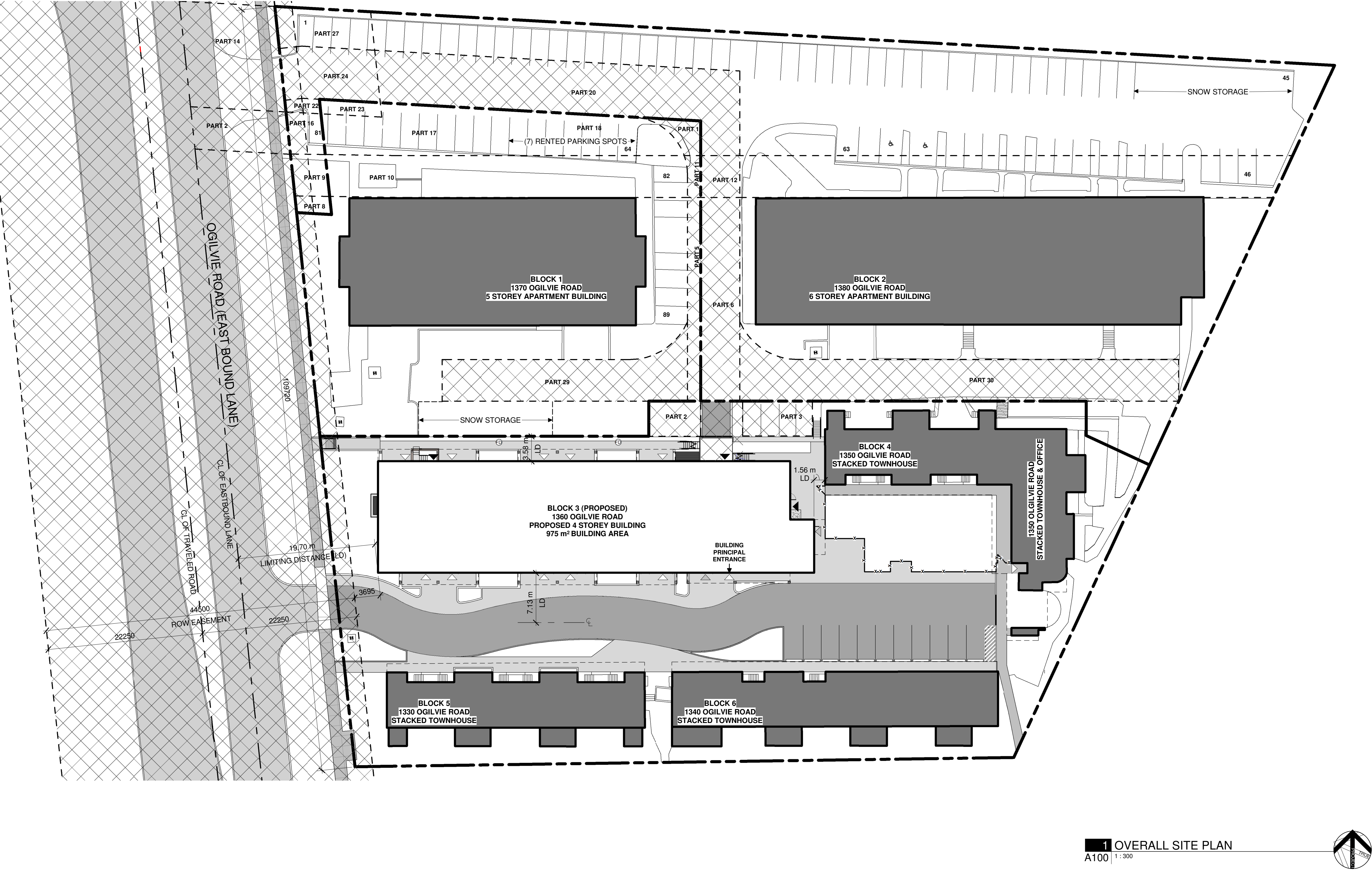




DEVELOPMENT INFO

LEGAL DESCRIPTION
BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA

REFERENCE SURVEY
BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023

MUNICIPAL ADDRESS
1360 OGILVIE RD, OTTAWA, ON K1J 9M6

SITE AREAS
BETTER LIVING CO-OP 5323.54m²
COMMUNITY WORKS 2558.69m²
BIRCHWOOD 5028.37m²
TOTAL 12,910.6m²

BUILDING AREA 975m²

GROSS FLOOR AREA 3,900m²

BUILDING HEIGHT 14.15m , 4 STOREYS

ZONE AM10 H(40)

ZONING INFO

ZONING PROVISION	REQUIRED	PROVIDED
MIN. LOT WIDTH	No minimum	47.68m
MIN. LOT AREA	No minimum	5323.54m ²
MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m
MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A
MIN. REAR YARD SETBACK	7.5m	N/A
MAX. HEIGHT	40m	13.25m
AMENITY AREA	462m ²	552m ²
LANDSCAPED AREA	no minimum	349.5m ²
MIN. FRONTAGE	4.5m	4.3m

