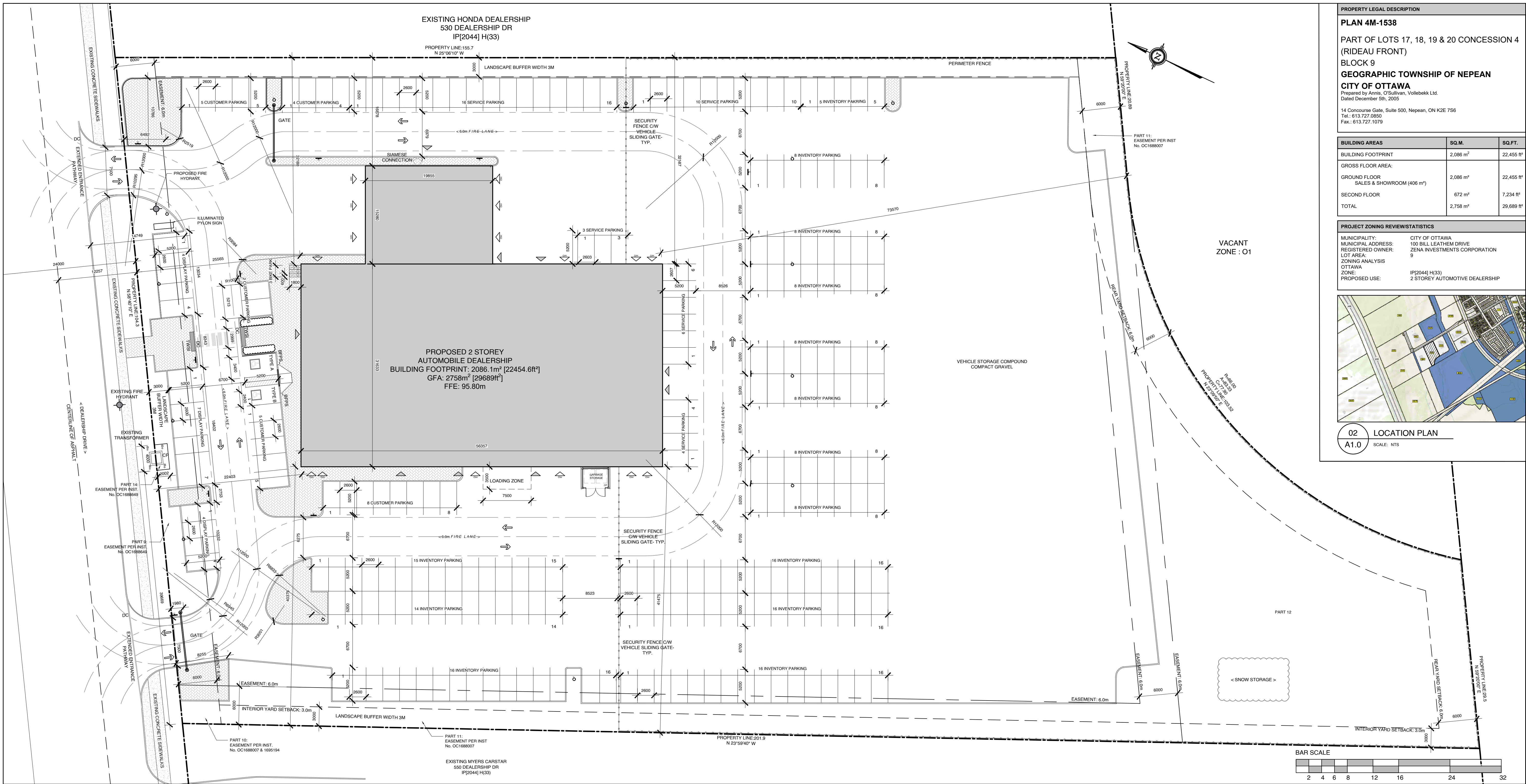
