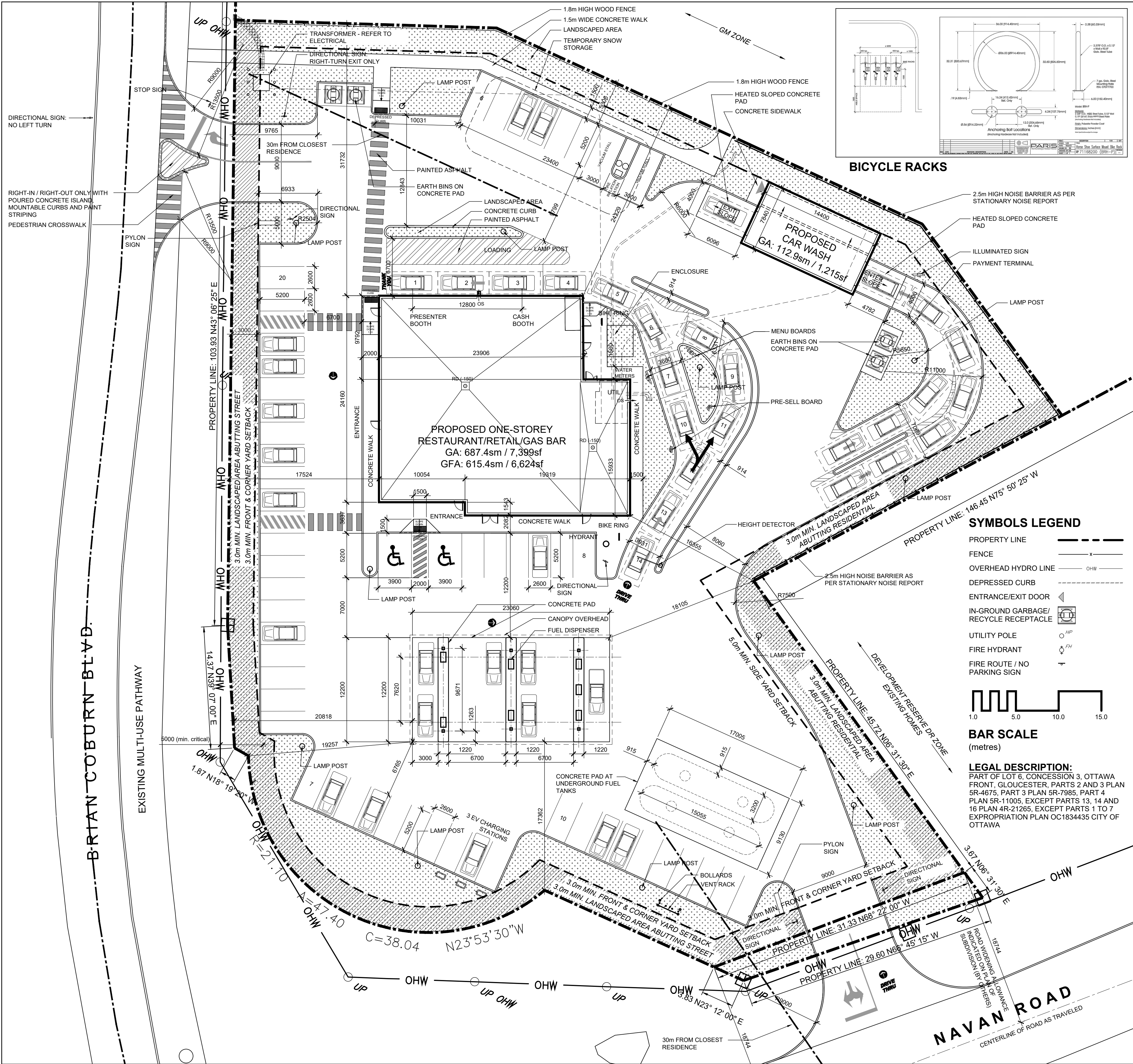
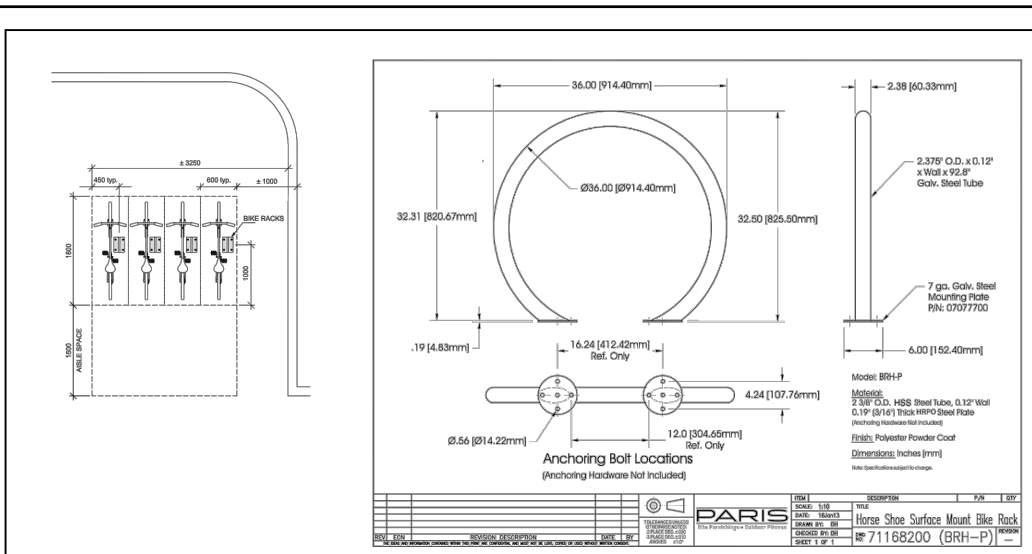


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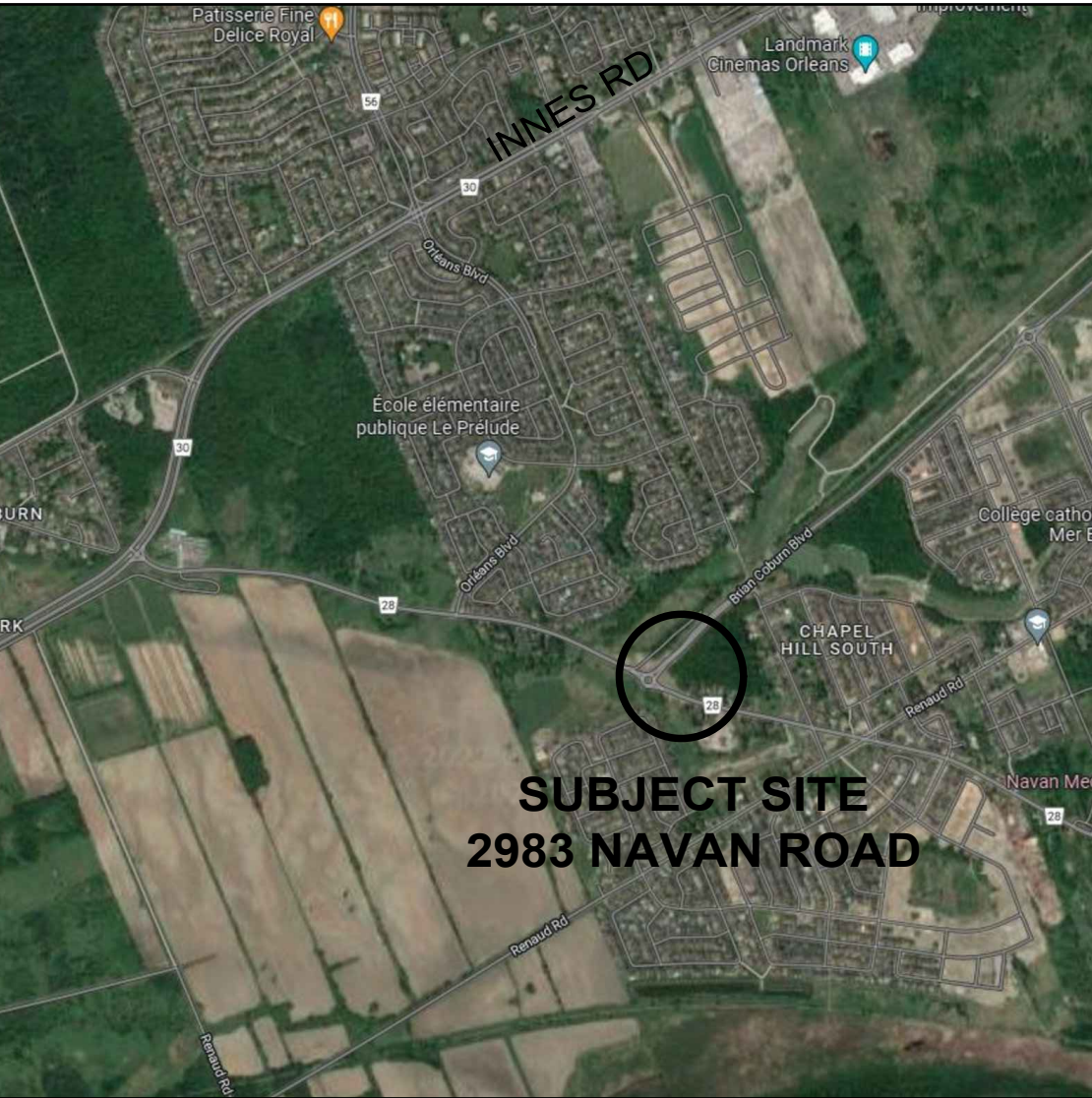
03 SITE PLAN
SP-A01 SCALE: 1:250



BICYCLE RACKS

SITE INFORMATION	
SITE AREA:	7,717sm / 1.93 acres
NOTE THAT PROPERTY BOUNDARY INFORMATION HAS BEEN TAKEN FROM SURVEY PREPARED BY STANTEC, DATED 12 OCTOBER 2023.	
BUILDING DATA:	
AREA CALCULATIONS:	
Gross Area (by Ontario Building Code definition): The total area of all floors above grade measured between the outside surfaces of exterior walls is:	
Retail Building:	687.4sm / 7,386sf
Carwash Building:	112.9sm / 1,215sf
Total Gross Area:	800.3sm / 8,614sf
Gross Floor Area (City of Ottawa Zoning Bylaw definition for the purpose of determining maximum building area and parking requirements): The total floor area measured from the interior of outside walls excluding mechanical/electrical service rooms, stairwells, elevator shafts, parking/loading facilities, washrooms and storage areas:	
GFA (Restaurant/Retail Bldg): 615.4sm / 6,624sf	
ZONING	
DESIGNATION:	GM[2546] H(14.5) General Mixed use, Exception 2546
PERMITTED NON RESIDENTIAL USES:	
Section 187:	Convenience Store Drive-through Facility Restaurant Retail Store
Exception 2546:	Car Wash Gas Bar
MINIMUM SETBACKS:	
Table 187(c):	Front & Corner Yard: 3.0m
Table 187(d):	Interior Side Yard: 5.0m (abutting res. zone)
Table 187(e.iii):	Rear Side Yard: 7.5m (abutting res. bldg)
BUILDING HEIGHT:	
Exception 2546	14.5m maximum permitted 5.5m proposed
FSI:	
Table 187(g):	2.0 times coverage (15,000sm) maximum permitted 0.1 times coverage (799.1sm) proposed
MINIMUM WIDTH OF LANDSCAPED AREA:	
Table 187(h.i):	Abutting a Street: 3.0m
Table 187(h.ii):	Abutting a Res.Zone: 3.0m
PARKING:	
Table 101:	Convenience Store/Bakery: 3.4 cars per 100sm of G Fast-Food Restaurant: 10 cars per 100sm of GFA
Required:	6 for Convenience Store (183sm/100x3.4) 2 for Bakery (66sm/100x3.4) 34 for Restaurant (334sm/100x10) 49 cars (not incl. fuel dispensers, vacuum stalls, EV charging or drive-through)
Provided:	

02 SITE & BUILDING DATA and ZONING REVIEW
SP-A01 SCALE: NTS



01 LOCATION PLAN
SP-A01 SCALE: NTS

MCROBIE

ARCHITECTS + INTERIOR DESIGNERS

OWNER:
1274001 CANADA INC.
100-768 Boulevard St Joseph
Gatineau, QC J8Y 4B8

PLANNING, CIVIL & TRAFFIC CONSULTANT:
J.L.RICHARDS & ASSOCIATES LTD.
1000-343 Preston Street
Ottawa, ON K13 1N4

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 Carling Avenue
Ottawa, ON K2H 5A8

North

No.	By	Description	Date
15	IW	LIGHTING ADJUSTMENTS	23 MAY 2025
16	IW	FINAL SPA SUBMISSION	19 JUN 2025
17	IW	COORDINATION	03 JUL 2025
18	IW	COORDINATION	04 JUL 2025
19	IW	COORDINATION	15 JUL 2025
20	IW	TRAFFIC COORDINATION	03 SEP 2025
21	IW	TRAFFIC COORDINATION	10 SEP 2025

Project

NEW RESTAURANT, CONVENIENCE STORE & GAS BAR

2130 BRIAN COBURN BLVD.

Drawing

SITE PLAN

Scale AS SHOWN

Drawn AK / KE

Checked

Project No. 22-127

Date 12 MAY 2022

Drawing No. SP-A01

12 MAY 2022

PLAN NO. 19205

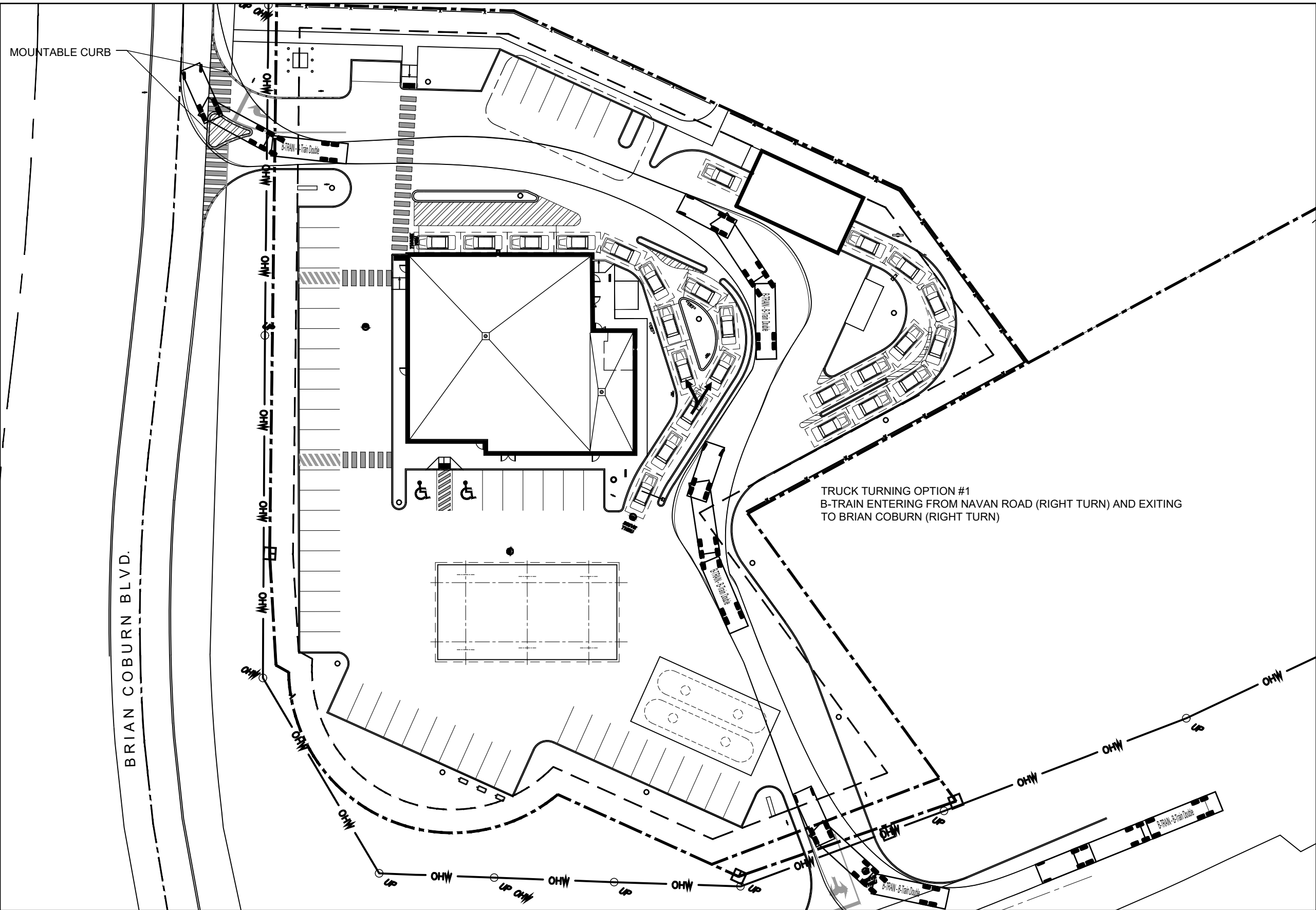
ONTARIO ASSOCIATION OF ARCHITECTS

IAN EDWARD WILLSON

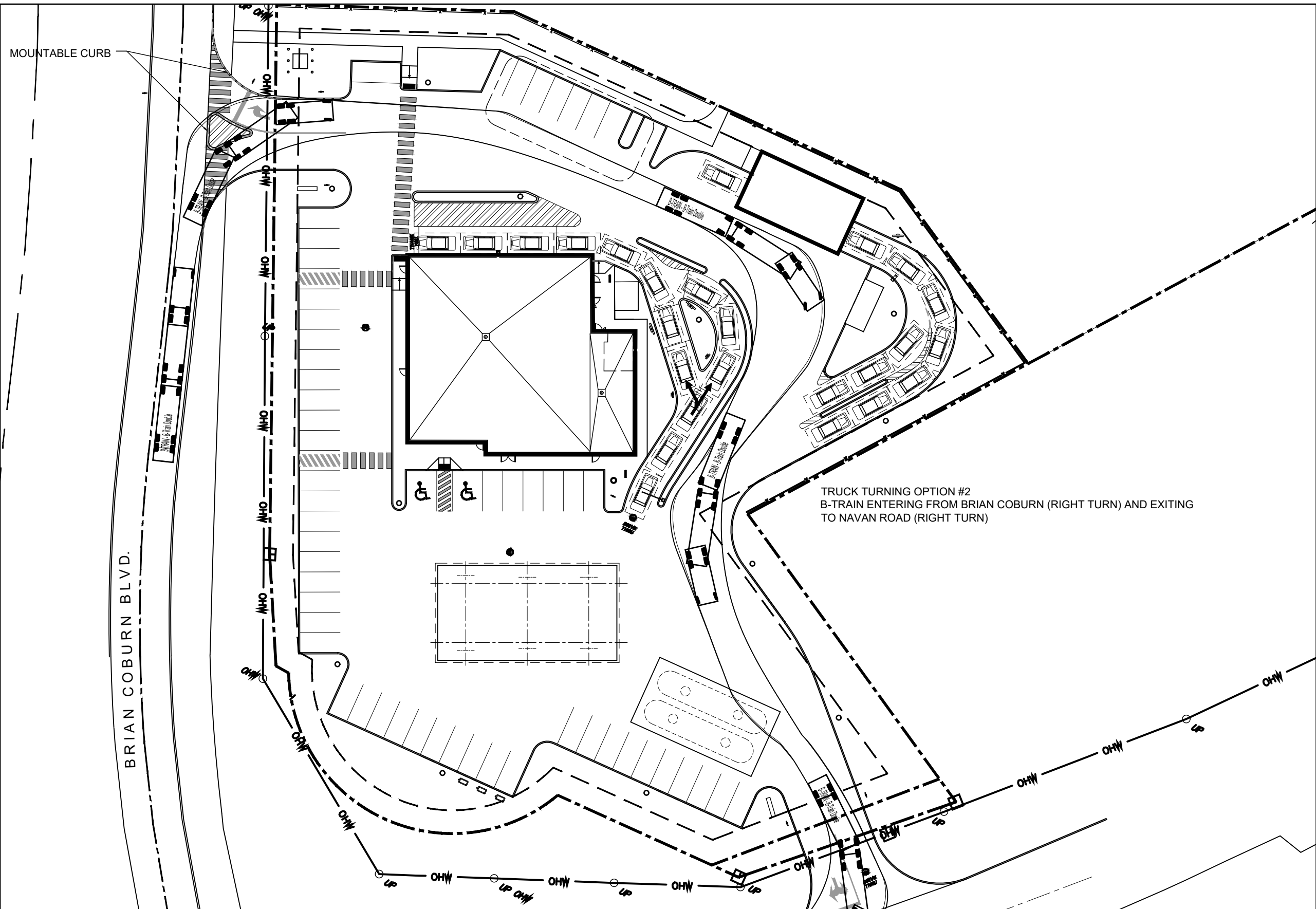
LICENCE 7456

D07-12-24-0119