FRONTAGE CALCULATION:
43.5m OF BUILDING WALLS / 109.7m OF ENTIRE FRONTAGE = 39% OF FRONTAGE

ZONING PROVISION	REQUIRED	PROVIDED
GROUND FACADE ACTIVATION	The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	Building is located within 6.1m of the front lot line. No active entrances face Ogilvie Rd.
MINIMUM GLAZING OF GROUND FLOOR FACADE	50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	7.7 m ² / 72m ² = 10.7% glazing

PARKING QUEING + LOADING

	REQUIRED	PROVIDED
RESIDENTIAL SPACES	92	43
VISITOR SPACES	15	7
ACCESSIBLE PARKING	-	3
BICYCLE PARKING	39	44
DRIVEWAY WIDTH	3m @ single traffic lane 6m @ double traffic lane	4m for single traffic lane, driveway to parking garage 6m for double traffic lane, parking lot

ACCOMODATIONS LEGEND

DWELLING UNIT TYPE	BLOCK				TOTAL
	3(NEW)	4	5	6	
BACHELOR	1				1
1-BEDROOM	25			0	25
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	12	77

NOTES:
1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
2. TOTAL SITE PARKING(INCLUDING BLC SITE): 136 SPACES

PARKING LEGEND

DWELLING UNIT TYPE	BLOCK				TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
	3(NEW)	4	5	6			
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	12	38	46	36
VISITOR PARKING (0.2)						15	7
						108	total: 43

AMENITY LEGEND

DWELLING UNITS	BLOCK				TOTAL	TOTAL REQUIRED AMENITY SPACE (m ²)	TOTAL AMENITY SPACE PROVIDED (m ²)
	3(NEW)	4	5	6			
	39	14	12	12	77	462	552

SITE PLAN GENERAL NOTES:

- ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
- DO NOT SCALE THIS DRAWING
- REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN LEGEND:

- EXISTING BUILDING (NOT IN SCOPE)
- FIRE ACCESS ROUTE
- EASEMENT / ROW
- ASPHALT PAVING - NEW
- ASPHALT PAVING - EXISTING
- CONCRETE SIDEWALK - NEW
- CONCRETE SIDEWALK - EXISTING
- GRASS - NEW
- GRASS - EXISTING
- PAVER TYPE 1 - NEW
- CONCRETE PAD
- PROPERTY LINE
- EXTENT OF EASEMENT / ROW
- EMERGENCY EXIT
- SERVICE DOORS
- BUILDING MAIN ENTRANCE / TOWN ENTRANCE

STAMP

7	2025-09-04	Re-Issued for SPC
6	2025-03-17	Reissued for SPC
5	2025-02-19	Issued for Permit
4	2024-11-08	Issued for 80% Review
3	2024-10-08	Issued for SPC
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%
REV DATE	ISSUE	

NOTES

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- ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

BETTER LIVING CO-OPERATIVE
OTTAWA
ONTARIO, CANADA

PROJECT

BLOCK 3 REDEVELOPMENT

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

OVERALL SITE PLAN

PROJECT NO: 2022-2040
DRAWN: KM
APPROVED: PM
SCALE: As indicated
DATE PRINTED: 2025-09-03 4:44:24 PM

REV DRAWING NO.

7

A100

STAMP		
9	2025-09-04	Re-Issued for SPC
8	2025-03-17	Reissued for SPC
7	2025-02-19	Issued for Permit
6	2025-02-13	Permit Coordination
5	2024-11-08	Issued for 80% Review
4	2024-10-08	Issued for SPC
3	2024-10-07	Issued for Coordination
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%
REV	DATE	ISSUE

NOTES

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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.

4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

**BLOCK 3
REDEVELOPMENT**

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6
TITLE

PROPOSED SITE PLAN

PROJECT NO: 2022-2040
DRAWN: KM
APPROVED: PM
SCALE: As indicated
DATE PRINTED: 2025-09-03 4:44:30 PM

REV DRAWING NO.

9 A110

19156

SITE PLAN GENERAL NOTES:

1. ALL GENERAL SITE INFORMATION AND CONDITIONS COMPILED FROM EXISTING PLANS AND SURVEYS
2. DO NOT SCALE THIS DRAWING
3. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
4. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
5. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
6. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
7. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
8. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

SITE PLAN KEYNOTES:

- 1 OTTAWA HYDRO SETBACK / CLEARANCES
- 2 NEW RETAINING WALL PER 1/A111
- 3 EXISTING HYDRO TRANSFORMER ON CONCRETE PAD
- 4 PLAYGROUND AREA (N.I.C)
- 5 SNOW STORAGE
- 6 NEW LANDSCAPE STAIR
- 7 EXISTING ROOF OVERHANG
- 8 BOLLARDS ALONG PROPOSED WOONERF, REFER TO LANDSCAPE
- 9 ROW EASEMENT
- 10 LOCATION OF TRAFFIC SIGNAL
- 11 DEPRESSED CURB
- 12 NEW BIKE RACKS (5 TOTAL)
- 13 NEW TRANSFORMER PER ELECTRICAL DOCUMENTS
- 14 AREA DRAIN. REFER TO CIVIL DOCUMENTS
- 15 SOFT LANDSCAPING PER LANDSCAPE