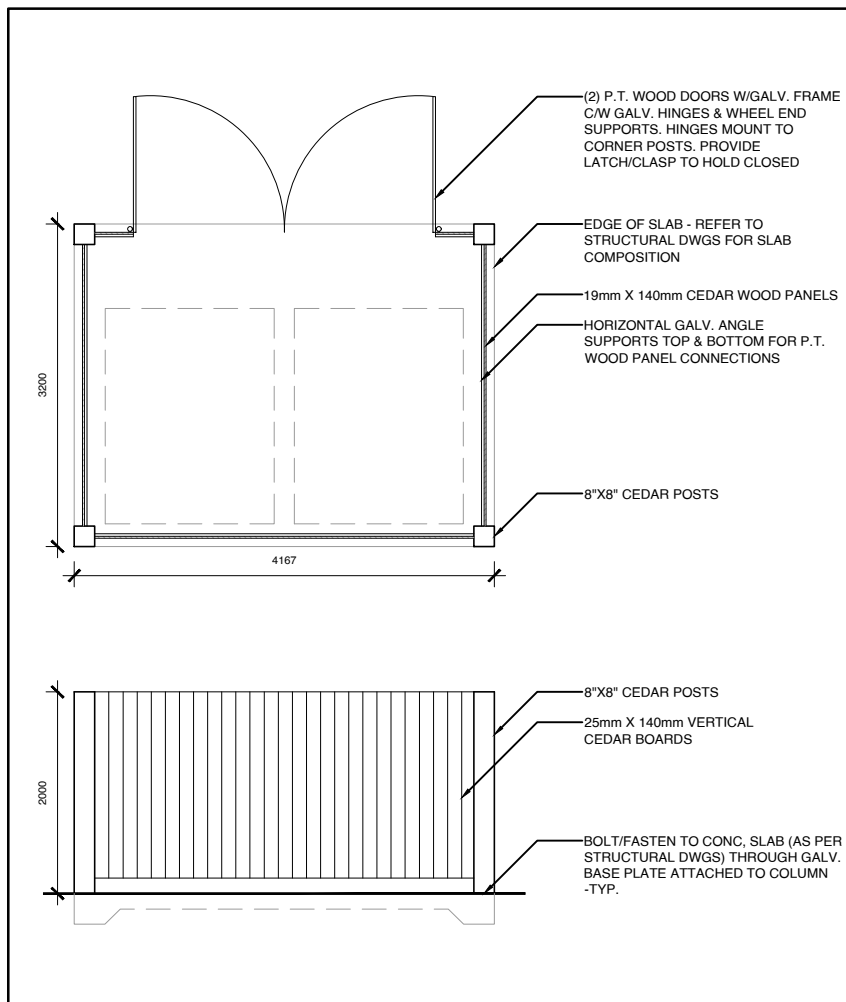


