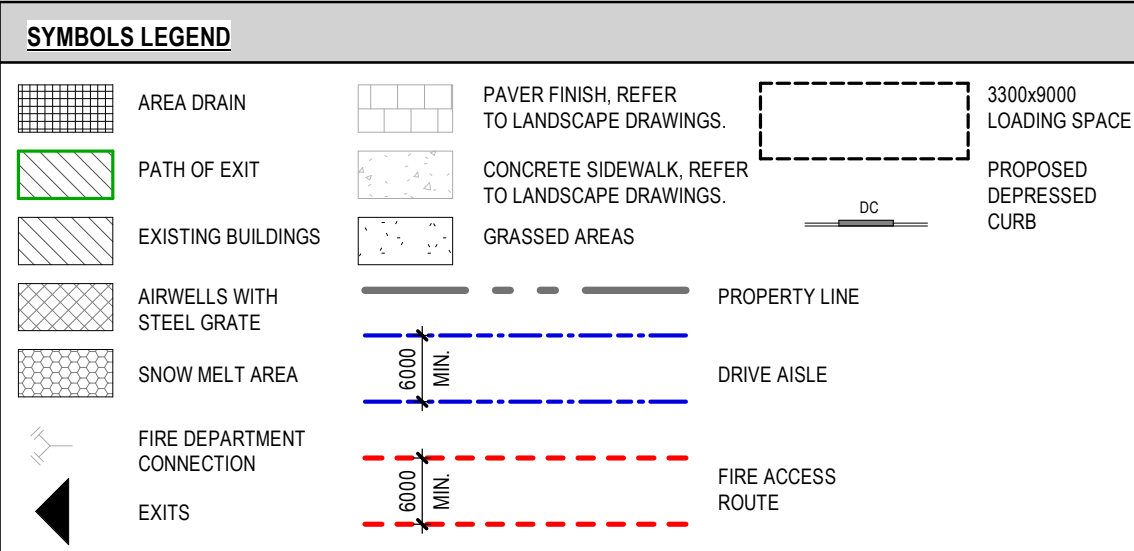


BUILDING CODE MATRIX - GROSS FLOOR AREAS					
GROSS FLOOR AREA	AREA (m ²)/ FLOOR	AREA (m ²)/ FLOOR	# OF FLOORS	TOTAL AREA (m ²)	TOTAL AREA (m ²)
P4.5, P3.5 & P2.5 LEVELS	1 560 m ²	16 790.0 m ²	0	0 m ²	0 m ²
P1.5 LEVEL	1 643 m ²	17 680.1 m ²	0	0 m ²	0 m ²
GROUND FLOOR	1 452 m ²	15 631.7 m ²	1	1 452 m ²	15 632 m ²
2nd FLOOR	1 479 m ²	15 920.5 m ²	1	1 479 m ²	15 921 m ²
3rd FLOOR	864 m ²	9 236.1 m ²	1	864 m ²	9 237 m ²
4th & 17th TYPICAL FLOOR	609 m ²	6 554.1 m ²	2	1 218 m ²	13 108 m ²
5th to 16th TYPICAL FLOOR	620 m ²	6 674.6 m ²	12	7 441 m ²	80 095 m ²
18th FLOOR PENTHOUSE	249 m ²	2 679.0 m ²	1	249 m ²	2 679 m ²
	8 475 m ²	91 226.8 m ²		12 703 m ²	136 731 m ²

Gross Area means the total area of all floors above grade measured between the outside surfaces of exterior walls.

NOTES

- FOR EXISTING SITE CONDITIONS, PROPERTY BOUNDARY INFORMATION, AND CONFIGURATION OF LOT PARTS SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., REGISTERED PLANS 4R-36923, SUBMITTED SEPARATELY.
- FOR PROPERTY IDENTIFICATION NUMBERS (PIN) FOR PART OF LOT 18, 19, 20 (SOUTH YORK STREET) AND PART OF LOT 18, 19, 20 (NORTH GEORGE STREET), REFER TO SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
- FOR EXISTING & NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
- FOR NEW LANDSCAPING DESIGN, SEE LANDSCAPING PLANS BY JAMES B. LENNOX & ASSOCIATES, SUBMITTED SEPARATELY.
- FOR PROPOSED LIGHTING LAYOUT, SEE ELECTRICAL ENGINEERING PLANS BY JAIN CONSULTING, SUBMITTED SEPARATELY.
- ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIORS OF OUTSIDE WALLS, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).
- SNOW STORAGE: SNOW WILL BE HAULED OFF SITE.



ZONING MECHANISM	SOLID WASTE COLLECTION REQUIREMENTS	
	REGULATION	PROPOSED
Hotel Waste	Garbage (Compacted) = 0.053y ³ /unit Require 19y ³	Garbage (Compacted) = 3 x 8y ³ containers Total = 24y ³
York - 154 units Andaz - 200 units	Recycling (GMP) = 0.018y ³ /unit Require 7y ³	Recycling (GMP) = 2 x 8y ³ containers Total = 16y ³
Total = 354 units	Recycling (Fibres) = 0.038y ³ /unit Require 14y ³	Recycling (Fibres) = 2 x 8y ³ containers Total = 16y ³
	Organics = 240L container/50 units Require 8 containers	Organics = 8 x 240L containers Total = 1920L

OCCUPANCY	UNITS / STOREYS	PROPOSED ZONING GFA
Hotel Rooms	4th and 17th floors (11 rooms/floor) 5th to 16th floors (11 rooms/floor)	424m ² x 2 floors= 848m ² 443m ² x 12 floors=5,316m ² TOTAL = 6,164m ²
	Minimum 10% of rooms are required to be Barrier-Free (BF) and distributed throughout the storeys.	22 of 154 units (14%) provided
Assembly	Ground floor 2nd floor	647m ² /floor 941m ² /floor
Hotel Administration	3rd floor	94m ² /floor
		TOTAL = 1,582m ²
	TOTAL	7,746m ²

MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2919) S489/ MD2 (113) S74 (COMBINED WITH 141 GEORGE STREET - MD2 (2031) S307)

ZONING RULE	REQUIREMENT	PROVIDED
Minimum lot area	No minimum	Combined lots 141 George Street = 3,109.10m ² 110 York = 520.72m ² 116 York = 1,015.88m ² = 4,645.70m ²
Minimum lot width	No minimum	40.47m along York Street
Minimum front yard	Maximum 1m	0.13m
Minimum interior side yard	No minimum	West side: connected to adjacent hotel. East side: 0.49m
Minimum rear yard	No minimum	Combined lot with 141 George Street. 1.13m, 5.48m and 5.77m.
Maximum building height	12m high within 9m from York. 52m high overall. 12m high within 8m from back. As per OUTDATED Schedule 489; not including 116 York.	12.6m within 10m from York and Podium. 54.3m Tower.
Projections permitted beyond building height. As per Exception 2919 (By-law 2023-502)		
Maximum floor space index	Not applicable	-
Minimum width of landscape area	No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped.	Yard used for required driveway, aisles and loading spaces, otherwise whole yard to be landscaped.
Provisions for buildings 10 storeys and higher (By-law 2019-353)	Not applicable. As per Exception 2919 (By-law 2023-502)	-
Ground floor use	100% of ground floor fronting a street (excluding lobby area, mechanical room, and access to other floors for a minimum depth of 3m, must be occupied by permitted use. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Hotel lobby may be included in the calculation of ground floor frontage. As per Exception 2919 (By-law 2023-502)	100% of ground fronting York Street (excluding exits from other floors) for a minimum depth of 3m, is occupied by permitted Hotel use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Permitted Hotel use occupies more than 50% of ground floor and separate and direct access is provided on York and Dalhousie Street from existing Hotel building.

AMENITY AND PARKING REQUIREMENTS
ZONING - 110 YORK - MD2 (2919) S489
116 YORK - MD2 (113) S74
(COMBINED WITH 141 GEORGE STREET - MD2 (2031) S307)

ZONING MECHANISM	REGULATION	PROPOSED
Shared Parking 141 GEORGE	None required for Hotel, Residential or Commercial use. 25 visitor parking spaces required 0.083 spaces per unit (Exception 2031)	P1 29 spaces (13 reduced) P2 44 spaces (14 reduced) P3 44 spaces (14 reduced) P4 46 spaces (14 reduced) 6.0m drive aisle provided. P1 16 spaces (11 reduced) P2 39 spaces (10 reduced) P3 41 spaces (10 reduced) P4 41 spaces (10 reduced) Total: 300 spaces shared between building users. (96 reduced 32%) 141 George 163 spaces (55 reduced 34%) 110 York 137 spaces (41 reduced 30%) 25 Visitor parking shown on P3 & P4.
110 & 116 YORK		
Barrier-Free Parking Combined 110-116 York & 141 George	251-300 spaces requires 8 barrier-free spaces 4 type As 4 type Bs (Traffic and Parking By-Law 2017-301)	York P1- 1 type A & 1 type B P2,P3 - 2 type B per floor George P1,P3,P4 - 1 type A per floor Total: 9 spaces 4 type As + 5 type Bs
Minimum Bicycle Parking 141 GEORGE	Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m ² of GFA 468m ² GFA / 250m ² = 2 bicycle parking spaces	Residential: 56 (P1) 70 (P2) 31 (P3) Total 157 spaces Retail: 5 (Exterior) Hotel: 9 (Interior) Total: 171 spaces 76 (~44%) vertical mount
110 & 116 YORK	Hotel: 1 per 1000m ² of GFA +/-7,746m ² GFA/1,000m ² = 8 bicycle parking spaces Minimum 50% to be horizontal racks.	Hotel: 9 (Interior) Total: 171 spaces 76 (~44%) vertical mount
Loading (110-116 York)	2 spaces required. Minimum 3.3m width of a loading space. As per Exception 2919 (By-law 2023-502)	2 outdoor spaces provided. 3.3m wide x 9m length for parallel application.

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Interior Design

Mason Studio

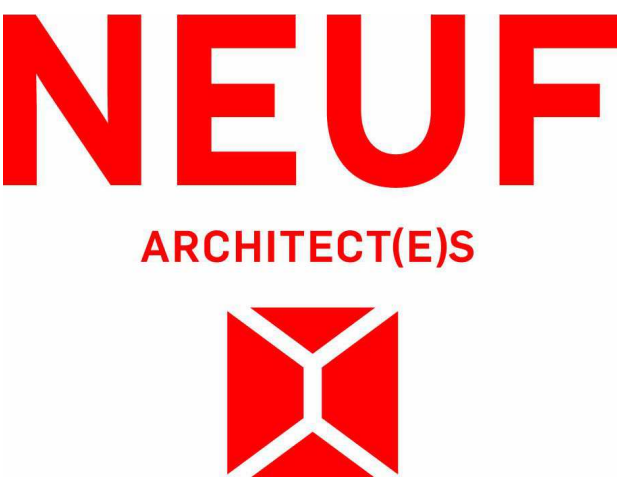
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Seal



Client



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Project

110-116 YORK STREET

Location

OTTAWA No. 13098.00

NO REVISION

NO	REVISION	DATE (yyyy mm dd)
XX	FOR CLIENT USE	2025.01.29
YY	FOR COORDINATION	2025.02.05
ZZ	FOR HERITAGE REPORT	2025.02.17
AAA	FOR SITE PLAN APPROVAL	2025.02.20
BBB	FOR HH SD REVIEW #6	2025.02.20
CCC	FOR COORDINATION	2025.02.20
FFF	FOR COORDINATION	2025.04.03
JJJ	FOR COORDINATION	2025.04.30
LLL	ISSUED FOR SUPERSTRUCTURE PERMIT	2025.05.15

IMM FOR COORDINATION

NNN	FOR SITE PLAN APPROVAL	2025.06.30
PPP	FOR HH SD REVIEW #7	2025.07.03
QQQ	FOR SITE PLAN APPROVAL	2025.07.15
TTT	FOR COORDINATION	2025.08.08
UUU	ISSUED FOR PERMIT	2025.08.12
VVV	FOR SITE PLAN APPROVAL	2025.09.15

Drawn by

SJ/AA

DATE (aa.mm.jj)

MAY 2023

Drawing Title

SITE PLAN

Scale

As indicated

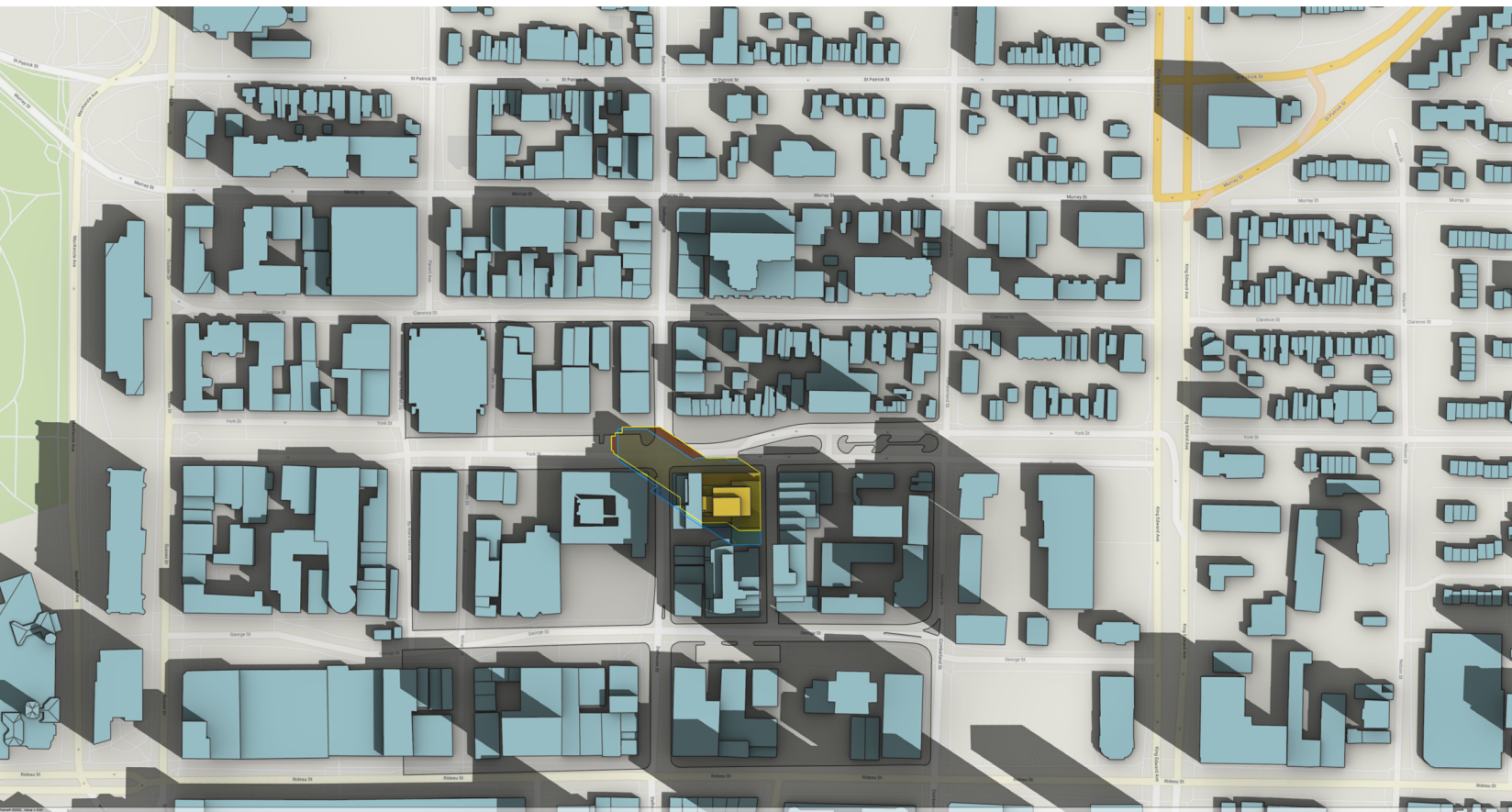
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Dwg Number