SITE PLAN LEGEND:

	EXISTING BUILDING (NOT IN SCOPE)
	FIRE ACCESS ROUTE
	EASEMENT / ROW
	ASPHALT PAVING - NEW
	ASPHALT PAVING - EXISTING
	CONCRETE SIDEWALK - NEW
	CONCRETE SIDEWALK - EXISTING
	GRASS - NEW
	GRASS - EXISTING
	PAVER TYPE 1 - NEW
	CONCRETE PAD

	PROPERTY LINE
	EXTENT OF EASEMENT / ROW
	OTTAWA HYDRO SETBACK
	FENCING PER LANDSCAPE
	NEW DOMESTIC WATER
	NEW SANITARY
	NEW STORM
	NEW ELECTRICAL SERVICE BELOW GRADE
	CATCH BASIN
	FIRE HYDRANT
	MANHOLE
	SIAMESE CONNECTION
	EMERGENCY EXIT
	SERVICE DOORS
	BUILDING MAIN ENTRANCE / TOWN ENTRANCE

1 PROPOSED SITE PLAN
A110 1 : 200



DEVELOPMENT INFO		ZONING INFO		ZONING PROVISION		PARKING QUEING + LOADING	
LEGAL DESCRIPTION		ZONING PROVISION		REQUIRED	PROVIDED	REQUIRED	PROVIDED
BLOCKS C, D, AND L REGISTERED PLAN 4M-172 CITY OF OTTAWA		MIN. LOT WIDTH	No minimum	47.68m		RESIDENTIAL SPACES	92
REFERENCE SURVEY		MIN. LOT AREA	No minimum	5323.54m ²		VISITOR SPACES	15
BASED ON INFORMATION FROM A SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. DATED JULY 5, 2023		MIN. FRONT YARD SETBACK	Minimum: 0m	6.1m		ACCESSIBLE PARKING	-
MUNICIPAL ADDRESS		MIN. INTERIOR SIDE YARD SETBACK	No minimum	N/A		BICYCLE PARKING	39
1360 OGILVIE RD, OTTAWA, ON K1J 9M6		MIN. REAR YARD SETBACK	7.5m	N/A		DRIVEWAY WIDTH	3m @ single traffic lane
SITE AREAS		MAX. HEIGHT	40m	13.25m			4m for single traffic lane, driveway to parking garage
BETTER LIVING CO-OP	5323.54m ²	AMENITY AREA	462m ²	552m ²			6m @ double traffic lane
COMMUNITY WORKS	2558.69m ²	LANDSCAPED AREA	no minimum	349.5m ²			6m for double traffic lane, parking lot
BIRCHWOOD	5028.37m ²	MIN. FRONTAGE	4.5m	4.3m			
TOTAL	12,910.6m ²						
BUILDING AREA	975m ²						
GROSS FLOOR AREA	3,900m ²						
BUILDING HEIGHT	14.15m , 4 STOREYS						
ZONE	AM10 H(40)						

ZONING PROVISION		REQUIRED	PROVIDED
GROUND FACADE ACTIVATION		The ground floor facade facing a public street of a building located within 4.5 m of the front lot line must include: a minimum of one active entrance from each individual occupancy located immediately adjacent to the front lot line	Building is located within 6.1m of the front lot line. No active entrances face Ogilvie Rd.
MINIMUM GLAZING OF GROUND FLOOR FACADE		50% of the surface area of the ground floor facade facing Ogilvie, from the average grade up 4.5 metres, must be comprised of transparent glazing and active customer or resident entrance access doors	7.7 m2/ 72m2 = 10.7% glazing

ACCOMODATIONS LEGEND					
DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL
BACHELOR	1				1
1-BEDROOM	25			0	25
2-BEDROOM	4	7	6	6	23
3-BEDROOM	9	7	6	4	26
4-BEDROOM				1	1
5-BEDROOM				1	1
1-B(SENIOR)					0
2-B(SENIOR)					0
TOTAL	39	14	12	12	77

NOTES:

1. PARKING FIGURES IN TABLE REFLECT BLC SITE ONLY
2. TOTAL SITE PARKING:
A. INCLUDING OFFICE, RESIDENT, AND VISITOR PARKING SPACES: 170 SPACES
B. INCLUDING ONLY RESIDENT AND VISITOR, EXCLUDING OFFICE: 154 SPACES

PARKING LEGEND							
DWELLING UNIT TYPE	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED PARKING	TOTAL PARKING PROVIDED
APARTMENT (1.2)	39				39	47	
STACKED (1.2)	0	14	12	12	38		36
VISITOR PARKING (0.2)						15	7
						108	total: 43

AMENITY LEGEND							
DWELLING UNITS	3(NEW)	4	5	6	TOTAL	TOTAL REQUIRED AMENITY SPACE (m2)	TOTAL AMENITY SPACE PROVIDED (m2)
	39	14	12	12	77	462	552

GENERAL STAIR NOTES:

1. DEMARCATÉ LEADING EDGE OF TREADS AND LEADING EDGE OF LANDING WITH COLOUR CONTRAST/DISTINCTIVE VISUAL PATTERN.
2. CONTRACTOR TO PROVIDE ENGINEERED STAMPED SHOP DRAWINGS OF STAIRS, HANDRAILS AND GUARDS SEALED AND SIGNED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
3. PROVIDE 50mm MIN. CLEARANCE BETWEEN HANDRAIL AND ANY ADJACENT SURFACE.
4. ALL METAL COMPONENTS FOR GUARDS AND HANDRAILS TO BE PRIMED AND PAINTED. COLOUR PER FINISH PLANS
5. PROVIDE 50mm MIN. CLEARANCE BETWEEN HANDRAIL AND ANY ADJACENT SURFACE.
6. PROVIDE COLOUR CONTRASTING AND SLIP RESISTANT STRIP ALONG EDGE OF NOSINGS AS PER OBC 2012 3.4.6.1. VISUAL INDICATOR STRIP TO BE INT INTEGRATED INTO TREAD LINER FINISH MATERIAL.

STAIR KEYNOTES:

STAIR TYPE

- | | |
|---|---|
| 1 | WOOD STAIR |
| 2 | PRECAST CONCRETE STAIR |
| 3 | CAST-IN-PLACE CONCRETE STAIR |
| 4 | STEEL PAN TREAD C/W CLOSED RISER & CONCRETE FILL, PAINTED. STAIR FINISH PER FLOOR FINISH PLAN |
| 5 | INTERMEDIATE LANDING - SEE STRUCTURAL |

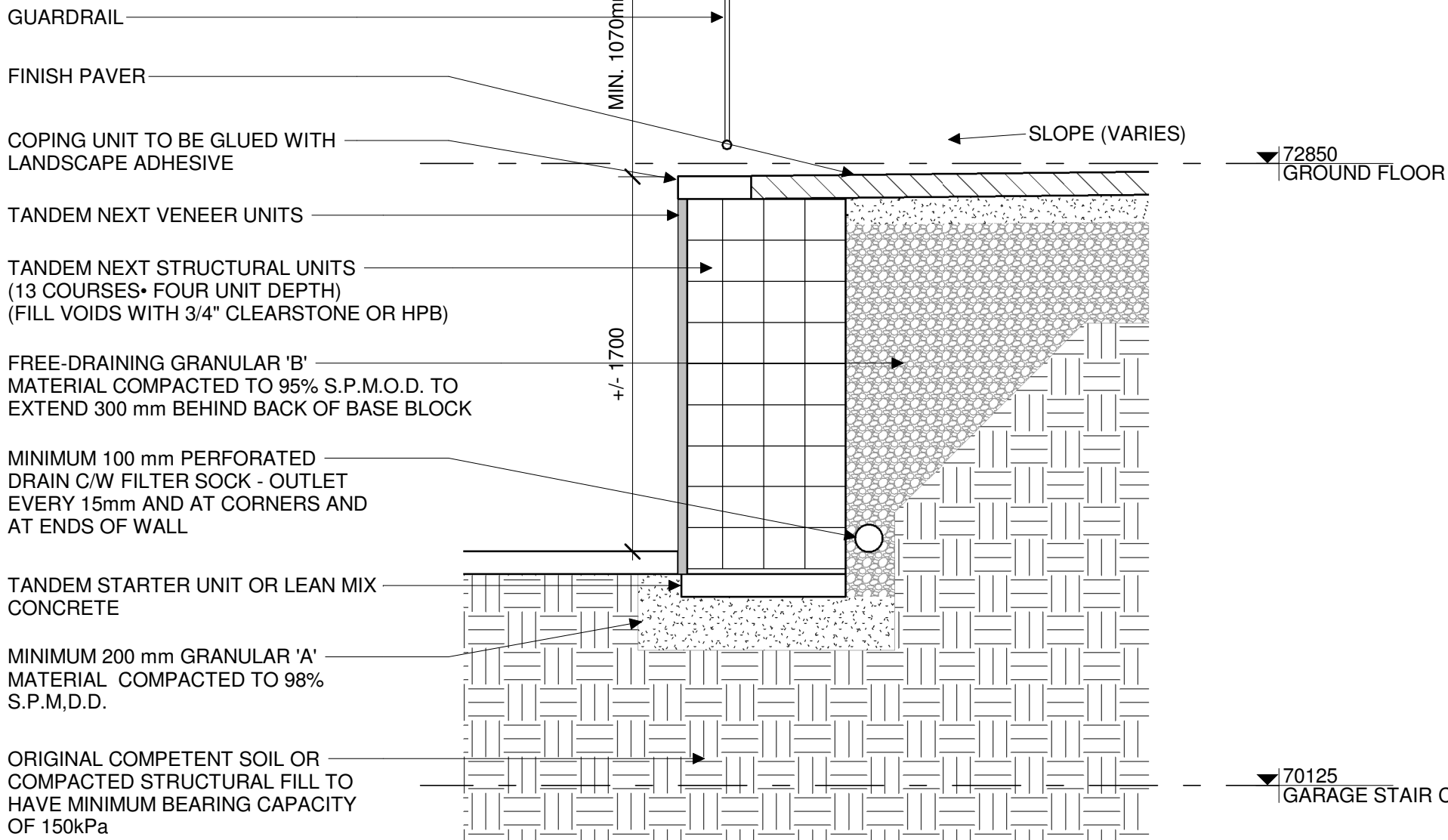
GUARDRAIL/HANDRAIL TYPE

- | | |
|----|--|
| 11 | 38mm Ø METAL WALL MOUNTED HANDRAIL PER OBC 3.4.6.5 |
| 12 | 38mm Ø WOOD WALL MOUNTED HANDRAIL |
| 13 | 1070mm HIGH STEEL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. |
| 14 | 915mm HIGH CONTINUOUS 38mm Ø METAL HANDRAIL MOUNTED TO STAIR STRINGER C/W 16mm Ø BALUSTERS @ 100mm O.C. |
| 15 | 915mm HIGH CONTINUOUS 38mmØ METAL HANDRAIL MOUNTED TO 1070mm HIGH METAL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. CONNECTED TO STRINGERS WITH MOUNTING PLATE |
| 16 | 915mm HIGH CONTINUOUS 38mmØ METAL HANDRAIL MOUNTED TO 1070mm HIGH METAL GUARD C/W 16mm Ø BALUSTERS @ 100mm O.C. CAST INTO PRECAST CONCRETE STAIR |
| 17 | WALL MOUNTED HANDRAIL BRACKET, PAINTED - TYP. |
| 18 | 300mm HANDRAIL EXTENSION (TYP.) |

ACCESSORIES

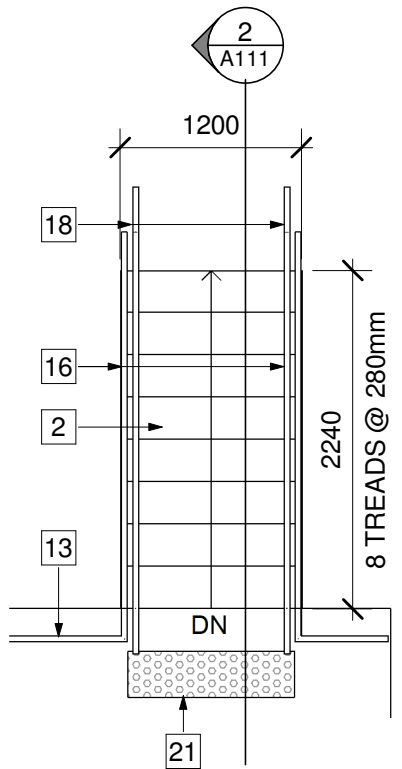
- | | |
|----|---|
| 21 | 305mm TACTILE INDICATOR STRIP TO COMPLY WITH OBC 3.4.6.1 AND 3.8.3.18 (2) REFER TO SPECS - TYP. EXTEND FULL WIDTH OF STAIRS AS SHOWN. |
|----|---|

NOTE:
AREA DRAINS NOT SHOWN. REFER TO CIVIL



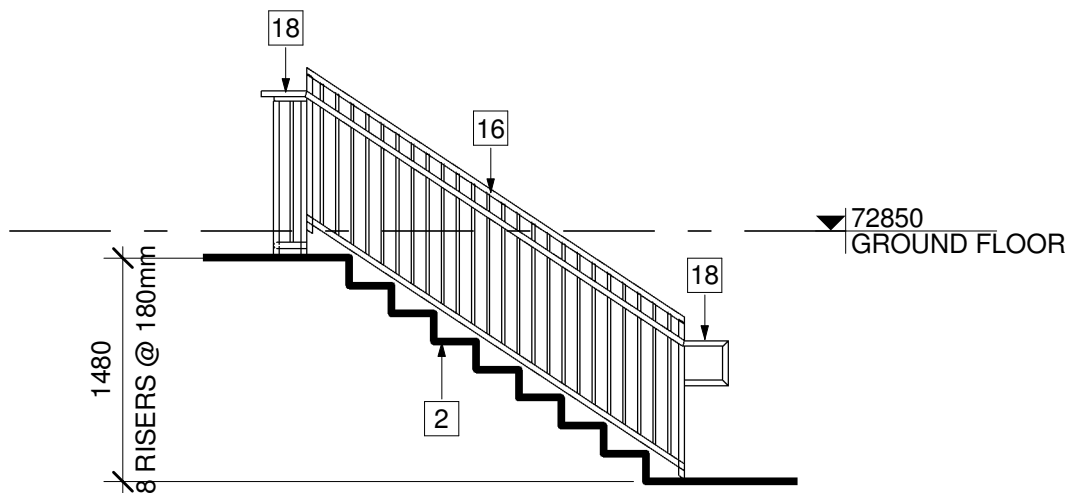
5 RETAINING WALL SECTION @ GL 1

A111 | 1:25



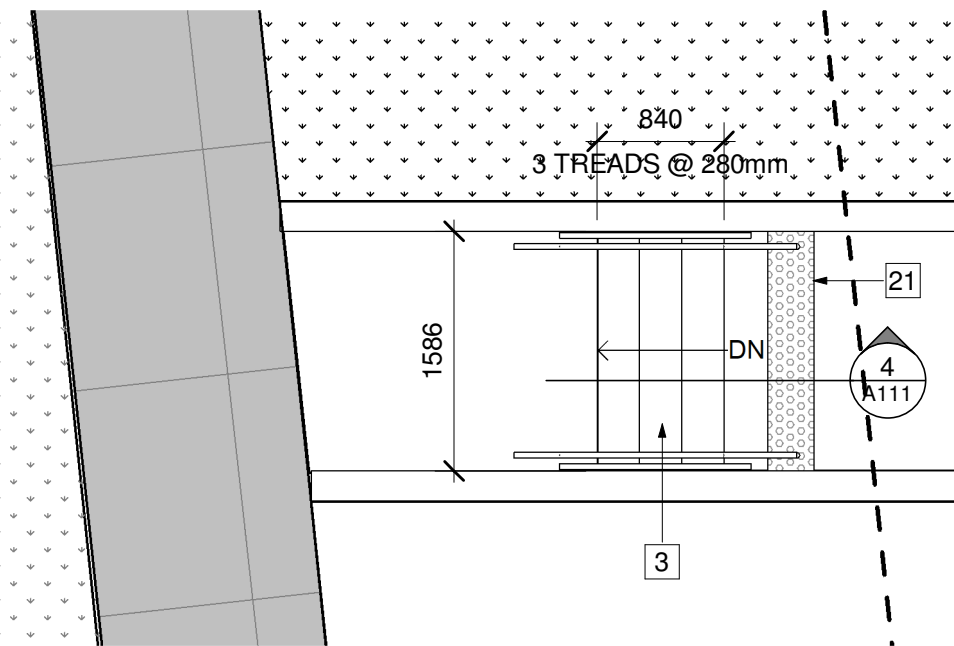
1 SITE STAIR B PLAN DETAIL

A111 | 1:50



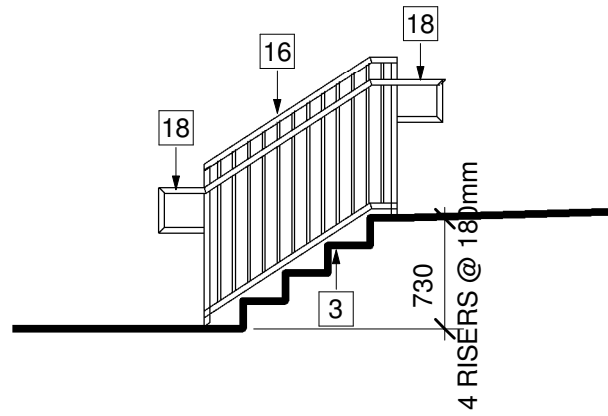
2 STAIR SECTION

A111 | 1:50



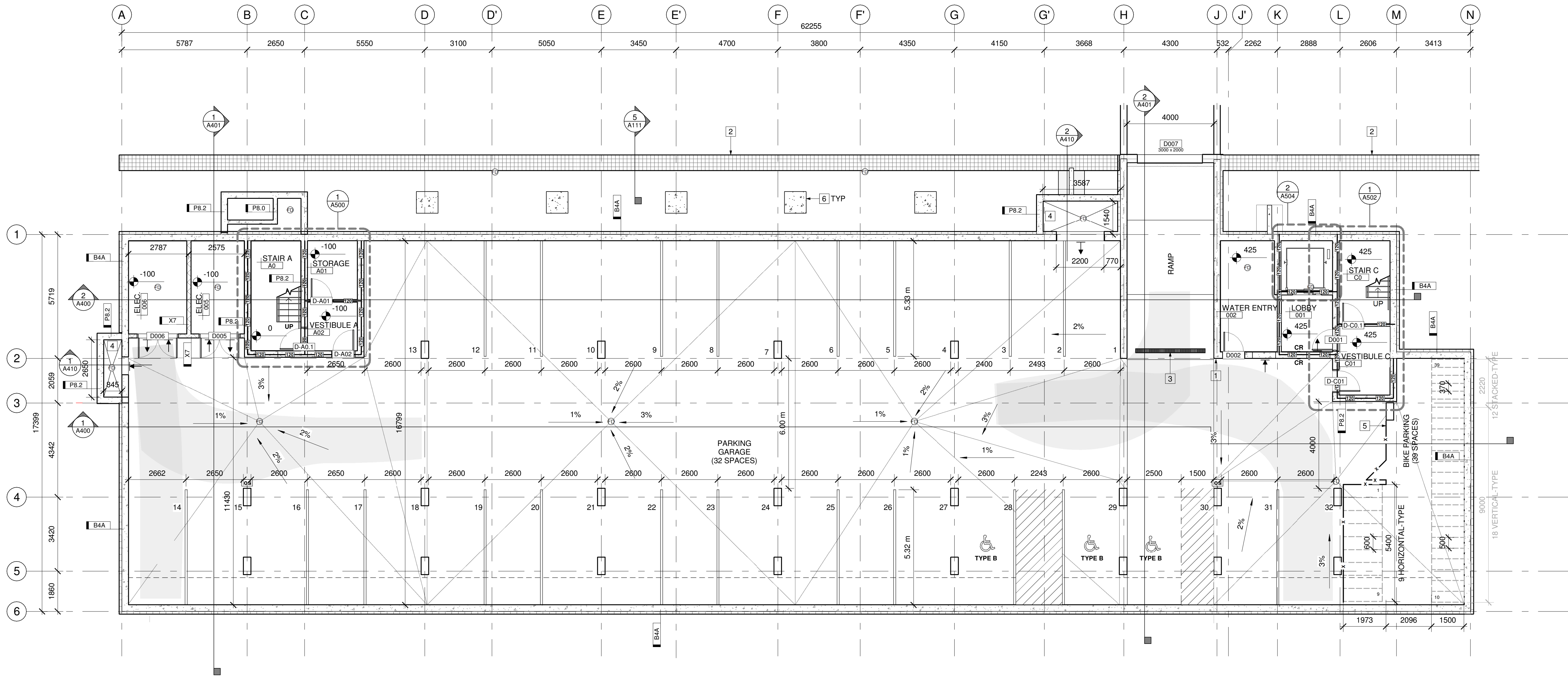
3 SITE STAIR A PLAN DETAIL

A111 | 1:50



4 STAIR SECTION

A111 | 1:50



1 UNDERGROUND PARKING LEVEL
A200 1:100

GENERAL REFERENCE PLAN NOTES:

1. ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
2. ALL DOOR DIMENSIONS ARE TO THE CENTRE OR INSIDE OF FRAME.
3. ALL WINDOW DIMENSIONS ARE TO THE CENTER OR OUTSIDE OF FRAME.

UNDERGROUND PARKING PLAN KEYNOTES:

- 1 LOCATION OF TRAFFIC SIGNAL
- 2 PRE-ENGINEEREDE RETAINING WALL
- 3 TRENCH DRAIN, REFER TO MECHANICAL DOCUMENTS
- 4 AREAWAY
- 5 SECURE BIKE STORAGE. CHAINLINK FENCE W/ ACCESS DOOR.
SECURE FENCE TO FLOOR SLAB AND TO U/S SLAB ABOVE
- 6 PIER FOOTING PER STRUCTURAL DOCUMENTS

LEGEND:

- | | |
|--|-----------------------------------|
| | EARTH BACKFILL |
| | ACCESSIBLE PARKING AISLE |
| | 0 MIN. FIRE RESISTANCE RATING |
| | 45 MIN. FIRE RESISTANCE RATING |
| | 60 MIN. FIRE RESISTANCE RATING |
| | 90 MIN. FIRE RESISTANCE RATING |
| | DOOR |
| | CARD READER |
| | FLOOR DRAIN, REFER TO MECHANICAL. |
| | SENSOR, WALL |
| | INTAKE LOUVRE |
| | EXHAUST LOUVRE |

STAMP

7	2025-09-04	Re-Issued for SPC
6	2025-03-17	Reissued for SPC
5	2025-02-19	Issued for Permit
4	2024-11-08	Issued for 80% Review
3	2024-10-08	Issued for SPC
2	2024-07-15	Issued for SPC
1	2024-07-19	Issued for 66%
REV DATE		ISSUE

NOTES

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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
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CLIENT

**BETTER LIVING
CO-OPERATIVE**
OTTAWA
ONTARIO, CANADA

PROJECT

**BLOCK 3
REDEVELOPMENT**

1360 OGILVIE ROAD
GLOUCESTER, ON K1J 9M6

TITLE

**UNDERGROUND
PARKING PLAN**

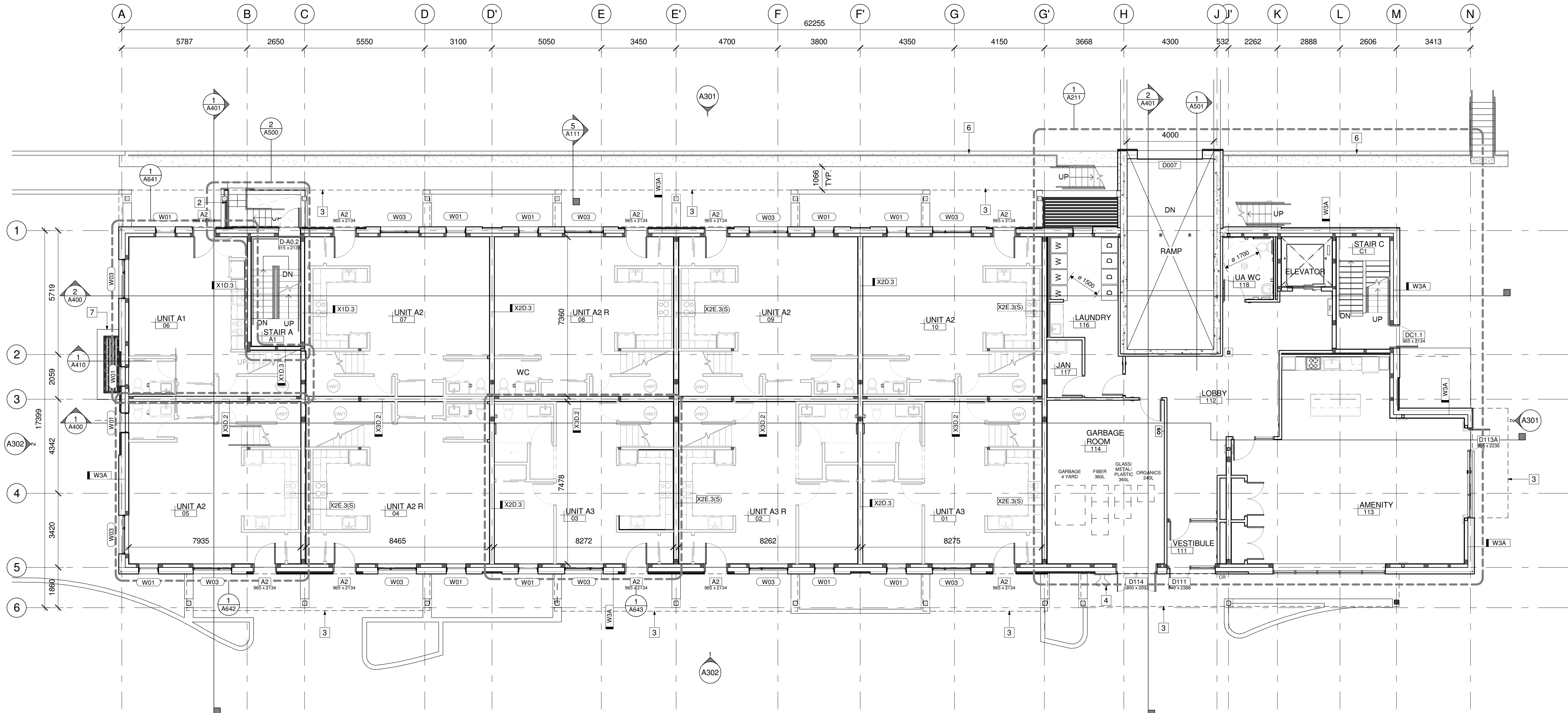
PROJECT NO: 2022-2040
DRAWN: DF
APPROVED: PM
SCALE: 1:100
DATE PRINTED: 2025-09-03 4:44:38 PM

REV DRAWING NO.

7

A200

D07-19-24-0061



STRUCTURAL ENGINEER

Cunliffe & Associates

200, 1550 Carling Avenue

Ottawa, Ontario K1Z 8S8

613-729-7242

cunliffe@cunliffe.ca

MECHANICAL AND ELECTRICAL ENGINEER

Chorley + Bisset Consulting Engineers

250 City Centre Avenue

Ottawa, Ontario K1R 6K7

613-241-0030

email@chorley.com

LANDSCAPE ARCHITECT

James B. Lennox & Associates

3332 Carling Avenue

Ottawa, Ontario K2H 5A8

613-722-5168

STAMP

5 2025-09-04 Re-issued for SPC

4 2025-03-17 Reissued for SPC

3 2025-02-19 Issued for Permit

2 2024-11-08 Issued for 80% Review

1 2024-10-08 Issued for SPC

REV DATE ISSUE

NOTES

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5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTS AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

BETTER LIVING

CO-OPERATIVE

OTTAWA

ONTARIO, CANADA

PROJECT

BLOCK 3

REDEVELOPMENT

1360 OGILVIE ROAD

GLOUCESTER, ON K1J 9M6

TITLE

EXTERIOR

ELEVATIONS

PROJECT NO: 2022-2040

DRAWN: DF

APPROVED: DH

SCALE: As indicated

DATE PRINTED: 2025-09-03 4:44:54 PM

REV

DRAWING NO.

5

A301

19156



1 EAST ELEVATION

A301 1:100



2 SOUTH ELEVATION

A301 1:100

ELEVATION NOTES:

CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.

ELEVATION KEYNOTES:

- 1 STOREFRONT WALL SYSTEM
- 2 CANOPY
- 3 JULIETTE BALCONY
- 4 PREFINISHED METAL FLASHING
- 5 ROOFTOP ACCESS
- 6 ELEVATOR OVERRUN
- 7 GARAGE DOOR
- 8 NEW LANDSCAPE STAIR C/W HANDRAIL AND GUARDRAIL
- 9 EMERGENCY EXIT STAIR
- 10 EXTERIOR LIGHT FIXTURE

ELEVATION LEGEND:

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
		BRICK VENEER MANUFACTURER: COLOUR: BROWN
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR: BLUE
		ALUMINUM COMPOSITE PANEL MANUFACTURER: COLOUR: WHITE
		WOOD SIDING MANUFACTURER: COLOUR: LIGHT OAK
		FASCIA MANUFACTURER: COLOUR: GREY



1 WEST ELEVATION
A302 1:100



2 NORTH ELEVATION (OGILVIE RD.)
A302 1:100

ELEVATION NOTES:

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