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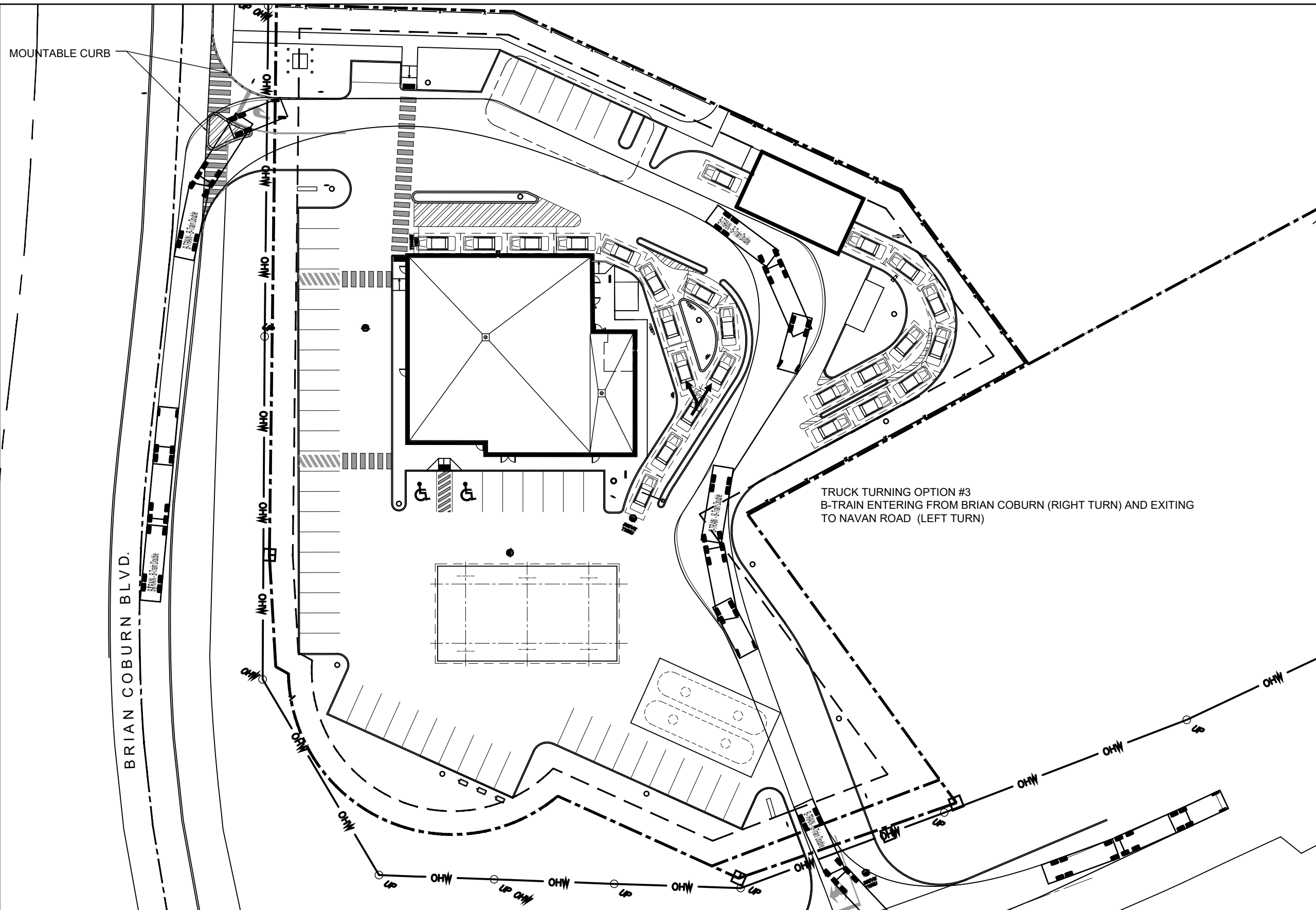
01 TRUCK TURNING OPTION 1
SP-A02 SCALE: NTS



02 TRUCK TURNING OPTION 2
SP-A02 SCALE: NTS



04 RESERVED
SP-A02 SCALE: NTS



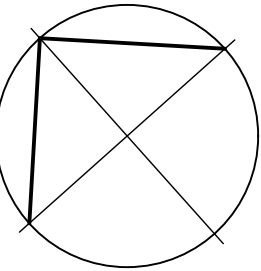
03 TRUCK TURNING OPTION 3
SP-A02 SCALE: NTS

OWNER:
1274001 CANADA INC.
100-768 Boulevard St Joseph
Gatineau, QC J8Y 4B8

PLANNING, CIVIL & TRAFFIC CONSULTANT:
J.L. RICHARDS & ASSOCIATES LTD.
1000-343 Preston Street
Ottawa, ON K13 1N4

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 Carling Avenue
Ottawa, ON K2H 5A8

North



Revisions

No.	By	Description	Date
01	IW	TRAFFIC COORDINATION	10 SEP 2025

Project

**NEW RESTAURANT,
CONVENIENCE STORE &
GAS BAR**

2130 BRIAN COBURN BLVD.

Drawing

**SITE PLAN - TRUCK
MANOEUVERING
ROUTES**

Scale

NTS

Drawn

AK / KE

Checked



Project No.

22-127

Date

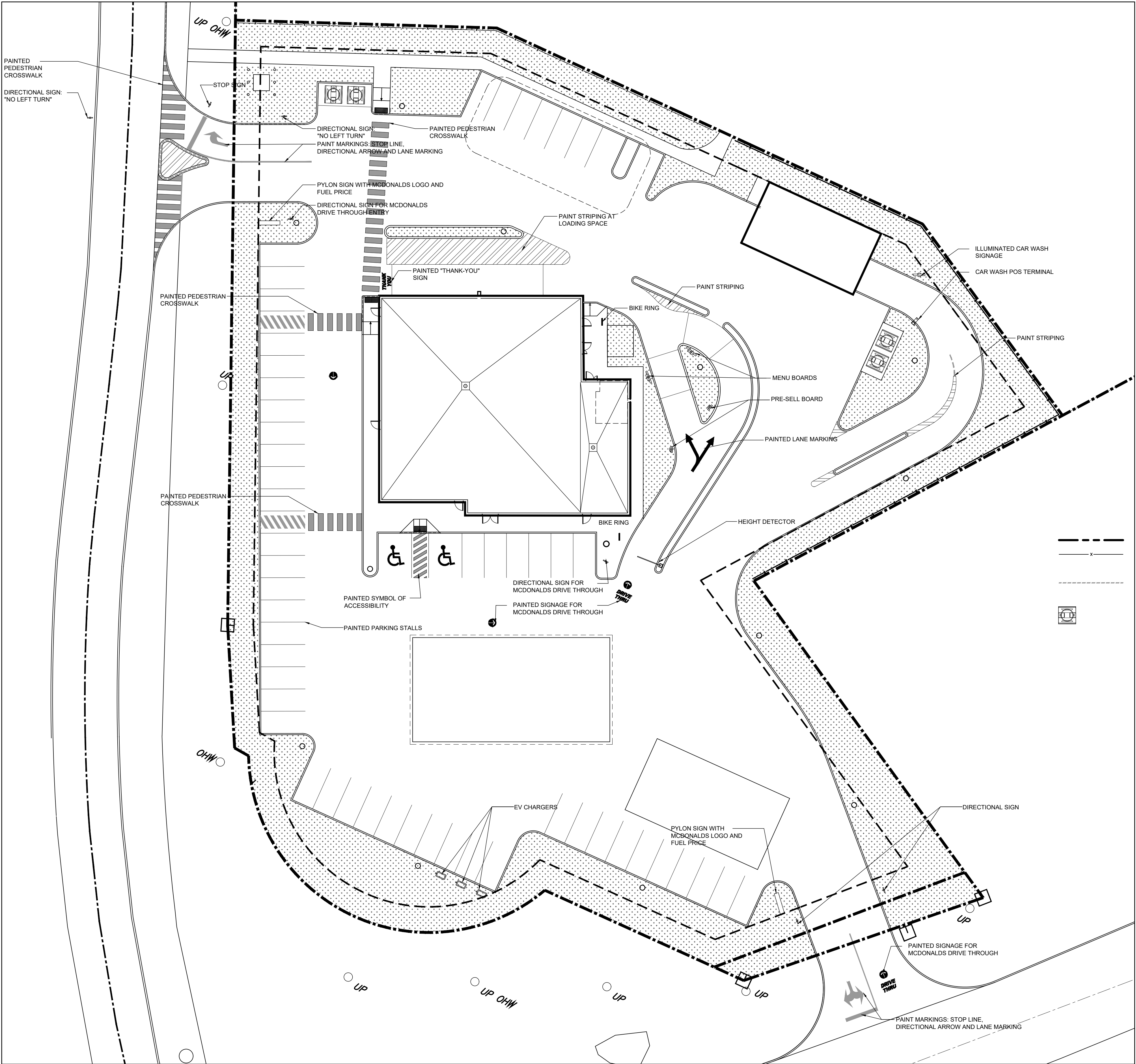
12 MAY 2022

Drawing No.