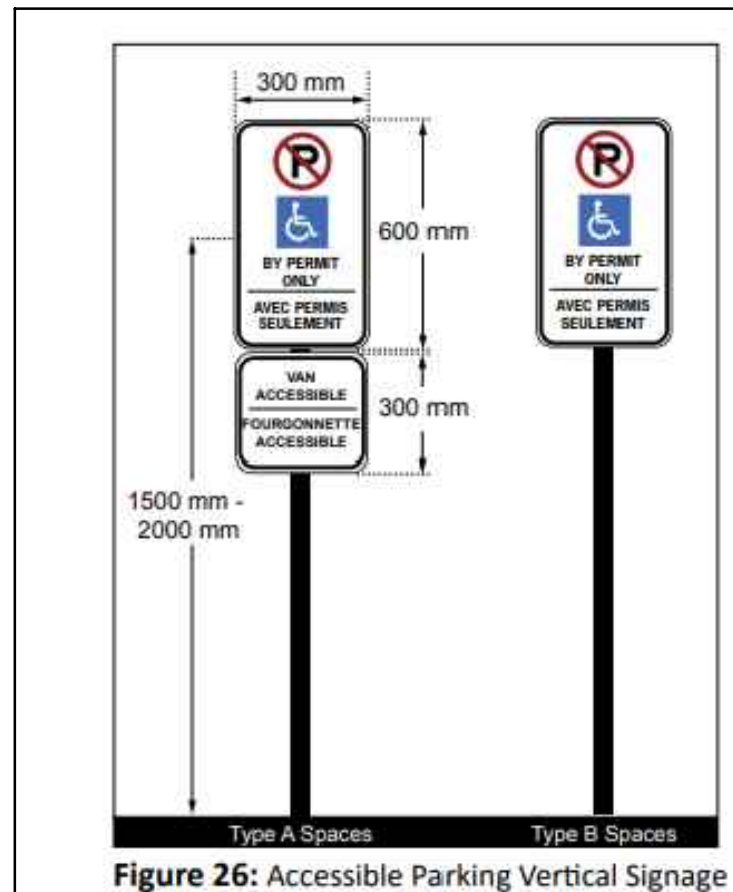


01 SITE PLAN
A1.0 SCALE: 1:300

ZONING MECHANISM (IP[2044] H(33))	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	100m	104.3m
MINIMUM LOT AREA	10,000m ²	18,371.5 m ² (19,7749.6 R ²)
MAXIMUM BUILDING HEIGHT	33m	8.1m
MINIMUM FRONT YARD SETBACK	6.0m	22.4m
MINIMUM REAR YARD SETBACK	6.0m	73.6m
MINIMUM INTERIOR YARD SETBACK	3.0m (FOR ALL OTHER)	40.4m, 16.8m
MAXIMUM LOT COVERAGE	55%	11.5%
MAXIMUM FLOOR SPACE INDEX	NA	0.15
MINIMUM LANDSCAPE WIDTH	3.0m ABUTTING A STREET 3.0m ABUTTING O'KEEFE DRAINAGE CORRIDOR PARKING LOT W/ 100+ PARKING SPACES NO MINIMUM ALL OTHER CASES	3.0m 3.0m 3.0m
PARKING	AREA C SCHEDULE 1A SALES/SHOWROOM AREA: (2 per 100m ² of gross floor area) SERVICE AREA: (2 per service bay); OTHER AREAS: (1 per 100 m ² of gross floor area)	CUSTOMER PARKING : 26 INVENTORY PARKING : 138 SERVICE PARKING : 29 DISPLAY PARKING : 16 TOTAL PARKING : 209
ACCESSIBLE PARKING	1 TYPE A & 1 TYPE B	1 TYPE A & 1 TYPE B
LOADING SPACE	1	1
BIKE PARKING	1 PER 1000m ² OF GROSS FLOOR AREA (Land Use C table 1119)	3 SPACES 3