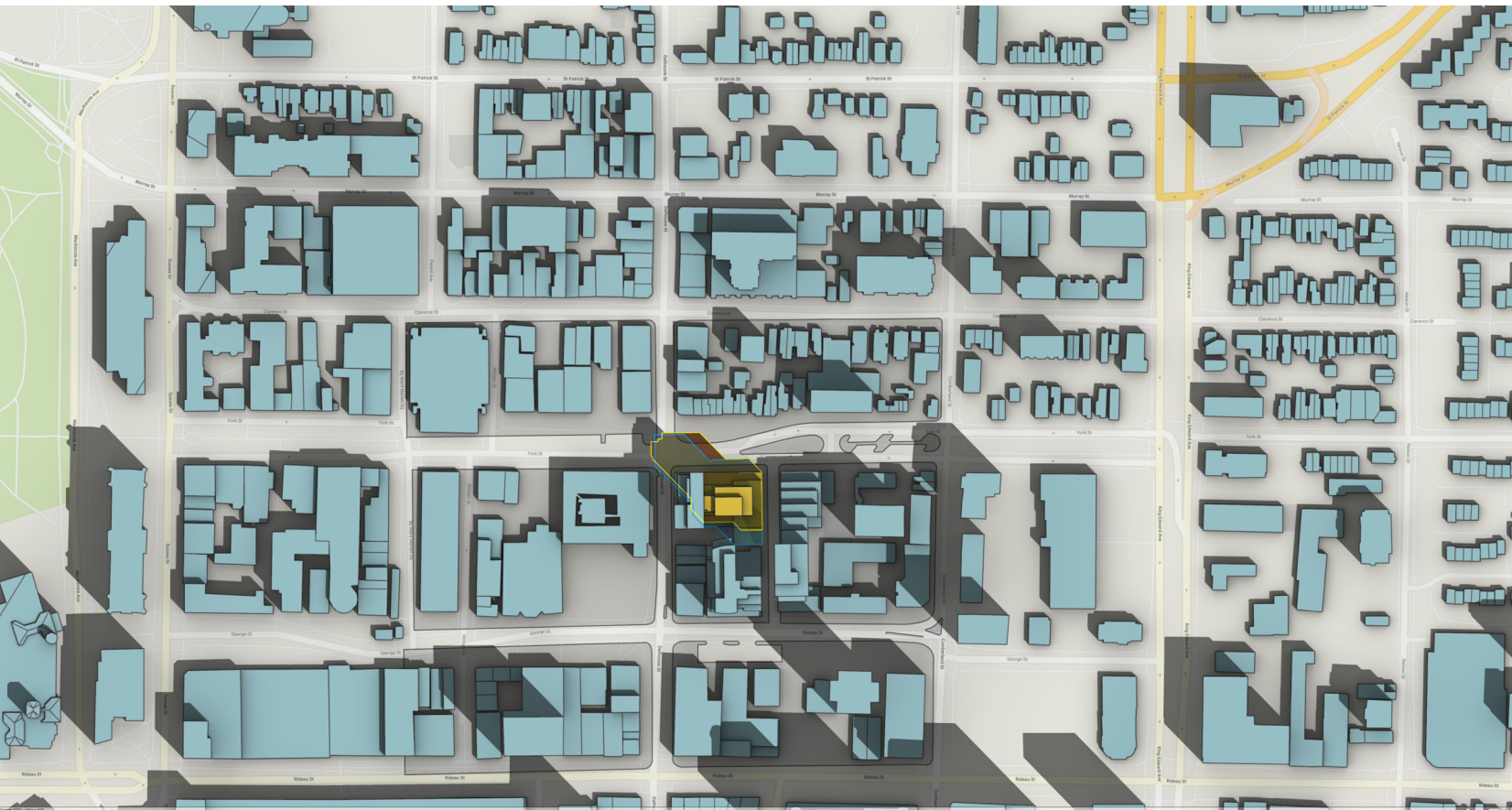
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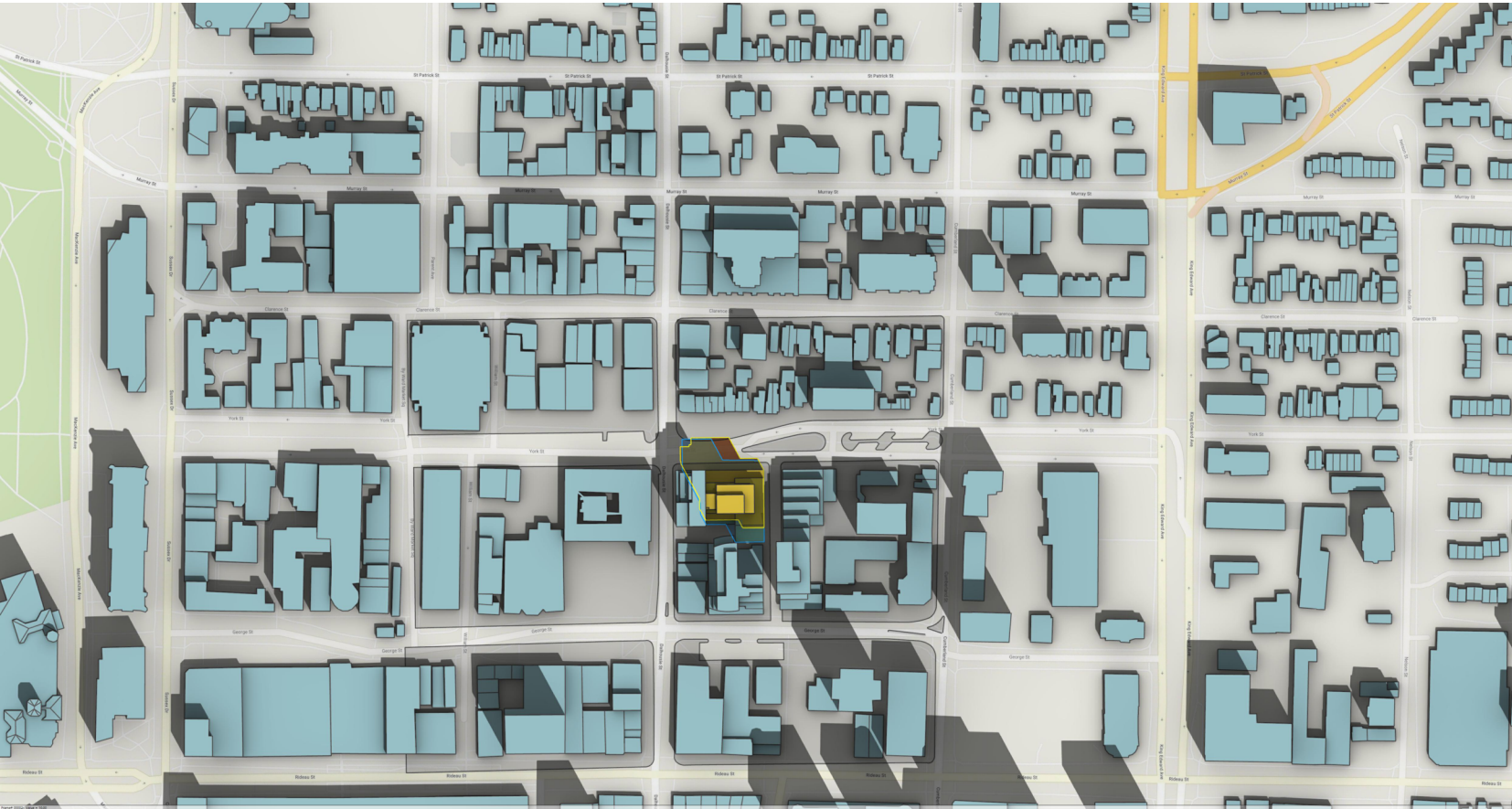
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08h00 JUNE 21st



09h00 JUNE 21st



10h00 JUNE 21st



11h00 JUNE 21st



12h00 JUNE 21st



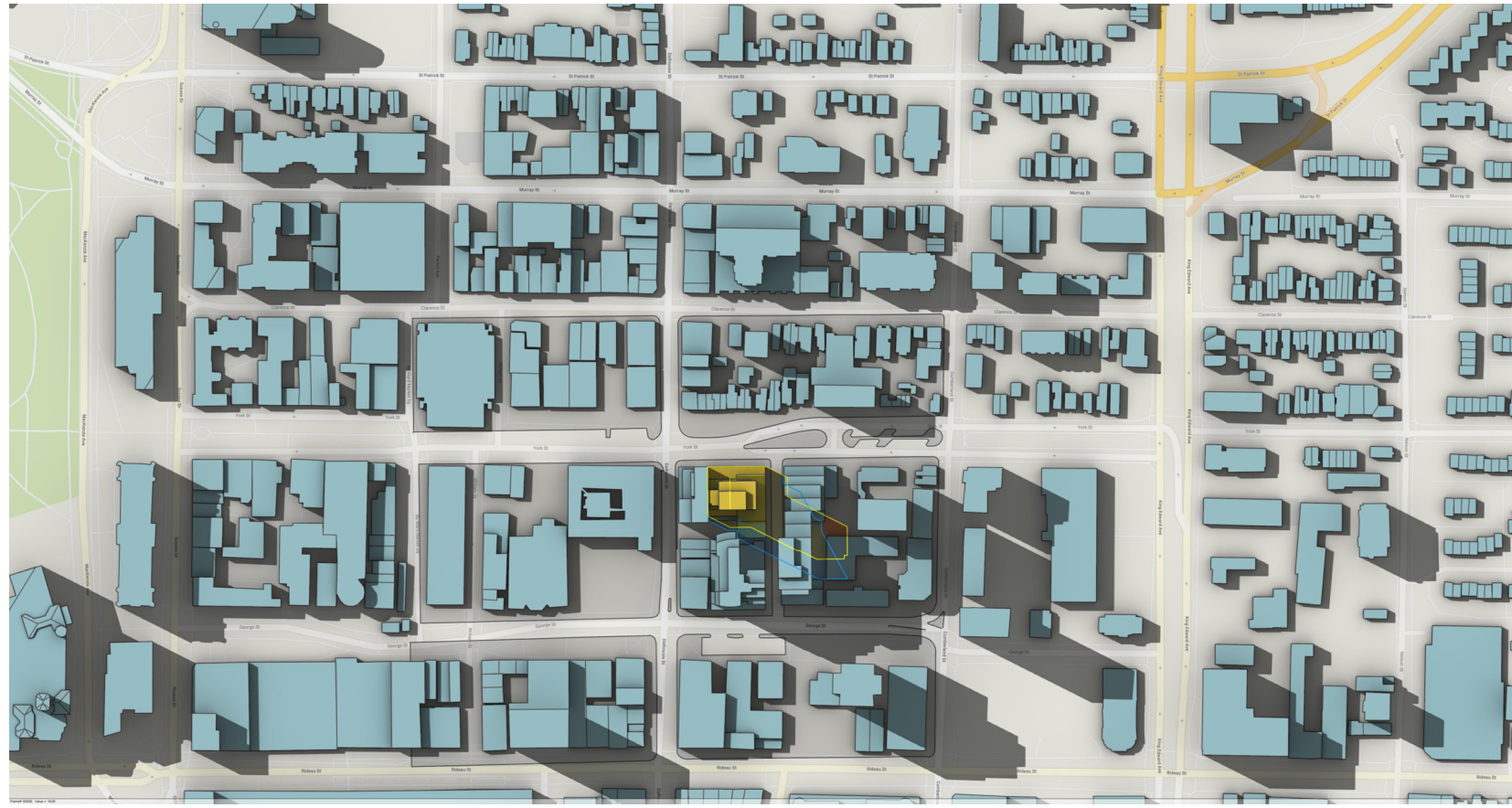
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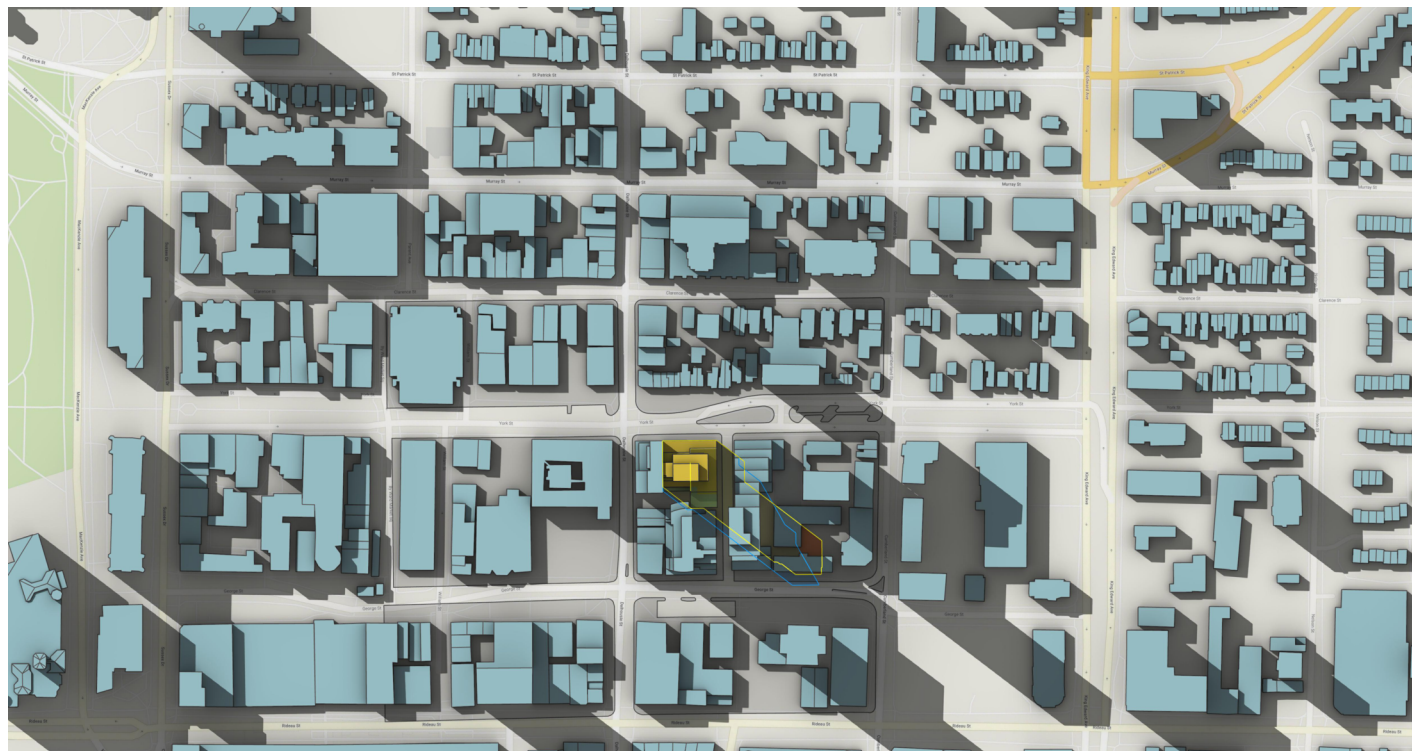
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15h00 JUNE 21st