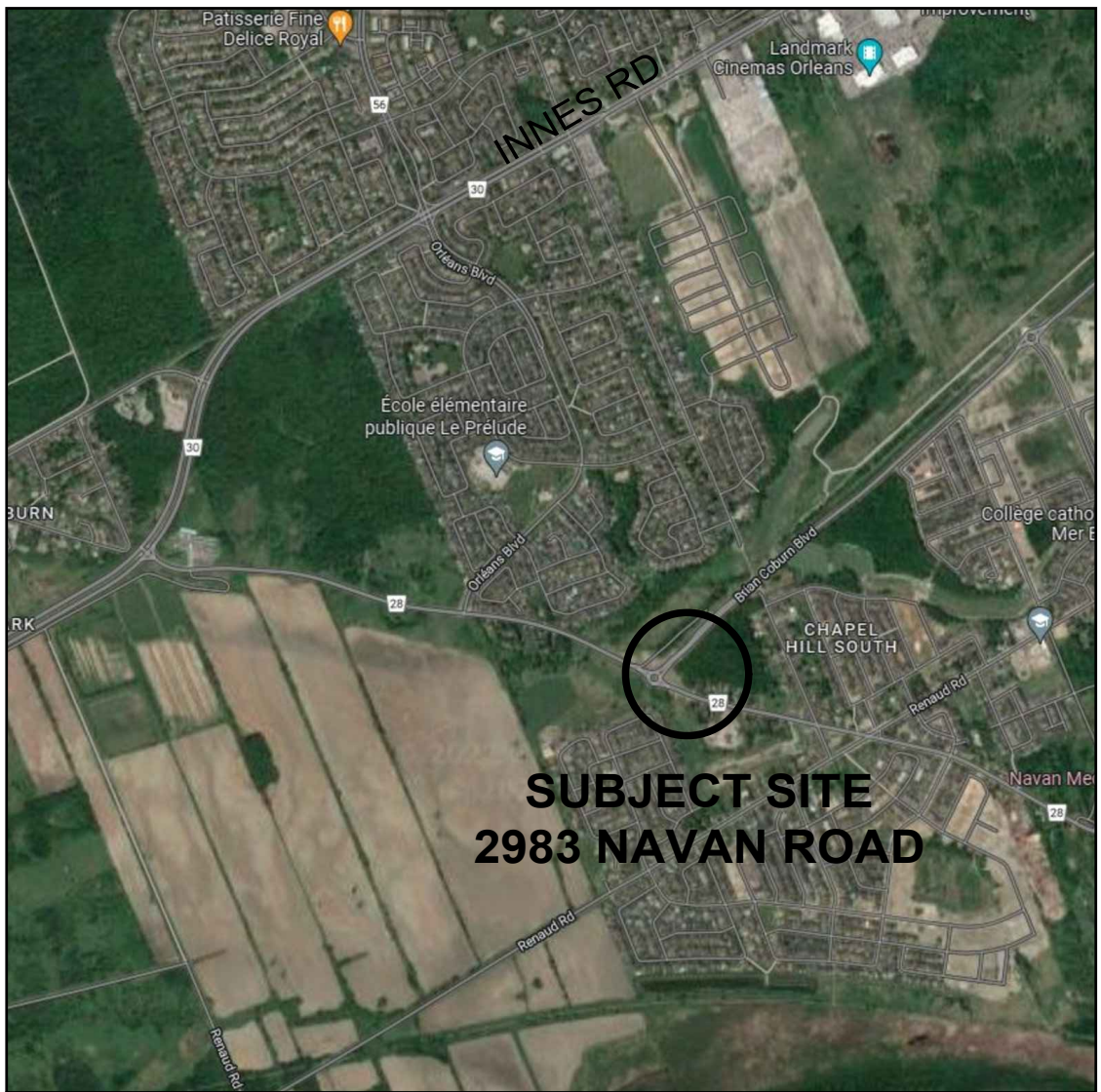
SP-A02

PLAN NO. 19205

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03 SITE PLAN
SP-A03 SCALE: 1:250

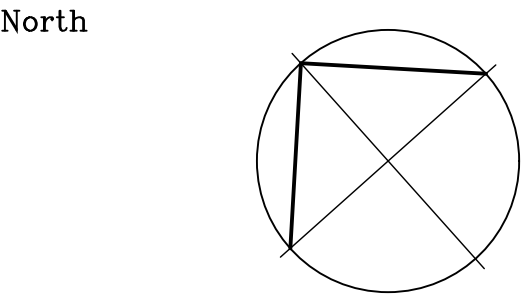


01 LOCATION PLAN
SP-A03 SCALE: NTS

OWNER:
1274001 CANADA INC.
100-768 Boulevard St Joseph
Gatineau, QC J8Y 4B8

PLANNING, CIVIL &
TRAFFIC CONSULTANT:
J.L. RICHARDS & ASSOCIATES LTD.
1000-343 Preston Street
Ottawa, ON K13 1N4

LANDSCAPE ARCHITECT:
JAMES B. LENNOX & ASSOCIATES INC.
3332 Carling Avenue
Ottawa, ON K2H 5A8



Revisions			
No.	By	Description	Date
01	IW	TRAFFIC COORDINATION	10 SEP 2025

Project
NEW RESTAURANT,
CONVENIENCE STORE &
GAS BAR

2130 BRIAN COBURN BLVD.

Drawing
SITE PLAN:
PAINTING AND
SIGNAGE

Scale AS SHOWN
Drawn AK / KE
Checked
Stamp
ONTARIO ASSOCIATION
OF
ARCHITECTS
IAN EDWARD WILLSON
LICENCE 7456

Project No. 22-127
Date 12 MAY 2022
Drawing No. SP-A03
PLAN NO. 19205