01 GARBAGE ENCLOSURE
A0.1 SCALE: 1:75



02 ACCESSIBLE PARKING SIGNAGE DETAIL
A0.1 SCALE: NTS

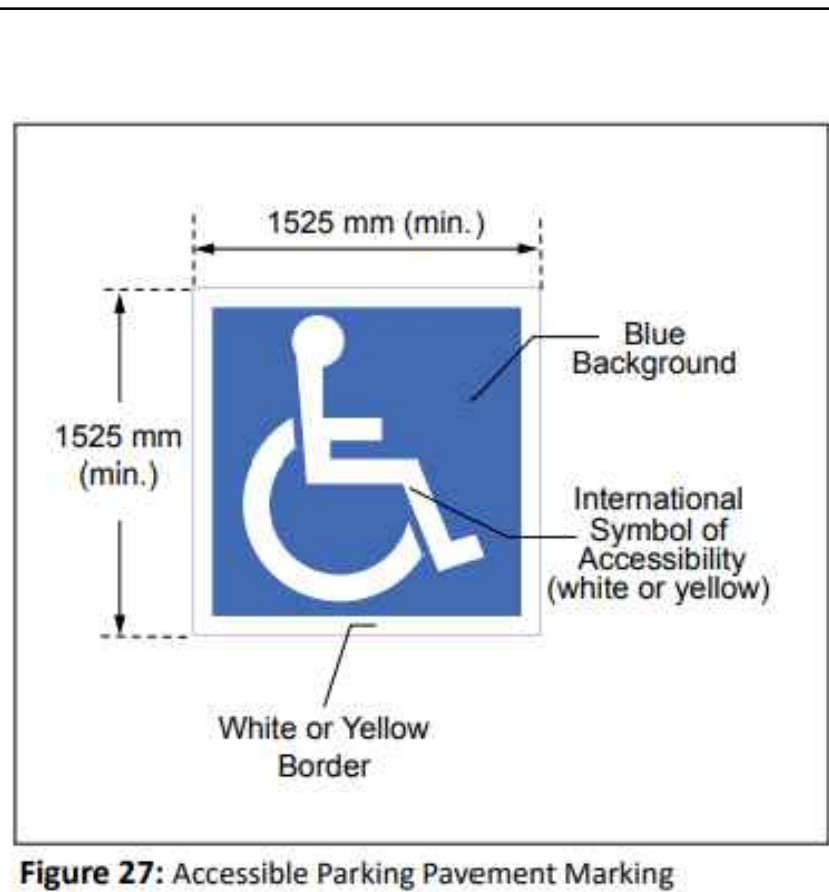
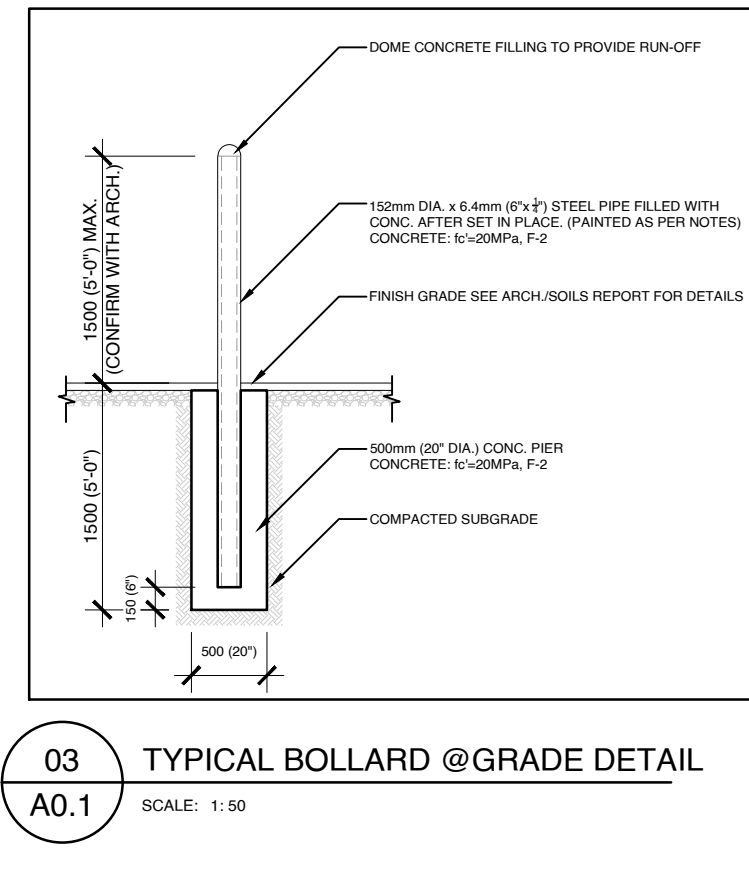