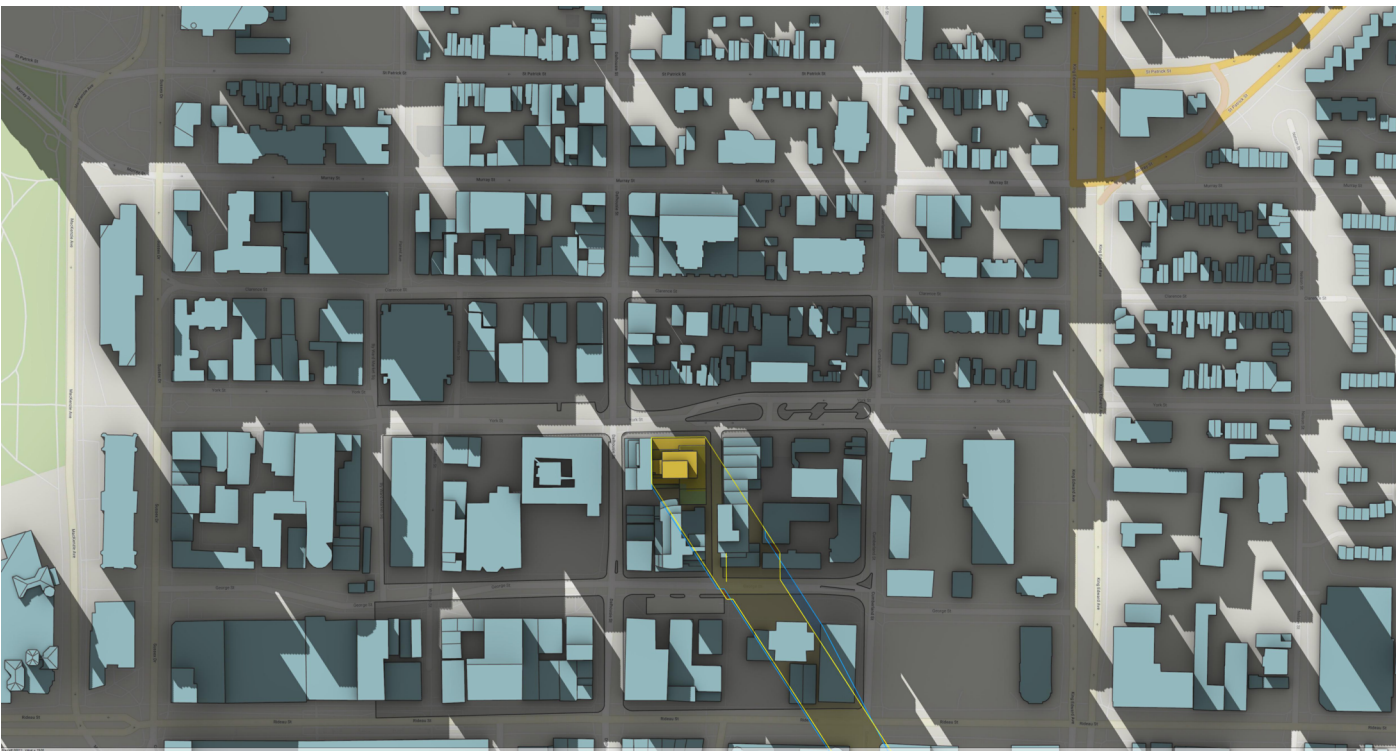
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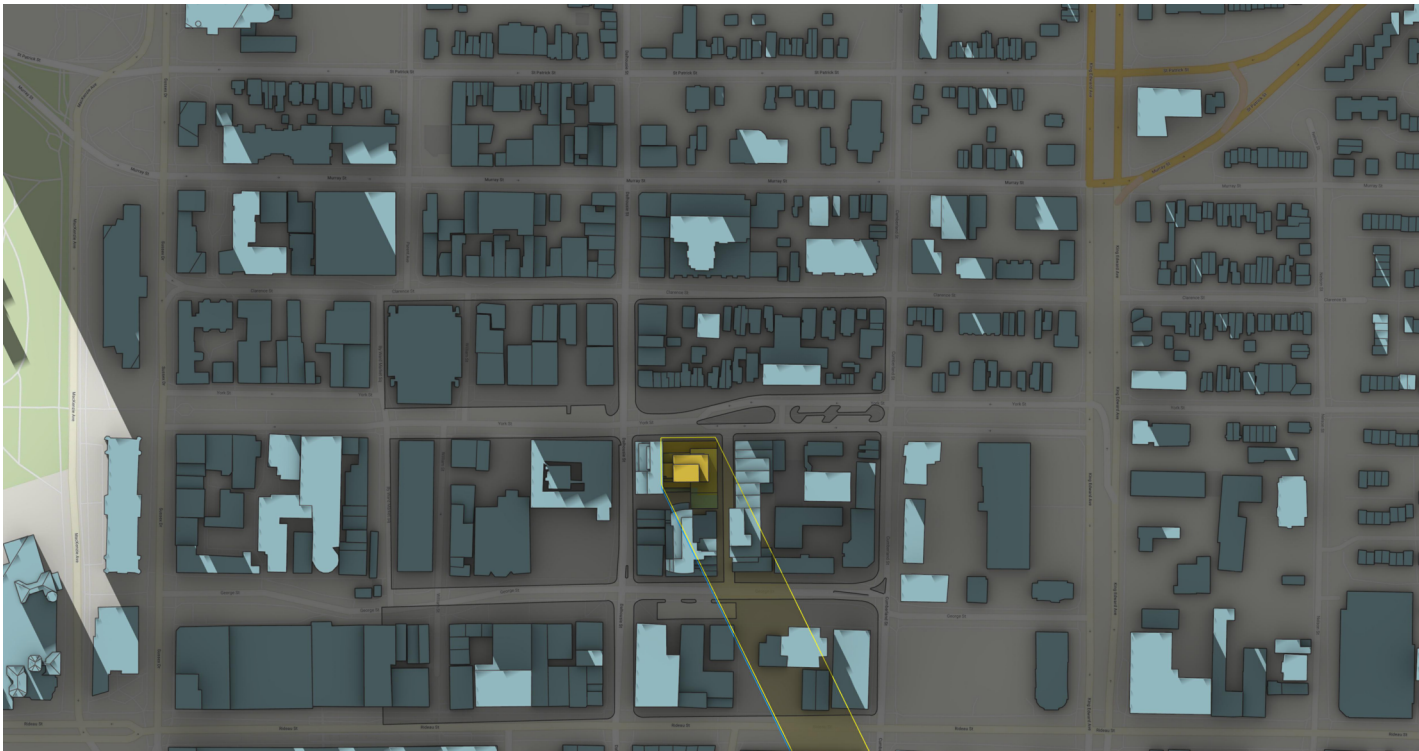
17h00 JUNE 21st



18h00 JUNE 21st



19h00 JUNE 21st



20h00 JUNE 21st

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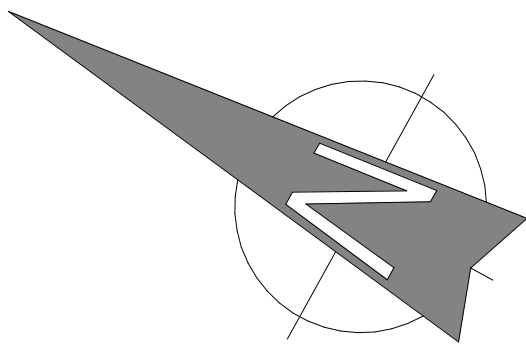
AS OF RIGHT SHADOW OUTLINE
Height and massing as provided by the existing Zoning By-law, Schedule 485 for 110 York lot and schedule 74 for 116 York lot

PROPOSED DEVELOPMENT

PUBLIC SPACES - None are captured.

NEW NET SHADOW
Highlights the increase in shadow resulting from the proposed development after taking into account the shadow which would be cast from the as of right height and massing.

Latitude 45.42892369 and Longitude -75.69044705



COMMUNAL AMENITY AREA - None are captured in any sun study area.
The new net shadow must allow for an average of 50% of any communal amenity area being exposed to sun light during two consecutive hourly interval times per day between 11am and 3pm (both are inclusive) during all three test dates (with the exception of pools and rooftop patios which only have to meet the criteria of June and September).

GROUND LEVEL RESIDENTIAL PRIVATE OUTDOOR AMENITY SPACE - None are captured in the study area.
The new net shadow within the no impact zone of any residential private outdoor amenity space being cast in shadow for more than two consecutive hourly test times during the June and September test date for development proposals outside the greenbelt only.

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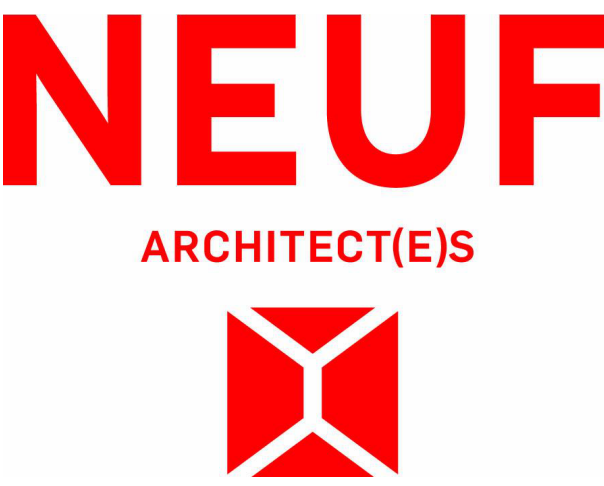
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T 613 219 8503 claridgohomes.com

Project
110-116 YORK STREET

Location
OTTAWA

No.
13098.00

NO	REVISION	DATE (yyyy mm dd)
G	FOR CLIENT REVIEW	2023.07.07
L	FOR HERITAGE DEMOLITION PERMIT REVIEW	2023.11.03
NNN	FOR SITE PLAN APPROVAL	2025.06.30
OOO	FOR SITE PLAN APPROVAL	2025.07.15
VVV	FOR SITE PLAN APPROVAL	2025.09.15

Drawn by
SJ/AA

DATE (aa.mm.jj)
JUL 2023

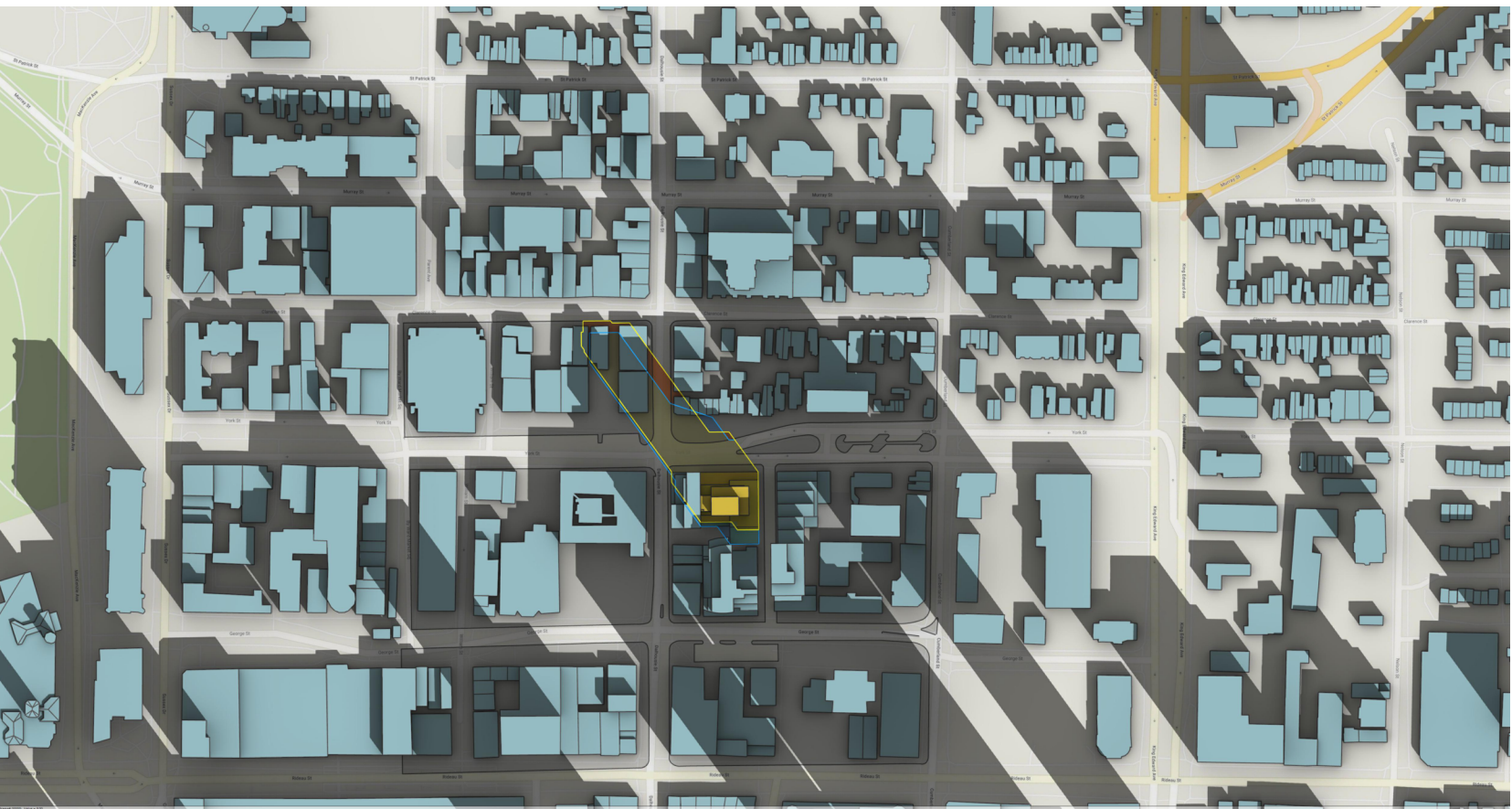
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LH

Scale
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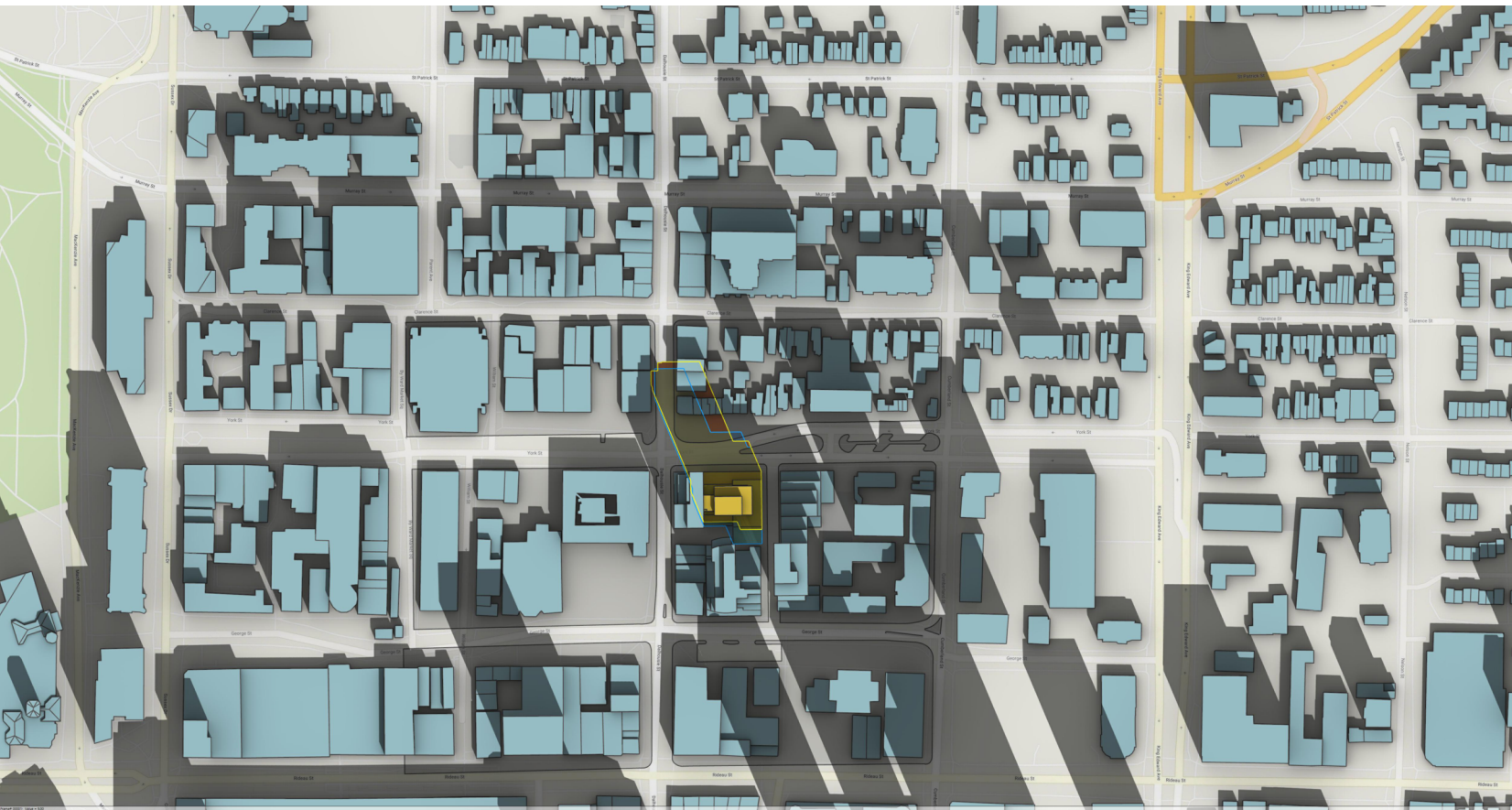
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SUN STUDY - JUNE

Revision
VVV

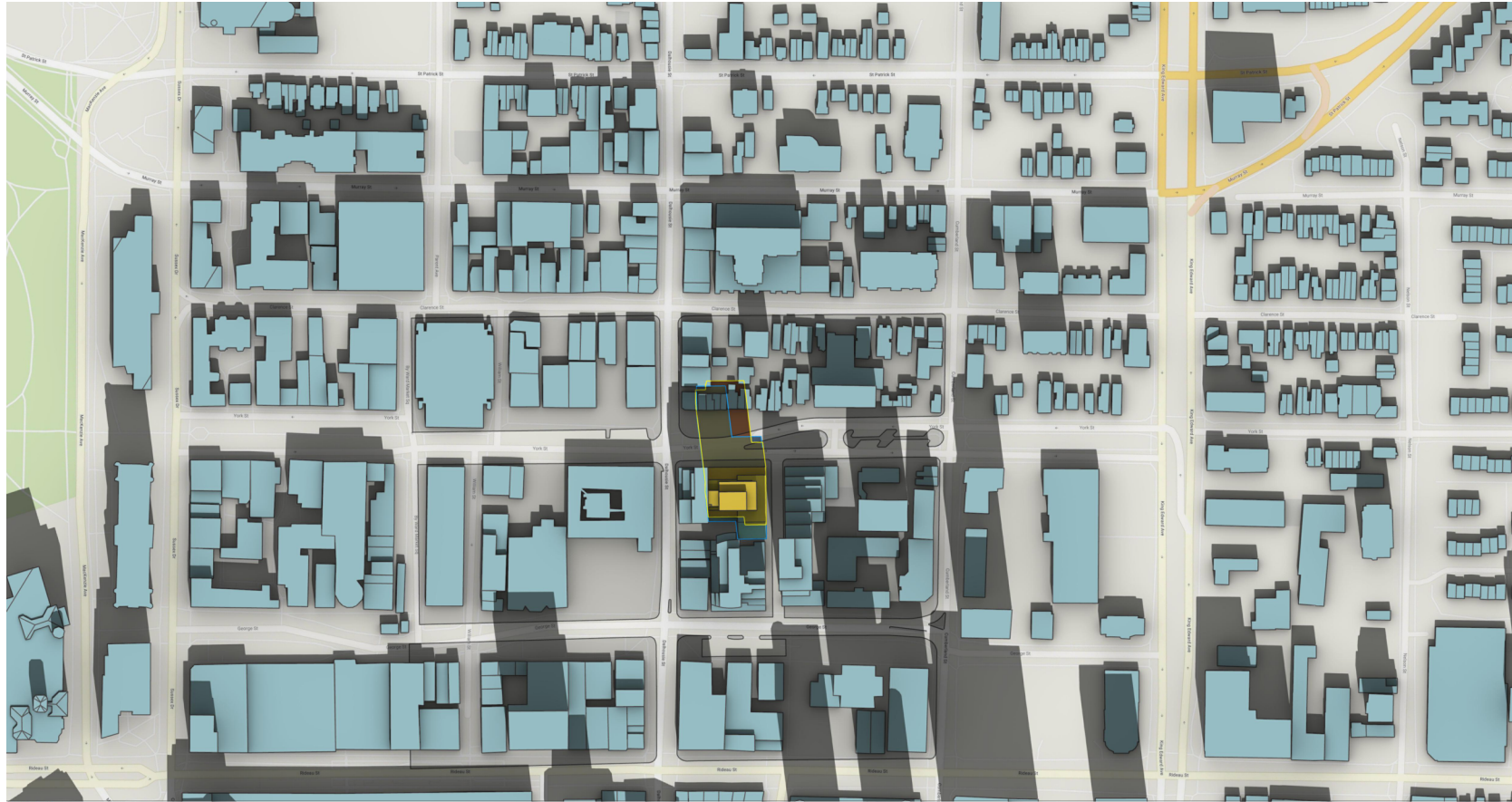
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08h00 SEPTEMBER 21st



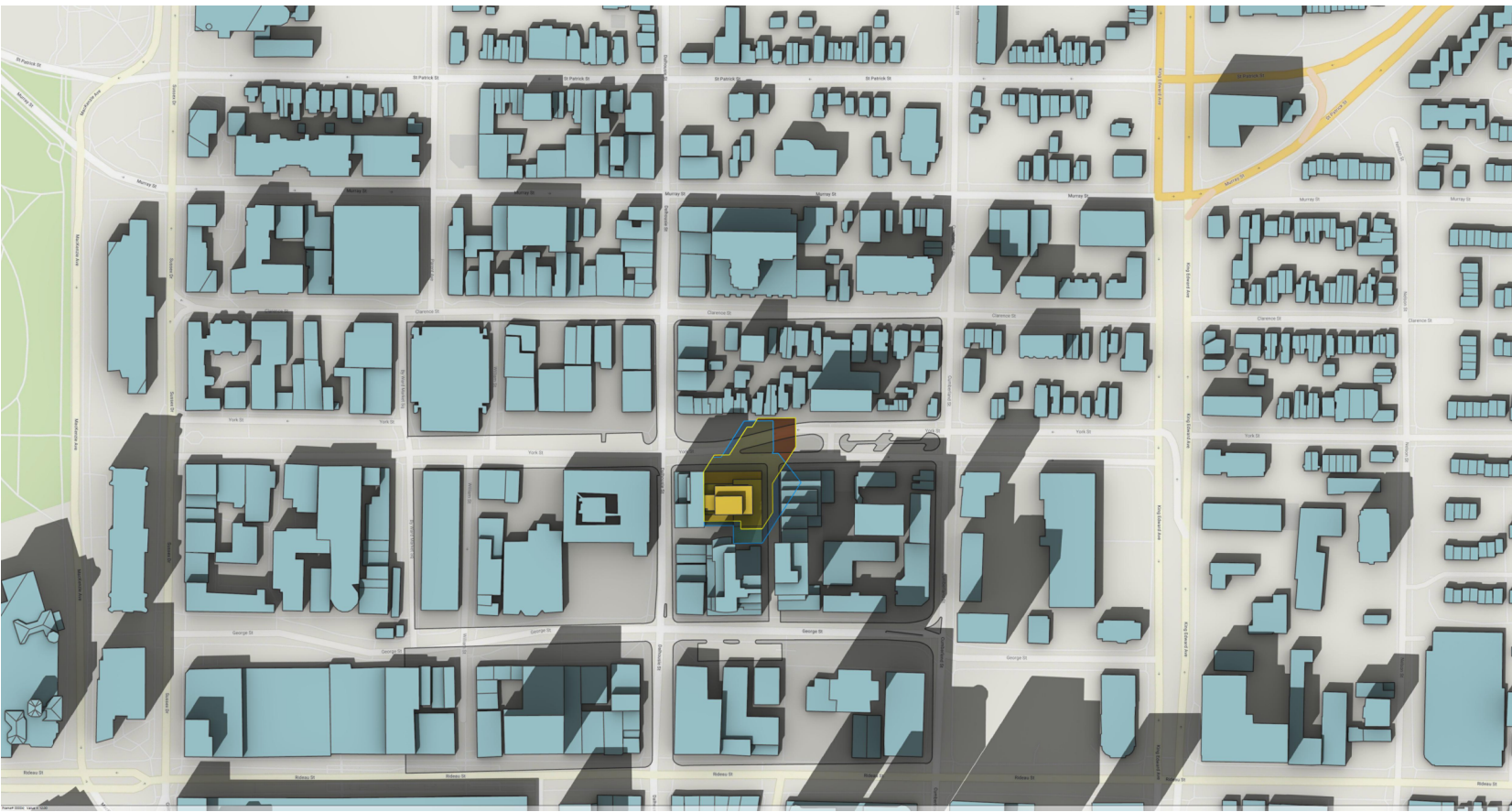
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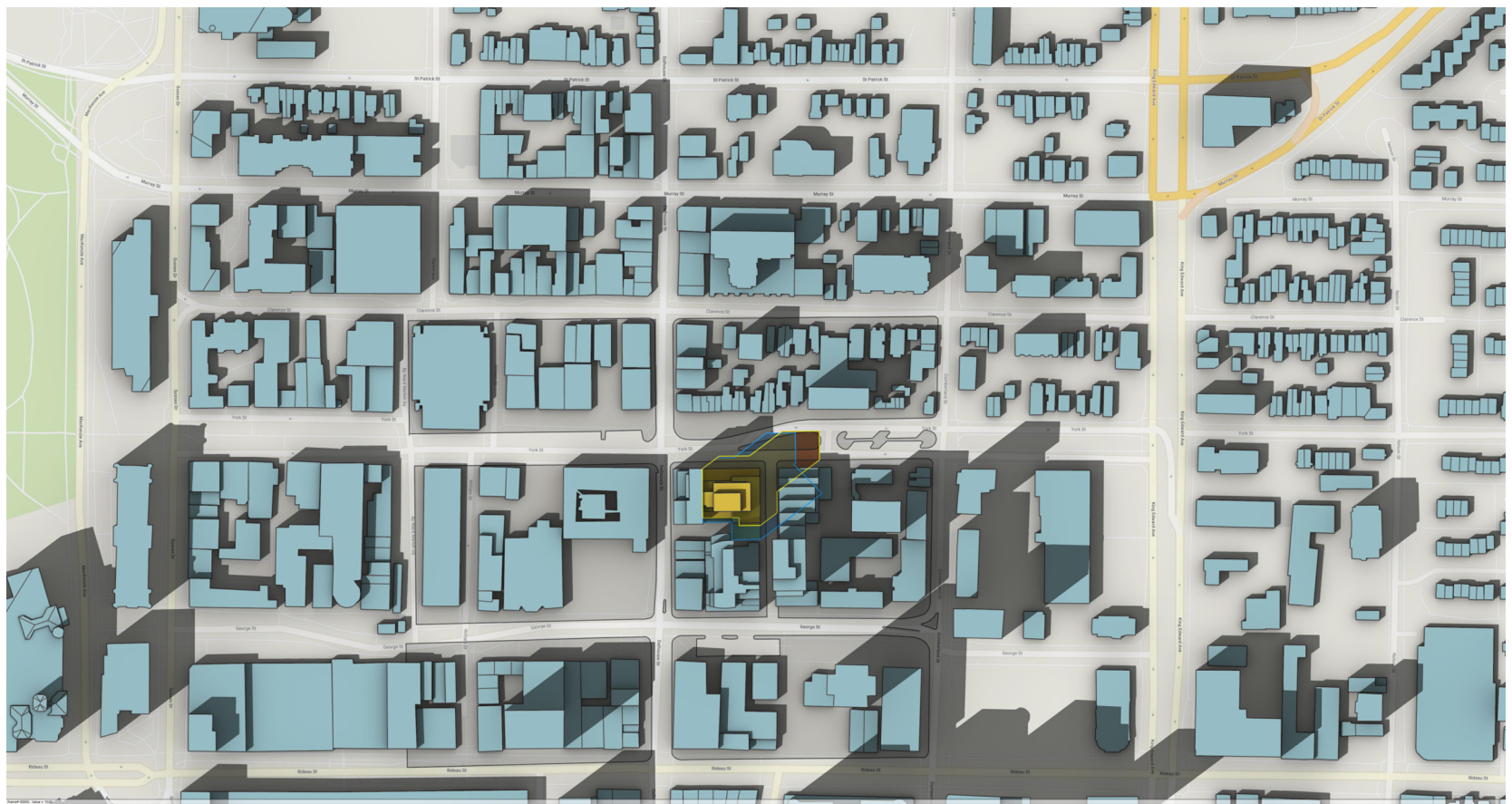
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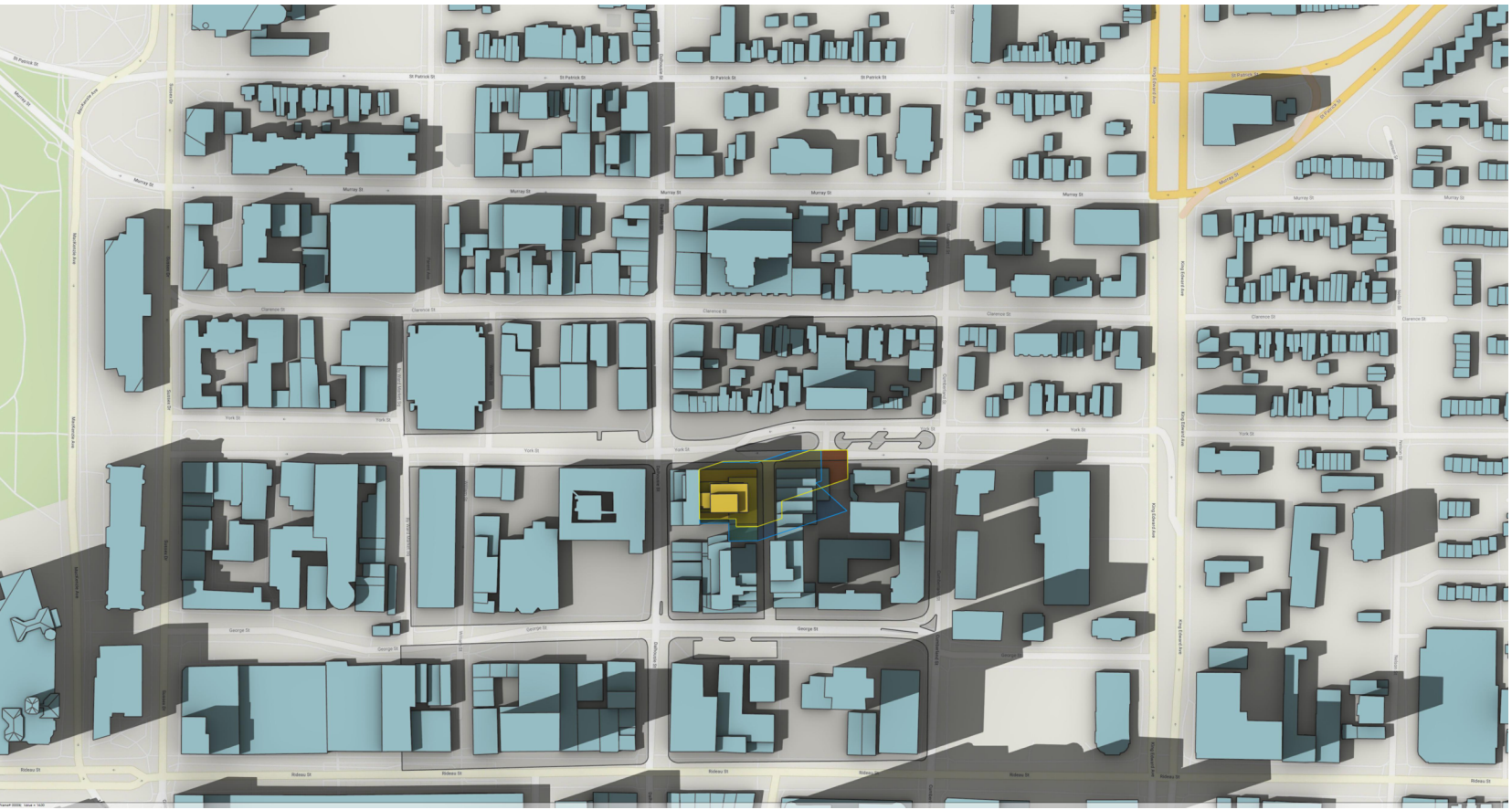
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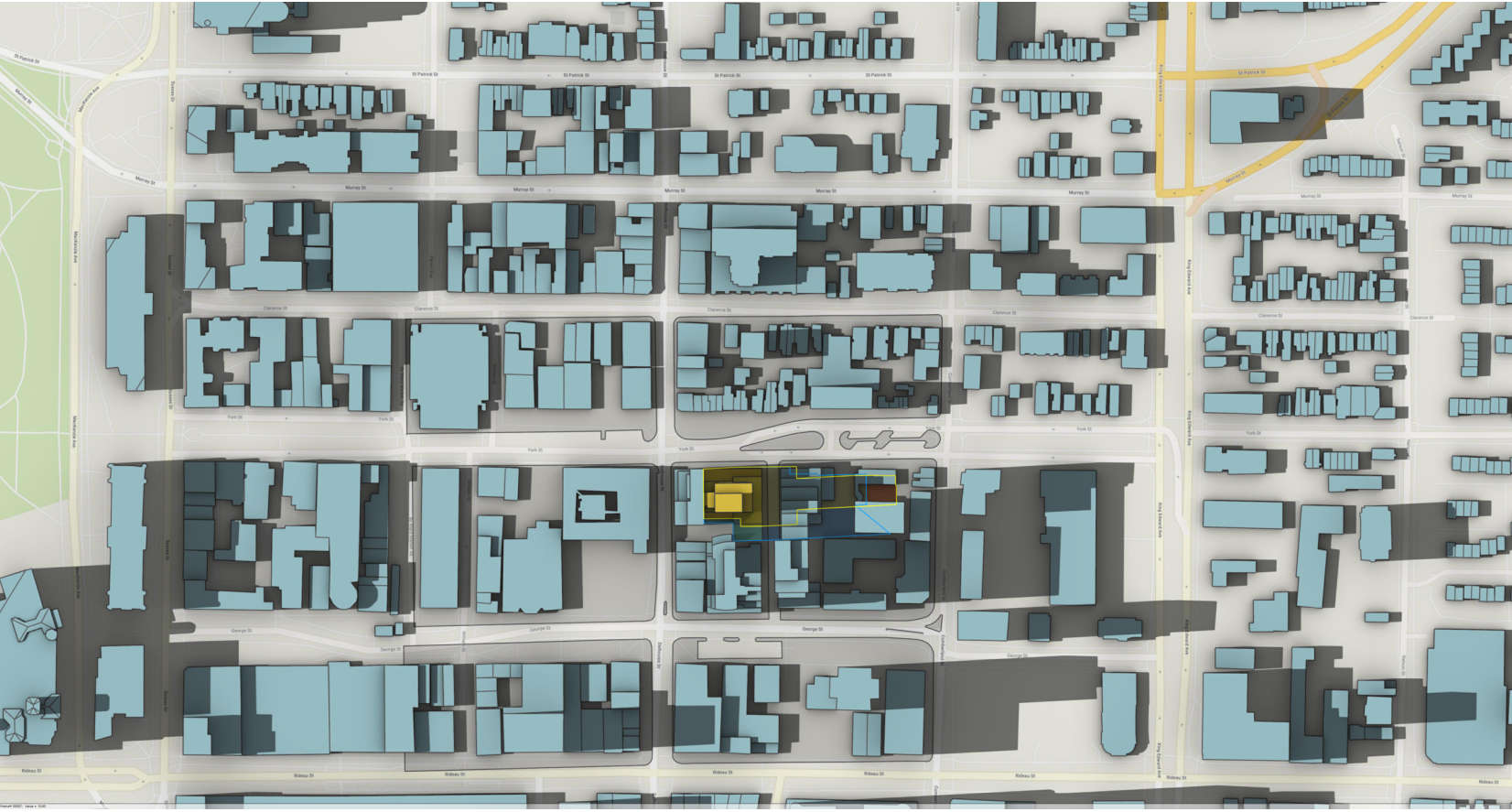
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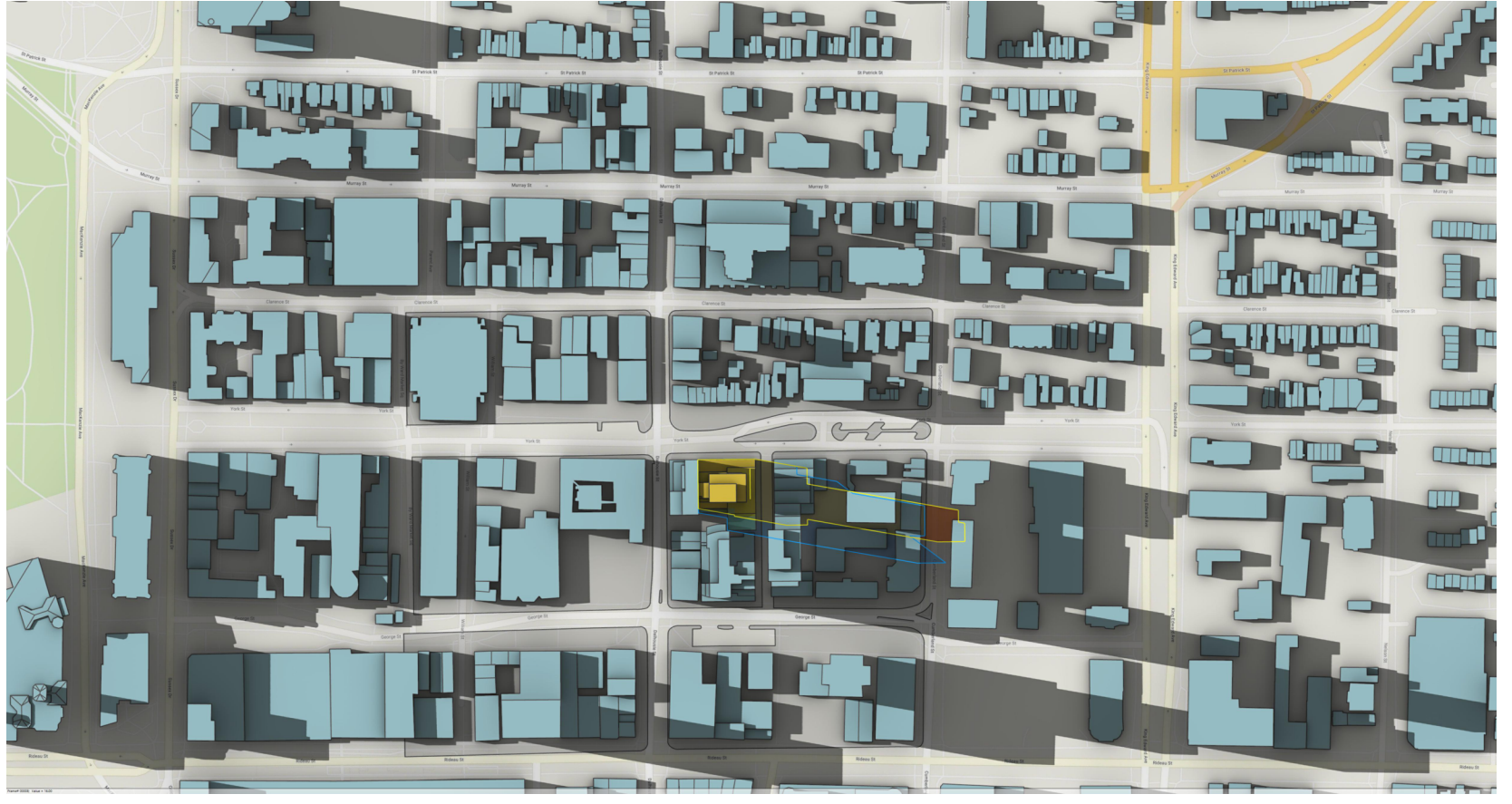
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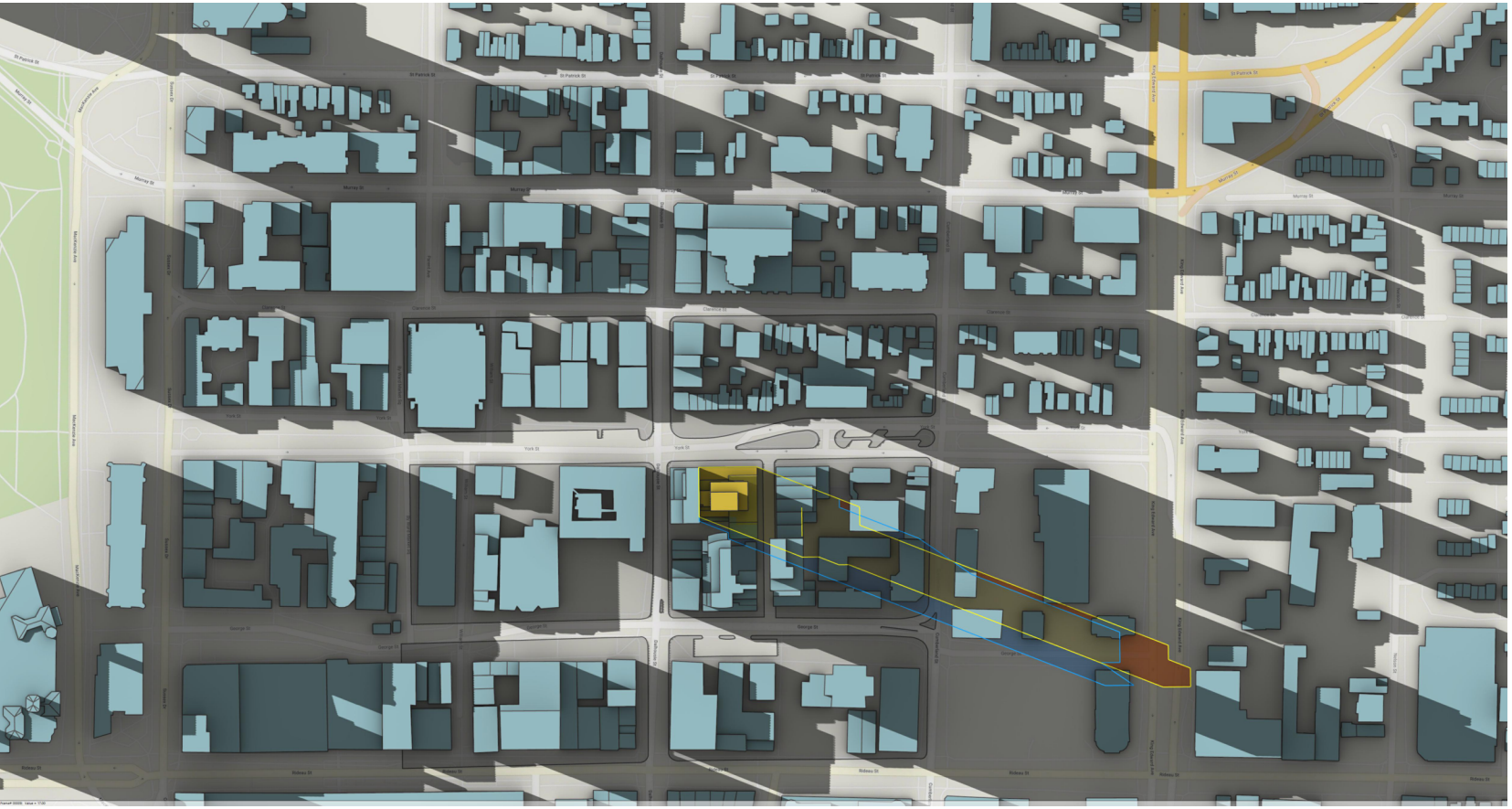
14h00 SEPTEMBER 21st



15h00 SEPTEMBER 21st



16h00 SEPTEMBER 21st



17h00 SEPTEMBER 21st



18h00 SEPTEMBER 21st

PROPOSED SHADOW OUTLINE

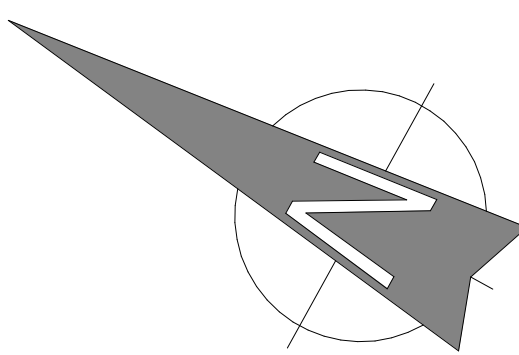
AS OF RIGHT SHADOW OUTLINE
Height and massing as provided by the existing Zoning By-law, Schedule 485 for 110 York lot and schedule 74 for 116 York lot

PROPOSED DEVELOPMENT

PUBLIC SPACES - None are captured.

NEW NET SHADOW
Highlights the increase in shadow resulting from the proposed development after taking into account the shadow which would be cast from the as of right height and massing.

Latitude 45.42892369 and Longitude -75.69044705



PUBLIC SPACES - None are captured in the study area.
The new net shadow does not result in an average of 50% of any public space being cast in shadow for 5 or more hourly interval times during the September test date only.

COMMUNAL AMENITY AREA - None are captured in any sun study area.
The new net shadow must allow for an average of 50% of any communal amenity area being exposed to sun light during two consecutive hourly interval times per day between 11am and 3pm (both are inclusive) during all three test dates (with the exception of pools and rooftop patios which only have to meet the criteria of June and September).

MAINSTREET CORRIDORS AND MINOR CORRIDORS - None are captured in the study area.
The new net shadow in any one spot for more than 3 consecutive hourly test times of the sidewalk on the opposite side of the street, being cast in shadow during the September test date only.

GROUND LEVEL RESIDENTIAL PRIVATE OUTDOOR AMENITY SPACE - None are captured in the study area.
The new net shadow within the no impact zone of any residential private outdoor amenity space being cast in shadow for more than two consecutive hourly test times during the June and September test date for development proposals outside the greenbelt only.

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Client

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Project

110-116 YORK STREET

Location

OTTAWA

No.

13098.00

NO

REVISION

DATE (yyyy.mm.dd)

G

FOR CLIENT REVIEW

2023.07.07

L

FOR HERITAGE DEMOLITION PERMIT REVIEW

2023.11.03

TNN

FOR SITE PLAN APPROVAL

2025.06.30

QQQ

FOR SITE PLAN APPROVAL

2025.07.15

VVV

FOR SITE PLAN APPROVAL

2025.09.15

Drawn by

SJ/AA

DATE (aa.mm.jj)

JUL 2023

Checked by

LH

Scale

As indicated

Drawing Title

SUN STUDY - SEPTEMBER

Revision

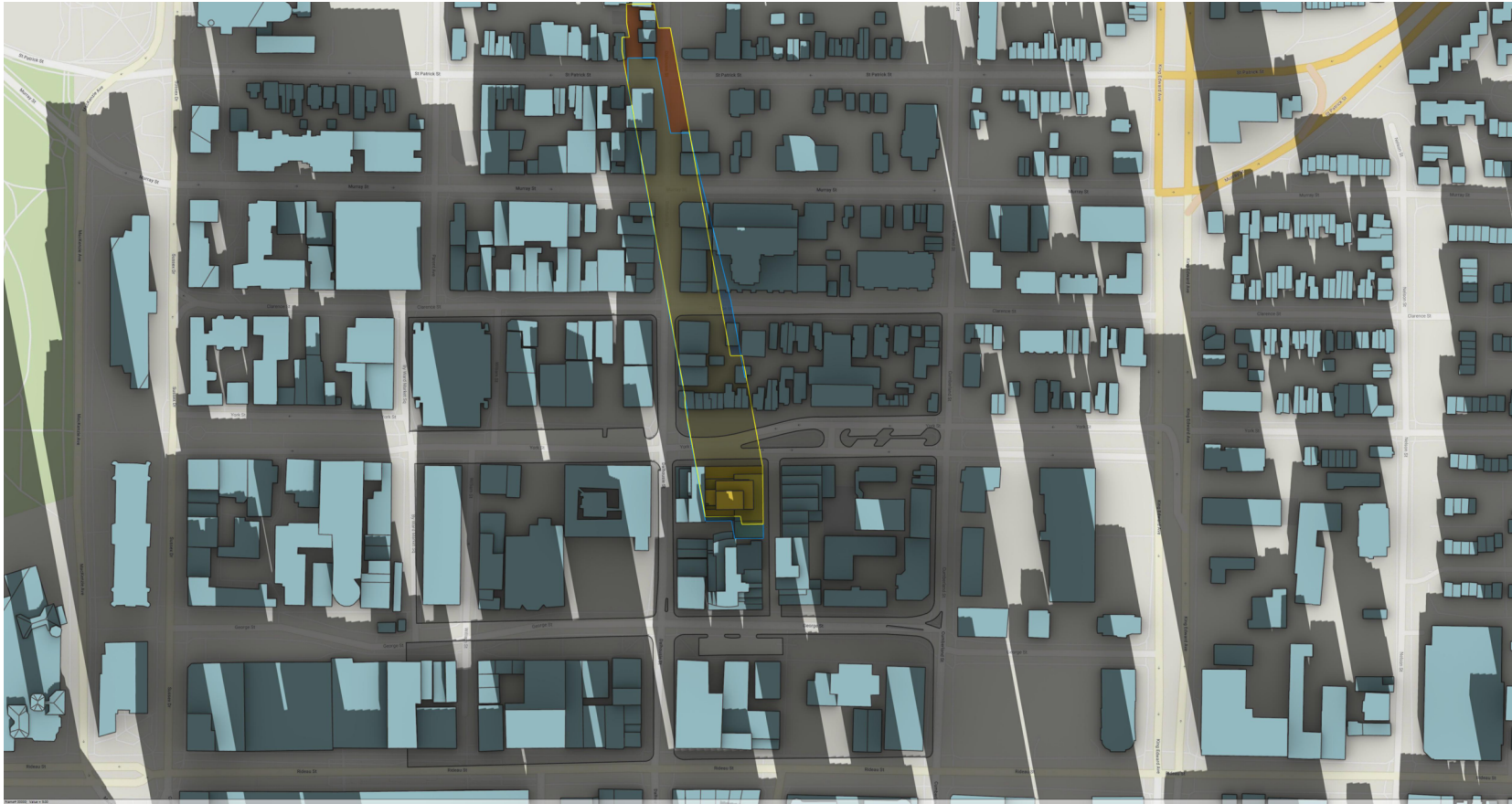
VVV

Dwg Number

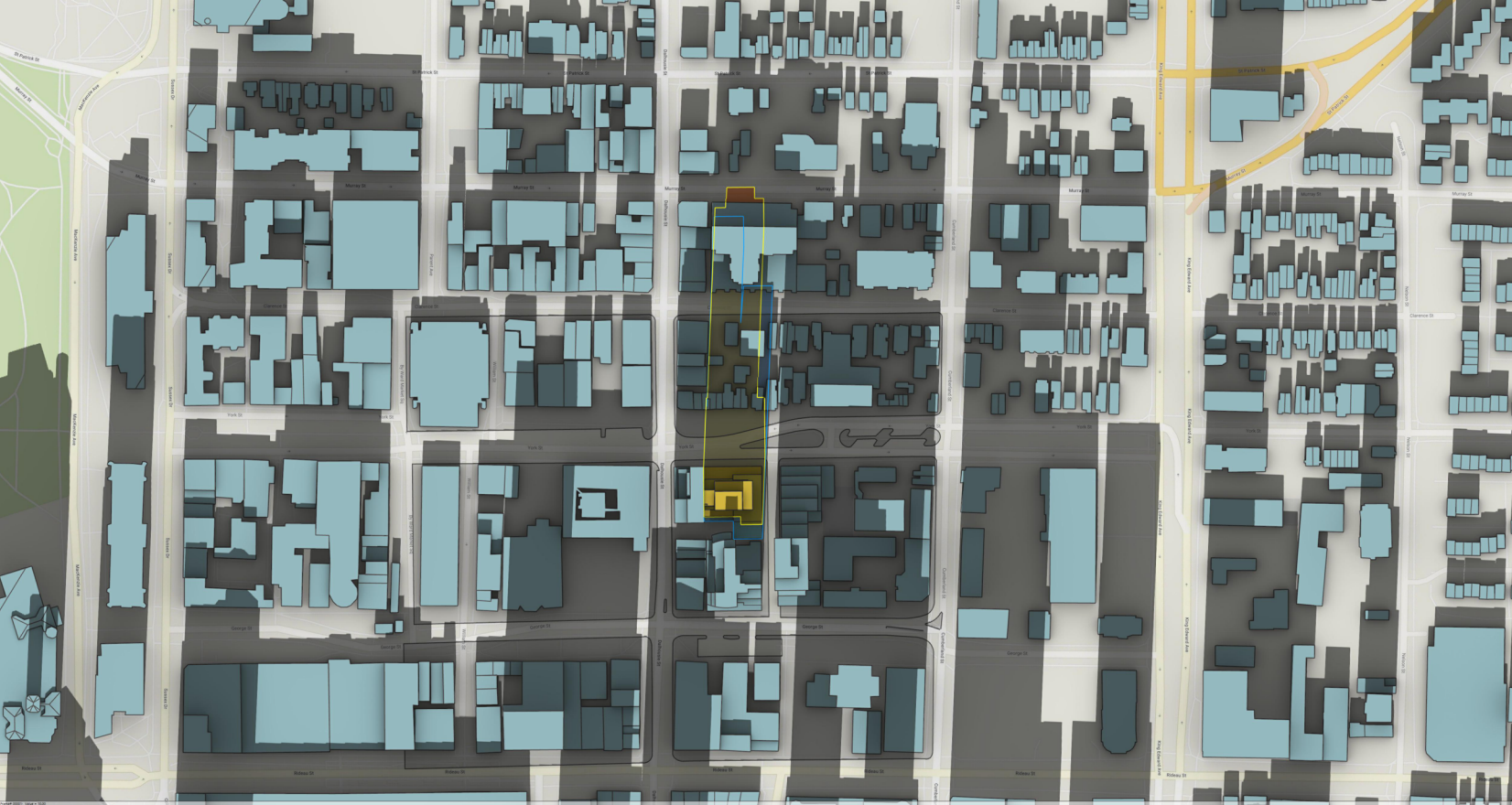
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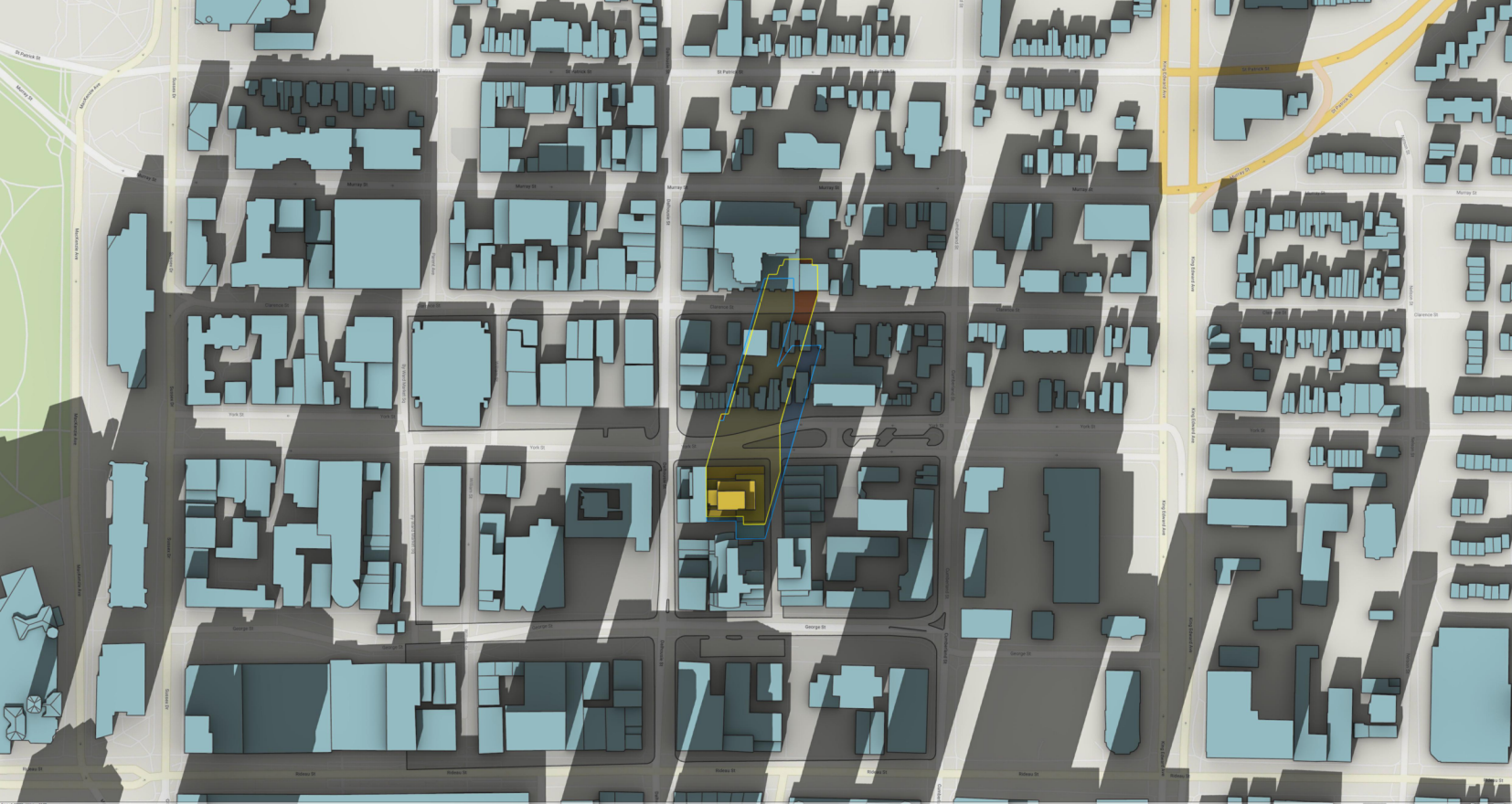
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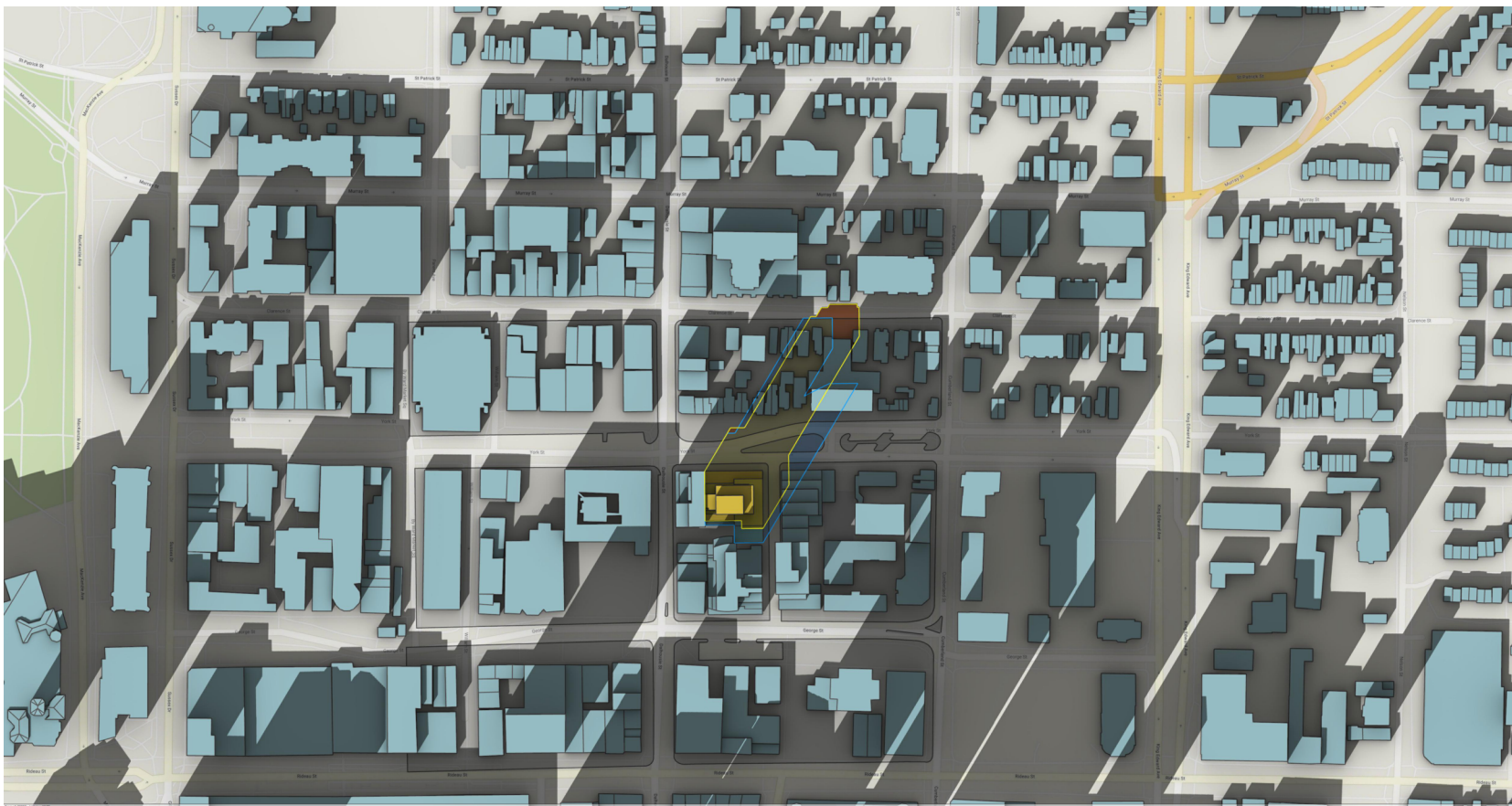
09h00 DECEMBER 21st



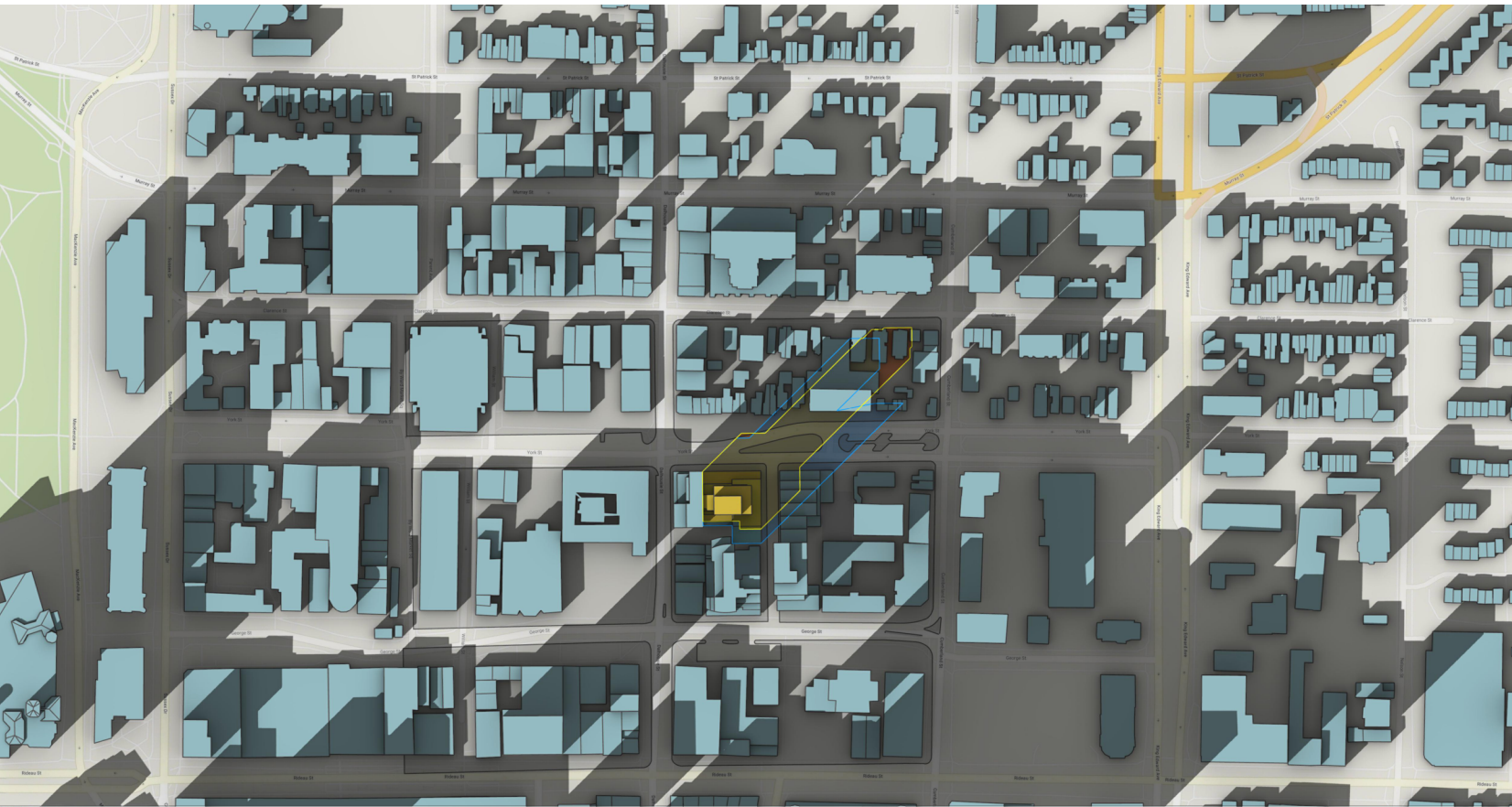
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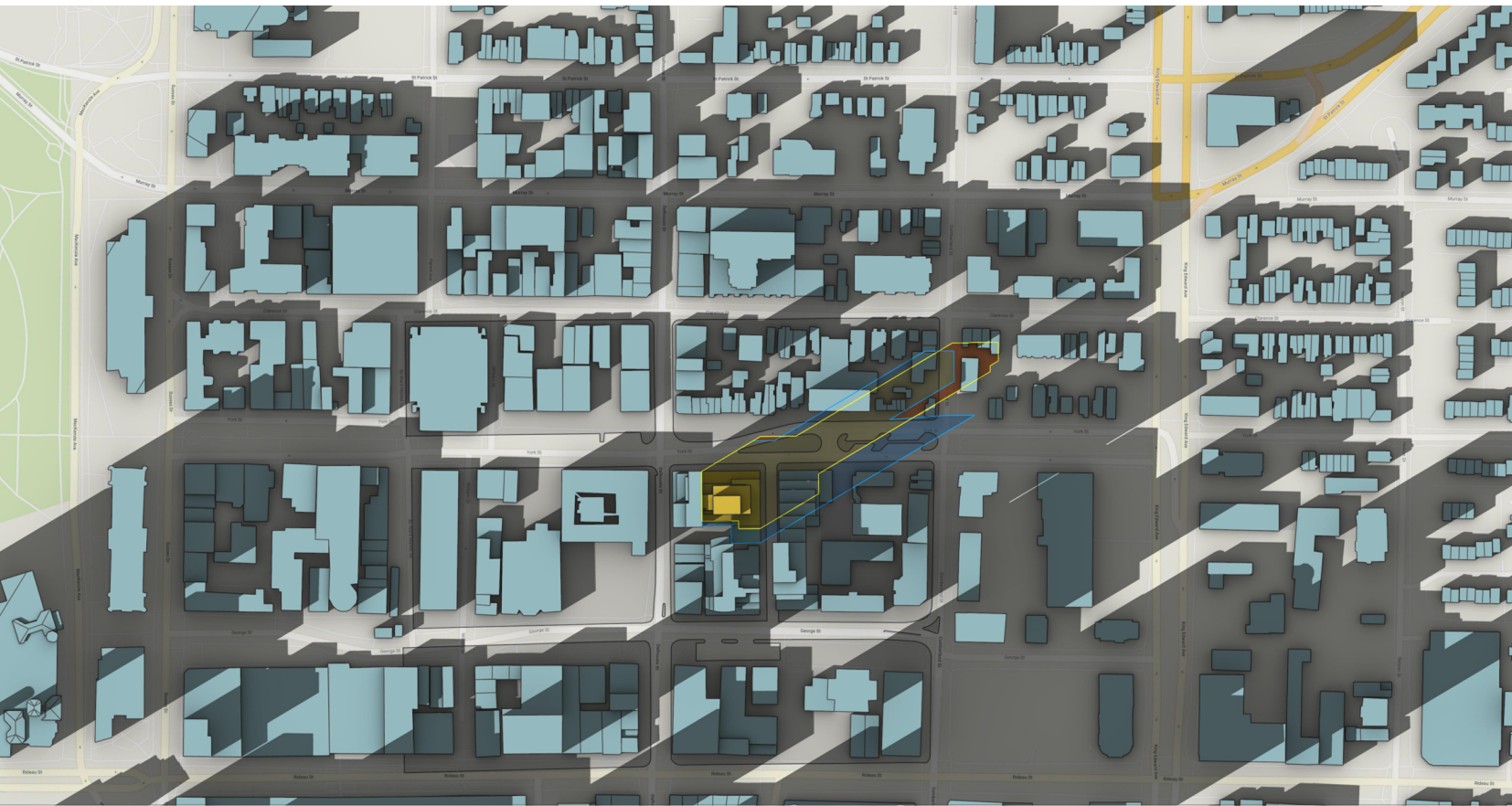
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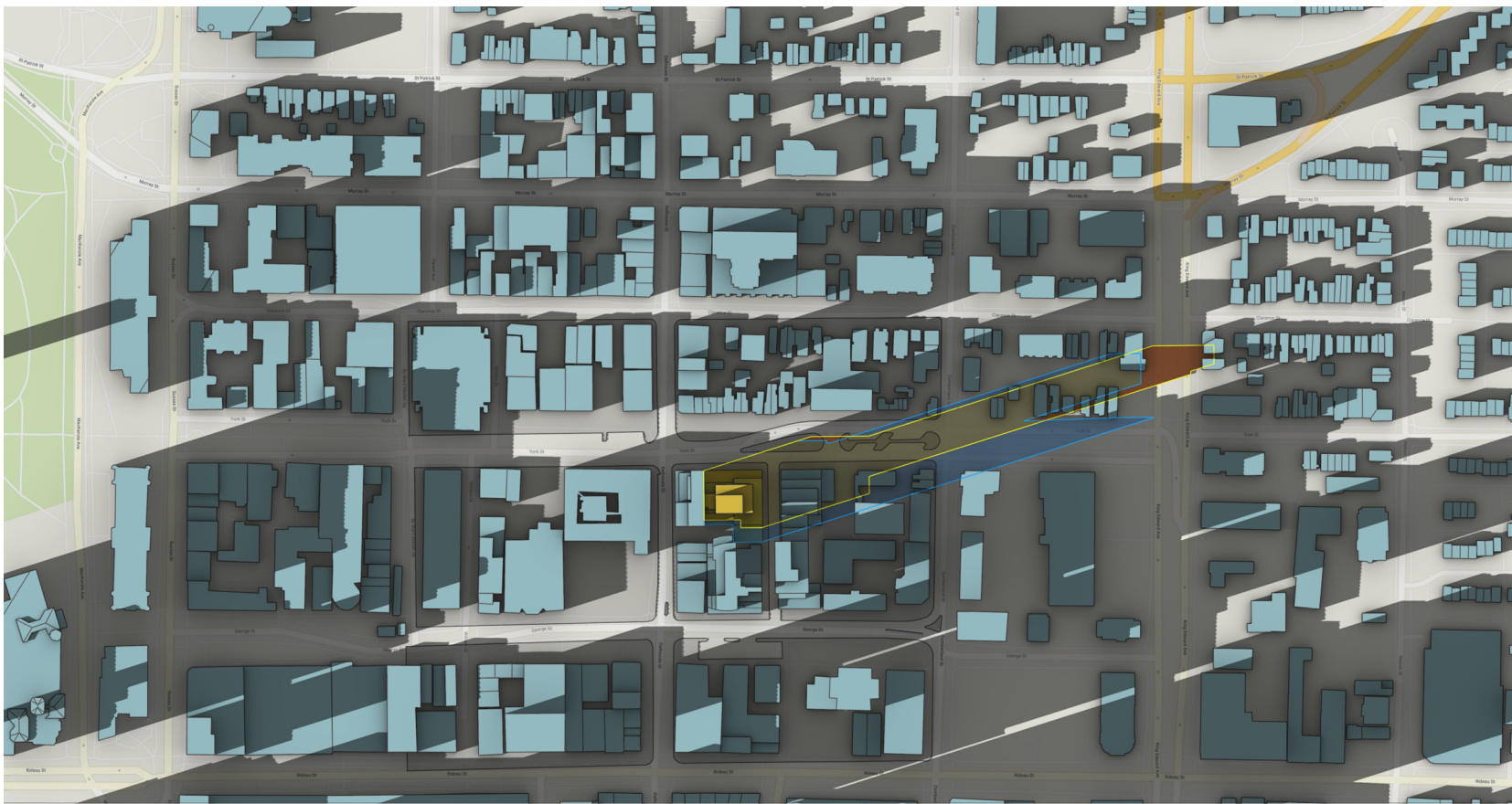
12h00 DECEMBER 21st



13h00 DECEMBER 21st



14h00 DECEMBER 21st



15h00 DECEMBER 21st

PROPOSED SHADOW OUTLINE

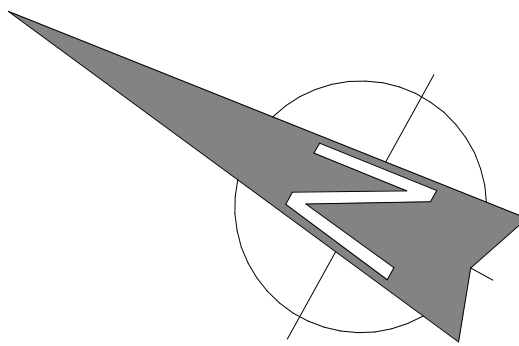
AS OF RIGHT SHADOW OUTLINE
Height and massing as provided by
the existing Zoning By-law, Schedule
485 for 110 York lot and schedule 74
for 116 York lot

PROPOSED DEVELOPMENT

PUBLIC SPACES - None are captured.

NEW NET SHADOW
Highlights the increase in shadow
resulting from the proposed development
after taking into account the shadow
which would be cast from the as of right
height and massing.

Latitude 45.42892369 and Longitude -75.69044705



COMMUNAL AMENITY
AREA - None are captured
in any sun study area.
The new net shadow must
allow for an average of 50%
of any communal amenit
area being exposed to sun
light during two consecutive
hourly interval times per day
between 11am and 3pm
(both are inclusive) during all
three test dates.

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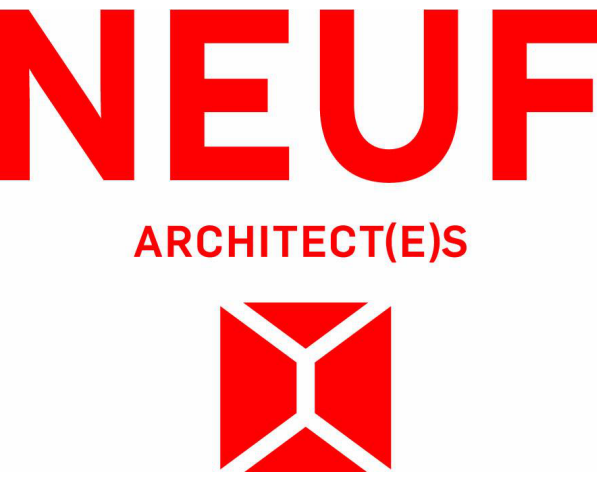
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Project
110-116 YORK STREET

Location
OTTAWA

No.
13098.00

NO	REVISION	DATE (yyyy.mm.dd)
G	FOR CLIENT REVIEW	2023.07.07
L	FOR HERITAGE DEMOLITION PERMIT REVIEW	2023.11.03
NNN	FOR SITE PLAN APPROVAL	2025.06.30
QQQ	FOR SITE PLAN APPROVAL	2025.07.15
VVV	FOR SITE PLAN APPROVAL	2025.09.15

Drawn by
SJ/AA

Checked by
LH

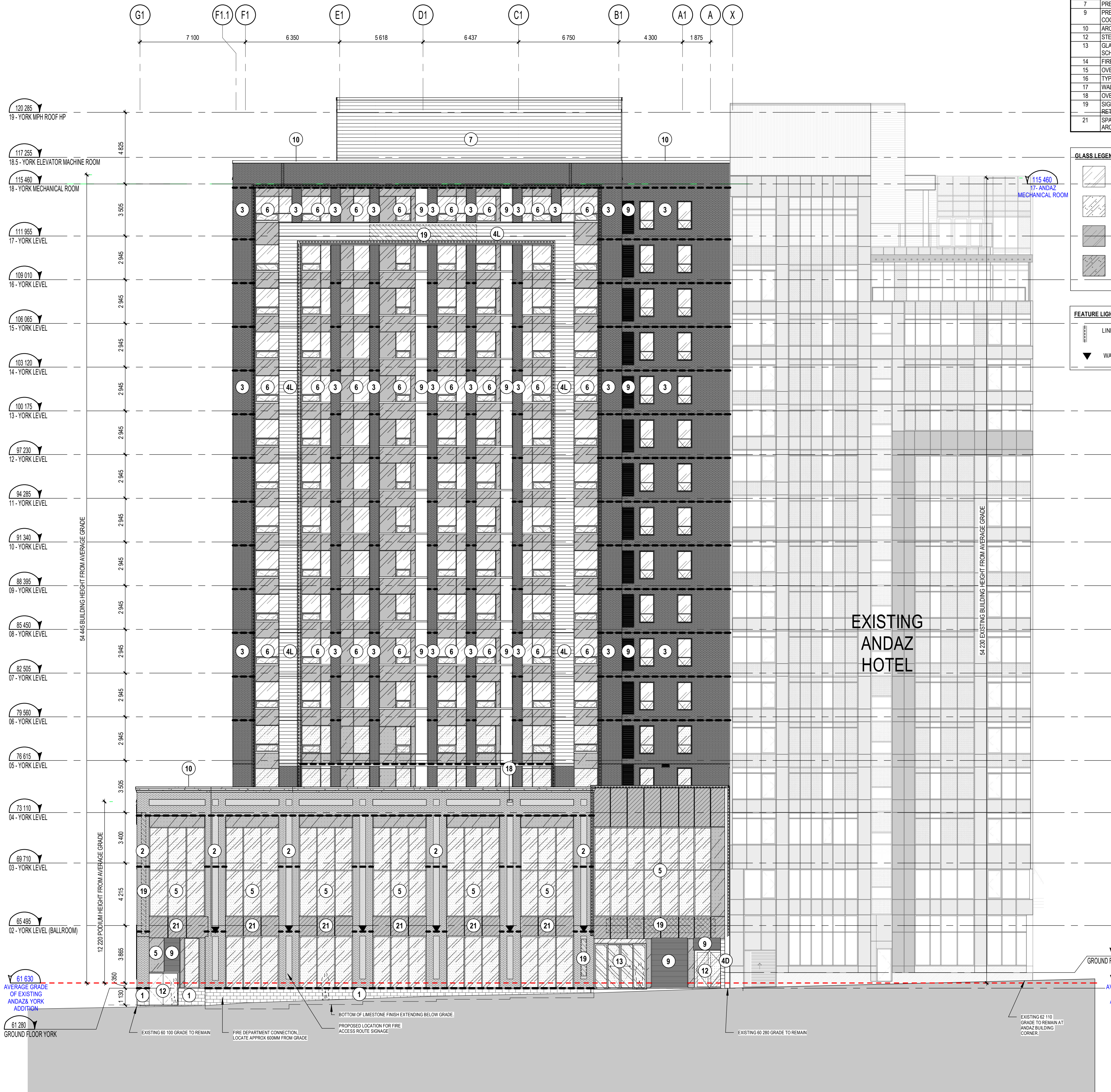
DATE (aa.mm.jj)
JUL 2023

Scale
As indicated

Drawing Title
SUN STUDY - DECEMBER

Revision
VVV

Dwg Number
A1003



ELEVATION KEYNOTE LEGEND	
NOTE	DESCRIPTION
1	MASONRY BLOCK LIMESTONE UNITS. SIZE, COLOUR AND COURSING TO BE DETERMINED.
2	MASONRY BRICK VENEER. RED COLOUR CLOSELY MATCHING ORIGINAL BUILDING FINISHES. ALL GROUT AND SEALANTS TO BE CONFIRMED BY THE ARCHITECT.
3	MASONRY BRICK VENEER. DARK SHADE. ALL GROUT AND SEALANTS TO BE CONFIRMED BY THE ARCHITECT.
4D	PREFINISHED ALUMINUM MODULAR PANELS. DARK SHADE TO BE SELECTED BY ARCHITECT.
4L	PREFINISHED ALUMINUM MODULAR PANELS. LIGHT SHADE TO BE SELECTED BY ARCHITECT.
5	CURTAIN WALL. SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE CURTAIN WALL ELEVATION PAGE.
6	WINDOW WALL. SEALED GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE WINDOW WALL ELEVATION PAGE.
7	PREPAINTED HORIZONTAL STEEL CLADDING. COLOUR TO MATCH ALUMINUM MODULAR PANELS.
9	PREPAINTED ALUMINUM VENTILATION GRILLE. COLOUR TO MATCH CURTAIN WALL FRAMES. COORDINATION WITH MECHANICAL DRAWINGS FOR LOCATION.
10	ARCHITECTURAL CORNICE
12	STEEL DOOR. COLOUR TO MATCH ADJACENT FINISH.
13	GLAZED ENTRY DOOR. SEALED CLEAR GLASS UNIT / PREPAINTED ALUMINUM FRAME. SEE DOOR SCHEDULE PAGE.
14	FIRE FIGHTER CONNECTION. REFER TO CIVIL.
15	OVERHEAD DOOR AND BUMPERS. COLOUR AS PER MANUFACTURER STANDARD BLACK OR DARK GREY.
16	TYPICAL PAINTED STEEL BOLLARD. FILLED WITH CONCRETE.
17	WALL MOUNTED WALL PROTECTION. EXTRUDED BUMPER.
18	OVERFLOW SCUPPER. COLOUR TO MATCH ADJACENT EXTERIOR FINISH.
19	SIGNAGE. EXACT SIZE, COMPOSITION AND LOCATION TO BE DETERMINED BY THE RETAILER IN COORDINATION WITH CITY REQUIREMENTS.
21	SPANDREL GLASS CLADDING (OPAQUE) WITH PREPAINTED ALUMINUM FRAMING. COLOUR CHOSEN BY ARCHITECT.

GLASS LEGEND	
	VISION GLASS
	VISION BIRD SAFE VISION GLASS
	SPANDREL GLASS
	BIRD SAFE SPANDREL GLASS
	FROSTED VISION GLASS
	SPANDREL GLASS CLADDING WITH BIRD SAFE GLASS

FEATURE LIGHT LEGEND	
	LINEAR LIGHTS
	WALL SCONCES

ELEVATION LEGEND	
	EXTERIOR FINISH REFER TO ELEVATION KEYNOTE LEGEND
	WINDOW TYPE REFER TO WINDOW SCHEDULE
	PRE-PAINTED ALUMINUM WALL BOX VENTILATION GRILLE. COLOUR TO MATCH ADJACENT FINISH. COORDINATE WITH MECHANICAL ENGINEER DRAWINGS FOR LOCATIONS.
	GALVANIZED STEEL STRUCTURAL SHELF ANGLE. LEVELS AND LOCATIONS TO BE COORDINATED WITH THE ARCHITECTURAL DETAILS / SECTIONS, MASONRY COURSING, STEEL SHOP DRAWINGS AND STRUCTURAL ENGINEER DRAWINGS.

NORTH ELEVATION (YORK)
1:150

1
AY400

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SURVEYOR

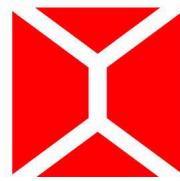
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Seal



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Project

110-116 YORK STREET

Location

OTTAWA

No.

13098.00

NO	REVISION	DATE (yyyy mm dd)
XX	FOR CLIENT USE	2025.01.29
YY	FOR COORDINATION	2025.02.05
ZZ	FOR HERITAGE REPORT	2025.02.17
AAA	FOR SITE PLAN APPROVAL	2025.02.20
BBB	FOR HH SD REVIEW #6	2025.02.20
CCC	FOR COORDINATION	2025.02.20
EEE	FOR COORDINATION	2025.03.31
FFF	FOR COORDINATION	2025.04.03
JJJ	FOR COORDINATION	2025.04.30
LLL	ISSUED FOR SUPERSTRUCTURE PERMIT	2025.05.15
MMM	FOR COORDINATION	2025.06.18
NNN	FOR SITE PLAN APPROVAL	2025.06.30
PPP	FOR HH SD REVIEW #7	2025.07.03
QQQ	FOR SITE PLAN APPROVAL	2025.07.15
UUU	ISSUED FOR PERMIT	2025.08.12
VVV	FOR SITE PLAN APPROVAL	2025.09.15

Drawn by

SJ/OM/AA

Checked by

LH

DATE (aa mm jj)

JUN 2023

Scale

As indicated

Drawing Title

ELEVATION (NORTH)

Revision

VVV

Dwg Number

AY400



2
AY402

1
AY402

2007-12-25-0038