Figure 27: Accessible Parking Pavement Marking



03 TYPICAL BOLLARD @GRADE DETAIL
A0.1 SCALE: 1:50

SITE PLAN SYMBOLS	SITE PLAN NOTES
NEW OVERHEAD DOOR	NOTE: EXISTING ASPHALT SURFACE - REFER TO SURVEY
NEW DOOR / ENTRANCE	(E)AS EXISTING ASPHALT SURFACE - REFER TO SURVEY
BIKE RACK (1.8M DIA)	(E)BU EXISTING BUSHES - REFER TO SURVEY
NO PARKING LINES	(E)CSW EXISTING CONCRETE CURB - REFER TO SURVEY
FIRE ROUTE SIGN	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
VISITOR PARKING	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
TWO WAY TRAFFIC	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
DEPRESSED CURB (DC)	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
TACTILE WALKING SURFACE INDICATORS (TWSI)	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
PROPERTY LINE	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
MINIMUM SETBACKS (ZONING)	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
NEW CONSTRUCTION	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
SOFT LANDSCAPING	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
CONCRETE SIDEWALK	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY
PAVED SIDEWALK	(E)CSW EXISTING CONCRETE SIDEWALK - REFER TO SURVEY

- NOTES:
- ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
 - ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - DO NOT SCALE DRAWINGS.
 - ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



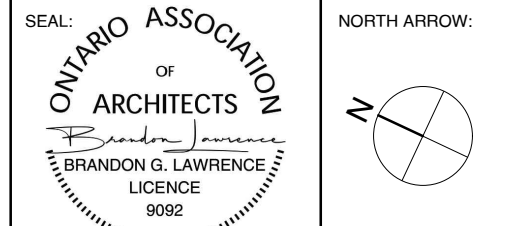
PLANNER
8000 HIGHWAY 27 UNIT 5
WOODBINE
L4H 0A5
TEL: +1 613-714-9308

PROPERTY LEGAL DESCRIPTION
PLAN 4M-1538
PART OF LOTS 17, 18, 19 & 20 CONCESSION 4 (RIDEAU FRONT)
BLOCK 9
GEOGRAPHIC TOWNSHIP OF NEPEAN
CITY OF OTTAWA
Prepared by Anis, O'Sullivan, Vollebakk Ltd.
Dated December 5th, 2005
14 Concourse Gate, Suite 500, Nepean, ON K2E 7S6
Tel.: 613.727.0850
Fax.: 613.727.1079

BUILDING AREAS	SQ.M.	SQ.FT.
BUILDING FOOTPRINT	2,086 m ²	22,455 R ²
GROSS FLOOR AREA:		
GROUND FLOOR SALES & SHOWROOM (406 m ²)	2,086 m ²	22,455 R ²
SECOND FLOOR	672 m ²	7,234 R ²
TOTAL	2,758 m ²	29,689 R ²

PROJECT ZONING REVIEW/STATISTICS
MUNICIPALITY: CITY OF OTTAWA
MUNICIPAL ADDRESS: 100 BILL LEATHAM DRIVE
REGISTERED OWNER: ZENA INVESTMENTS CORPORATION
LOT AREA: 9
ZONING ANALYSIS: OTTAWA
ZONE: IP[2044] H(33)
PROPOSED USE: 2 STOREY AUTOMOTIVE DEALERSHIP

02 LOCATION PLAN
SCALE: NTS



SEAL: ANIS O'SULLIVAN VOLLEBEKK LTD. Surveyors
BRANDON G. LAWRENCE
LICENCE 9082

NORTH ARROW: N

01 2025.10.07 ISSUED FOR SP Response

No. DATE REVISION

205-18 DEAN STREET
OTTAWA, ONTARIO
K2E 8B7

T: 613.727.7770
E: INFO@LAWRENCEARCH.COM

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REPRODUCTION IS NOT PERMITTED

PROJECT: MYERS NISSAN BARRHAVEN

540 FROM DEALERSHIP, NEPEAN ON

SHEET TITLE: SITE PLAN

DRAWN BY: Y.R. CHECKED BY: B.L.

PLOT DATE: 2025.10.07 PROJECT DATE: 2025.09.30

JOB NUMBER: LA-1161-25 SCALE: AS SHOWN

SHEET NUMBER: