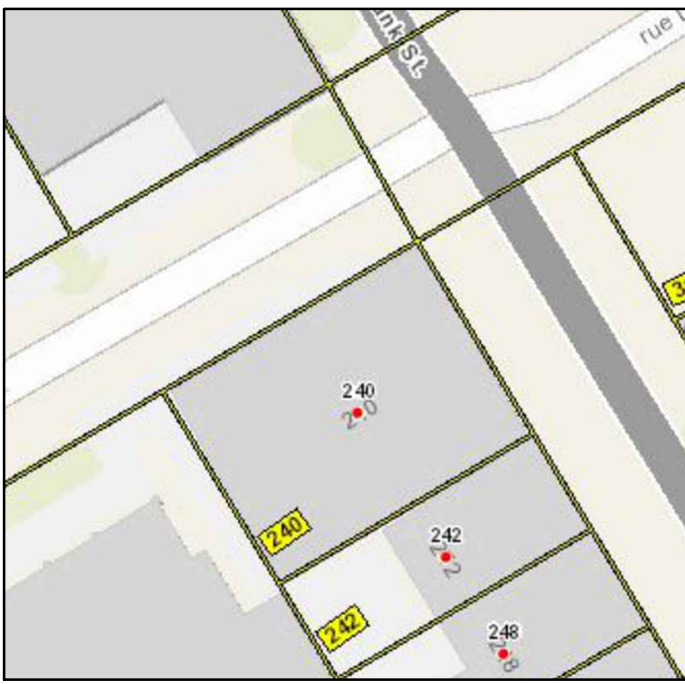


01  
A1.0  
OVERALL SITE PLAN  
SCALE: 3/16" = 1'-0"



02  
A1.0  
KEY PLAN  
SCALE: N.T.S.

PROJECT ZONING REVIEW STATISTICS			
MUNICIPALITY:	CITY OF OTTAWA		
MUNICIPAL ADDRESS:	240 BANK STREET		
REGISTERED OWNER:	240 BANK STREET HOLDINGS (C/O CREST REALTIES)		
LOT AREA:	689m <sup>2</sup>		
ZONING ANALYSIS:	TM H(19)		
PROPOSED USE:	6-STORY OFFICE-TO-MIXED USE BUILDING WITH RESIDENTIAL AND NON-RESIDENTIAL (PERSONAL SERVICE BUSINESS AND RETAIL STORE) CONV.		
BUILDING AREAS		SQ.M.	SQ.FT.
BUILDING FOOTPRINT		668m <sup>2</sup>	7,195ft <sup>2</sup>
GROSS FLOOR AREA:			
GROUND FLOOR (AMENITIES / PARKING)		485m <sup>2</sup>	5,217ft <sup>2</sup>
GROUND FLOOR COMMERCIAL SPACE (3)		183m <sup>2</sup>	1,978ft <sup>2</sup>
SECOND - SIXTH FLOOR (RESI. 9' FLOOR)		3,340m <sup>2</sup>	35,975ft <sup>2</sup>
TOTAL		4,008m <sup>2</sup>	43,170ft <sup>2</sup>
TOTAL RESIDENTIAL UNITS = 45			

ZONING MECHANISM (TM H(19))	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	NO MINIMUM	22.85m
MINIMUM LOT AREA	NO MINIMUM	689m <sup>2</sup>
MAXIMUM BUILDING HEIGHT	20m	19.7m
MINIMUM FRONT YARD SETBACK	MAX. 2.0m	0.0m
MINIMUM REAR YARD SETBACK	NO MINIMUM	0.0m
MINIMUM INTERIOR YARD SETBACK	NO MINIMUM, MAX. 3.0m	0.0m
MINIMUM CORNER SIDE YARD SETBACK	NO MINIMUM 3.0	0.0m
MAXIMUM LOT COVERAGE	NO MAXIMUM	N/A
MAXIMUM FLOOR SPACE INDEX	NO MAXIMUM	N/A
MINIMUM WIDTH OF LANDSCAPE AREA	NO MAXIMUM, EXCEPT THAT WHERE A YARD IS PROVIDED AND NOT USED FOR REQUIRED DRIVEWAYS, AISLES, PARKING OR LOADING SPACES, THE WHOLE YARD MUST BE LANDSCAPED	N/A

PARKING & LOADING SPACE PROVISIONS		
MINIMUM REQUIRED VEHICLE PARKING SPACES	NONE	NONE
BICYCLE PARKING REQUIRED	23 BICYCLE SPACES (0.5 PER DWELLING)	40 BICYCLE SPACES
BICYCLE PARKING SPACE DIMENSIONS	MIN. WIDTH: 0.37m, MIN. LENGTH: 1.8m	WIDTH: 0.6m, LENGTH: 1.8m
VISITOR PARKING SPACES	3 VISITOR SPACES	0 SPACES
AMENITY SPACE SECTION	TOTAL AMENITY: 691m <sup>2</sup> PER DWELLING UNIT = 270m <sup>2</sup> COMMUNAL AMENITY: 50% OF TOTAL = 135m <sup>2</sup>	608m <sup>2</sup> (BASEMENT & GROUND FLOOR) 153m <sup>2</sup> (GROUND FLOOR) TOTAL: 761m <sup>2</sup>
OUTDOOR REFUSE COLLECTION	N/A	N/A

BUILDING FLOOR STATISTICS-DWELLING UNIT TYPE			
FLOOR LEVEL	SUITE COUNT	ONE BEDROOM	ONE BEDROOM (LARGE)
SECOND FLOOR	9	7	2
THIRD FLOOR	9	7	2
FOURTH FLOOR	9	7	2
FIFTH FLOOR	9	7	2
SIXTH FLOOR	9	7	2
TOTAL	45	35	10
SUITE MIX	100%	35/45= 77.78%	10/45=22.22%

SITE PLAN NOTES		SITE PLAN SYMBOLS	
NOTE#	NOTE	Symbol	Description
(E)AS	EXISTING ASPHALT SURFACE - REFER TO SURVEY	OH	NEW OVERHEAD DOOR
(E)BU	EXISTING BUSHES - REFER TO SURVEY	ND	NEW DOOR / ENTRANCE
(E)CSW	EXISTING CONCRETE CURB - REFER TO SURVEY	BPS	BICYCLE PARKING SPACE (1.8Mx0.6M)
(E)GSW	EXISTING CONCRETE SIDEWALK - REFER TO SURVEY	NS	NEW SIGN, REFER TO SIGN LEGEND
(E)JHW	EXISTING OVERHEAD UTILITY WIRES - REFER TO SURVEY	RS	FIRE ROUTE SIGN
(E)JRW	EXISTING RETAINING WALL - REFER TO SURVEY	SL	STREET LIGHT
(E)JT	EXISTING TREE - REFER TO SURVEY	TSL	TRAFFIC SIGNAL LIGHTS
(E)TR	EXISTING TREE TO BE REMOVED - REFER TO SURVEY	MH	MAINTENANCE HOLE W/ COVER
B	BOLLARD, 6MM X 125MM DIA. X 1050MM PAINTED GALVANIZED STEEL BOLLARD C/W WELDED CAP AND 8MM X 150MM BASE PLATE WITH 4 BOLT HOLES. SECURE TO PAVEMENT OR SIDEWALK AT LOCATIONS INDICATED WITH 16MM DIA. GALVANIZED CONCRETE OR ASPHALT ANCHORS DEPENDANT ON LOCATION.	SWCB	STORM WATER CATCH BASIN
BFPS	PROVIDE VERTICALLY-MOUNTED SIGN, MINIMUM 300MM WIDE X 600MM HIGH, MARKED WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY. MOUNT NOT LESS THAN 1500MM ABOVE GRADE AND NOT MORE THAN 2000MM ABOVE GRADE. ENSURE TONAL CONTRAST BETWEEN BF PARKING SIGN AND BACKGROUND ENVIRONMENT. PROVIDE INFORMATION TEXT COMPLIANT WITH CITY OF OTTAWA BY LAW REQUIREMENTS. PROVIDE ADDITIONAL BILINGUAL SIGNAGE THAT IDENTIFIES TYPE "A" SPACES AS "VAN ACCESSIBLE/ FOURCOINNETTE ACCESSIBLE".	TW	TWO WAY TRAFFIC
BR	BIKE RACK - REFER TO LANDSCAPE	DC	DEPRESSED CURB (DC)
CC	CONCRETE CURB - REFER TO CIVIL	PL	PROPERTY LINE
CP	CONCRETE PAD - REFER TO CIVIL	MS	MINIMUM SETBACKS (ZONING)
CSW	CONCRETE SIDEWALK - REFER TO CIVIL	NC	NEW CONSTRUCTION
CY	CANOPY C/W RECESSED POT LIGHTS - REFER TO ELECTRICAL	EB	EXISTING BUILDINGS
GM	GAS METER - REFER TO SITE SERVICING	SL	SOFT LANDSCAPING
PMT	PAD MOUNT TRANSFORMER - REFER TO CIVIL	CS	CONCRETE SIDEWALK
PP	PAINTED PARKING LINES, TYP. - REFER TO CIVIL	PS	PAVED SIDEWALK
RSL	ROOF STORM LINE - REFER TO CIVIL	SE	SURFACE EASEMENTS
RW	RETAINING WALL - REFER TO CIVIL	NPL	NO PARKING LINES
SL	SANITARY LINE - REFER TO CIVIL		
STL	STORM LINE - REFER TO CIVIL		
TWSI	TACTILE WALKING SURFACE INDICATOR (TWSI), FULL WIDTH OF CURB RAMP, RECESSED TO BE FLUSH WITH CONCRETE WALKING SURFACE - REFER TO CIVIL		
WTS	WATER SERVICE - REFER TO CIVIL		
WTSL	WEEPING TILE STORM LINE - REFER TO CIVIL		

PROPERTY LEGAL DESCRIPTION  
**PLAN OF LOT 34  
(SOUTH LISGAR STREET)**  
**REGISTERED PLAN 12281**  
**CITY OF OTTAWA**  
Prepared by Annis, O'Sullivan, Vollebek Ltd.  
Dated December 5th, 2005  
14 Concourse Gate, Suite 500, Nepean, ON K2E 7S6  
Tel.: 613.727.0850  
Fax.: 613.727.1079

CLIENT NAME:  
**CREST REALTIES**  
NOTES:  
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.  
2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTERPRETATION AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
3. DO NOT SCALE DRAWINGS.  
4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

CREST REALTIES  
CREST  
4893 Queen Mary Road, Suite 500  
Montreal, QC H3W 1X3  
Tel: 514-288-2737

RESTER MANAGEMENT  
RESTER  
1117 Ste-Catherine O., Suite 303  
Montreal, QC, H3B 1H9  
T: 514-844-0812  
E: reception@rester.ca

ANNIS O'SULLIVAN VOLLEBEK LTD.  
Ottawa Land Surveyors  
14 Concourse Gate, Suite 500  
Nepean, ON, K2E 7S6  
P: 613-727-0850  
nevean@annvol.com

NOVATECH  
Engineers, Planners & Landscape Architects  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
Tel: 613.254.9543

ORTAM  
Environmental Site Assessment Consultant  
1200, rue de Louvain O., Montreal, Quebec H4N 1G5 Canada  
438-444-4444  
info@ortam.ca

SEAL: OF ARCHITECTS  
BRANDON C. LAWRENCE  
LICENCE 9092  
NORTH ARROW: N

No.	DATE	REVISION
05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW

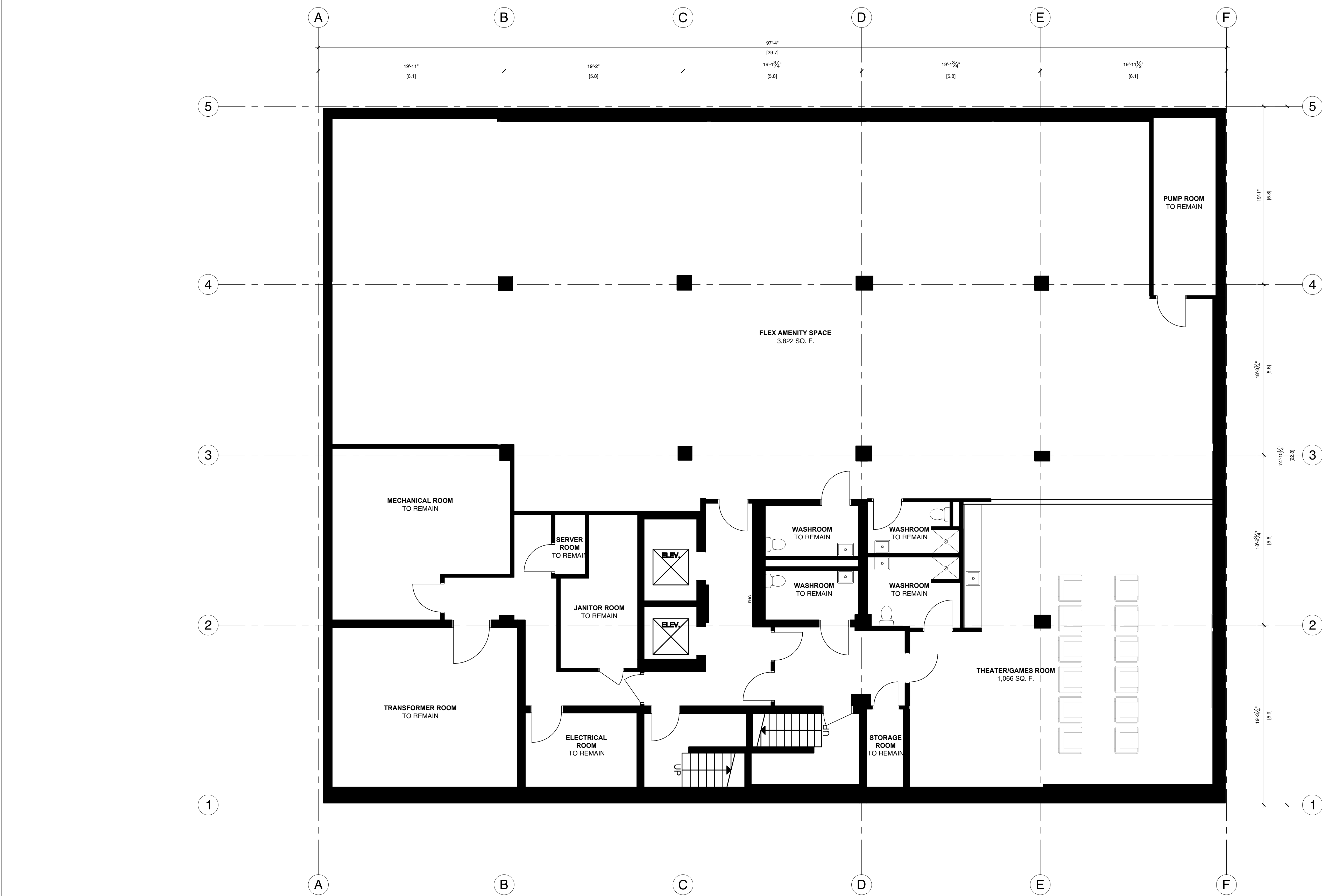
LAWRENCE ARCHITECTS  
205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 6B7  
T: 613.730.7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF LAWRENCE ARCHITECTS INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**SITE PLAN**  
DRAWN BY: B.L. CHECKED BY: L.A.  
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21  
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN  
SHEET NUMBER:





- LEGEND**
- SCD: CEILING MOUNTED HARDWIRED INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTOR
  - VENTILATION FAN TO EXTERIOR
  - FLOOR DRAIN
  - EP: ELECTRICAL PANEL
  - POT: POT LIGHT FIXTURE
  - SP: SOFFIT POT LIGHT FIXTURE
  - W: WALL MOUNTED LIGHT FIXTURE
  - BASEB: BASEBOARD HEATER
  - FM: FLUSH MOUNT RADIANT HEATER
  - SW: SWITCH
  - SWD: SWITCH WITH DIMMER
  - 24R: 24" RFR
  - DR: DRIPPED BLANKHEAD

CLIENT NAME:  
**CREST REALTIES**

- NOTES:
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANINGS AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  3. DO NOT SCALE DRAWINGS.
  4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**CREST REALTIES**  
Client  
4852 Queen Mary Road, Suite 500  
Montreal, QC H3W 1X3  
Tel: 514-288-2737

**RESTER MANAGEMENT**  
1117 Ste-Catherine O., Suite 303  
Montreal, QC, H3B 1H9  
T: 514-844-0812  
E: reception@rester.ca

**ANNIS O'SULLIVAN VOLLEBEKK LTD.**  
Ontario Land Surveyors  
14 Concorde Gate, Suite 500  
Nepean, ON K2E 7S6  
P: 613-727-6850  
nepean@annisd.com

**NOVATECH**  
Engineers, Planners & Landscape Architects  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
Tel: 613-254-9543

**ORTAM**  
Environmental Site Assessment Consultant  
1200, rue de Louvain O., Montreal, Quebec H4N 1G5 Canada  
info@ortam.ca

SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**  
OF ARCHITECTS  
BRANDON G. LAWRENCE  
LICENCE 9092

NORTH ARROW:  
N

05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW

No.	DATE	REVISION
-----	------	----------

**LAWRENCE ARCHITECTS**  
205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 8E7  
T: 613 739 7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF  
LAWRENCE ARCHITECTS INCORPORATED  
REPRODUCTION IS NOT PERMITTED

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**BASEMENT FLOOR PLAN**

DRAWN BY:  
B.L.

CHECKED BY:  
L.A.

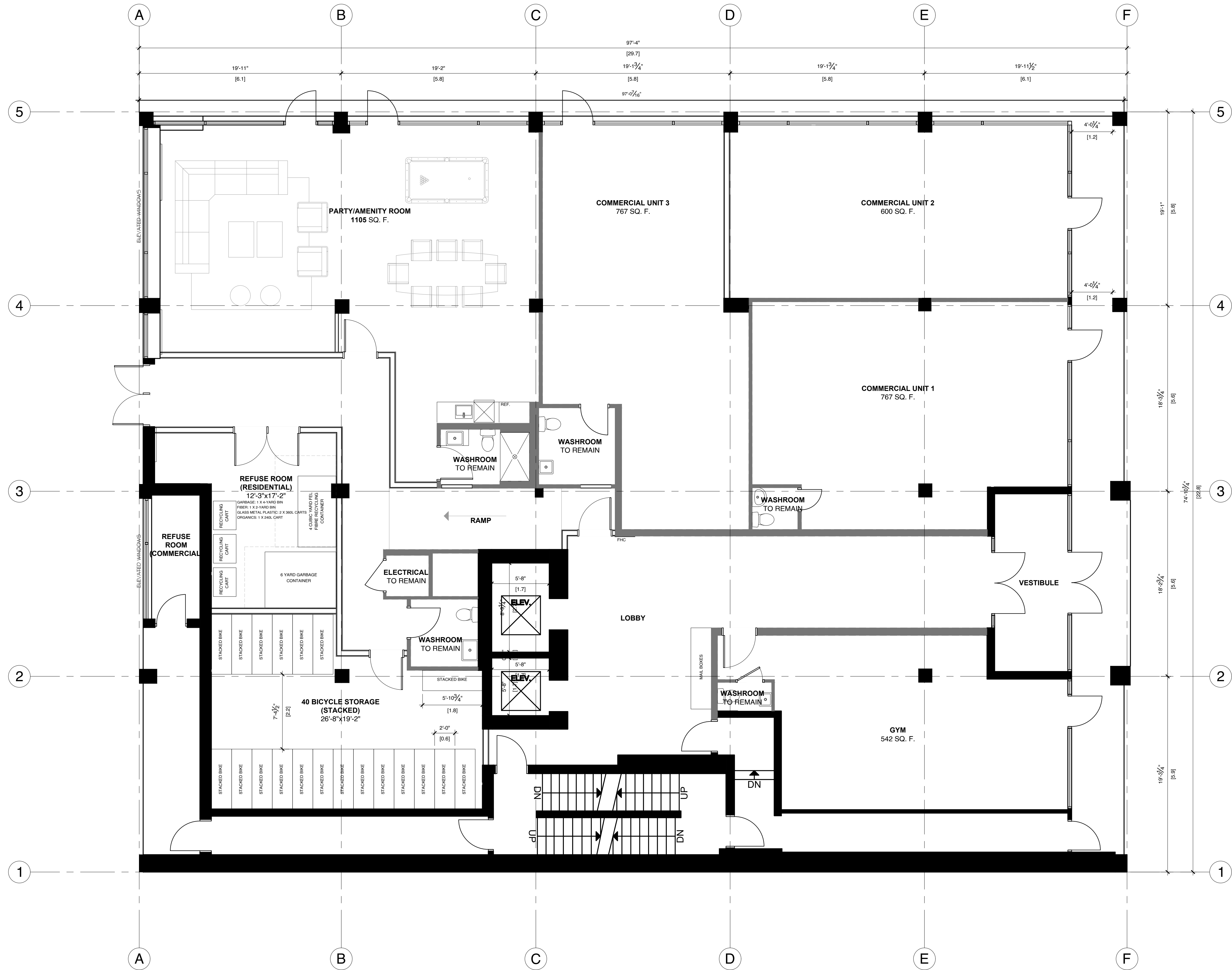
PLOT DATE:  
2025.09.17

PROJECT START DATE:  
2024.02.21

JOB NUMBER:  
SL-1118-24

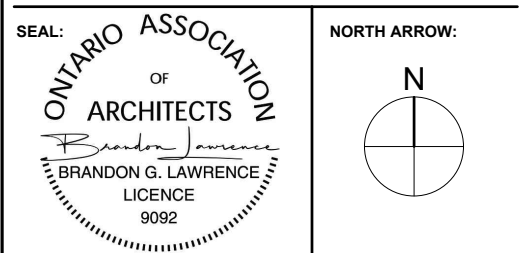
SCALE:  
AS SHOWN

SHEET NUMBER:



- LEGEND
- SCD CEILING MOUNTED HARDWIRED INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTOR
  - FD VENTILATION FAN TO EXTERIOR
  - EP FLOOR DRAIN
  - EP ELECTRICAL PANEL
  - SP POT LIGHT FIXTURE
  - SP SLOTTED POT LIGHT FIXTURE
  - SP WALL MOUNTED LIGHT FIXTURE
  - SP BASEBOARD HEATER
  - PH FLUSH MOUNT RADIANT HEATER
  - S SWITCH
  - S SWITCH WITH DIMMER
  - 2 HR. FRR
  - DRIPPED BULKHEAD

- NOTES:
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS.
  2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  3. DO NOT SCALE DRAWINGS.
  4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW
No.	DATE	REVISION



THIS DRAWING IS THE SOLE PROPERTY OF LAWRENCE ARCHITECTS INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**GROUND FLOOR PLAN**

DRAWN BY:  
B.L.

CHECKED BY:  
L.A.

PLOT DATE:  
2025.09.17

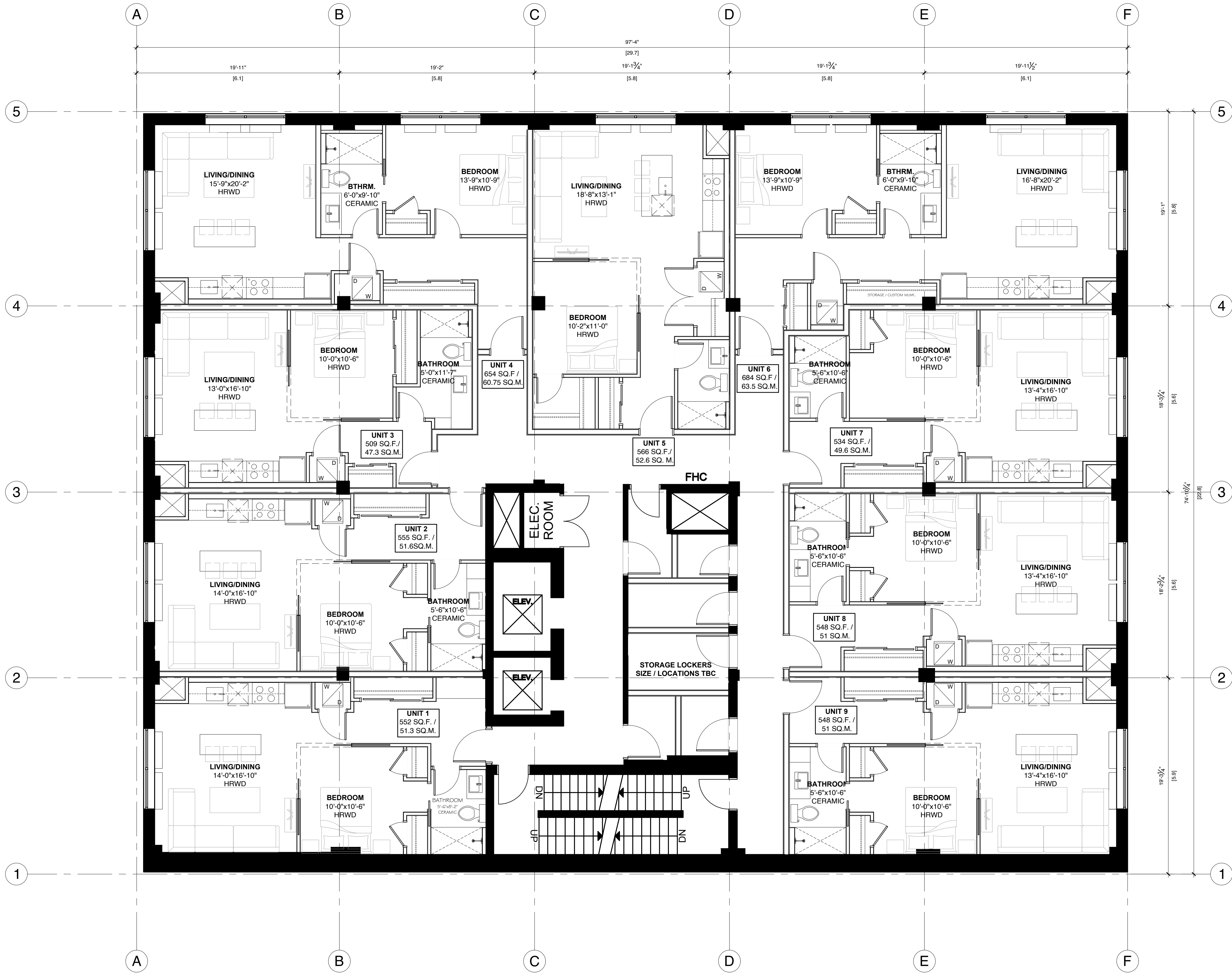
PROJECT START DATE:  
2024.02.21

JOB NUMBER:  
SL-1118-24

SCALE:  
AS SHOWN

SHEET NUMBER:





- LEGEND
- SCD CEILING MOUNTED HARDWIRED INTERCONNECTED SMOKE & CARBON MONOXIDE DETECTOR
  - VENTILATION FAN TO EXTERIOR
  - FLOOR DRAIN
  - ELECTRICAL PANEL
  - POT LIGHT FIXTURE
  - BOFFY POT LIGHT FIXTURE
  - WALL MOUNTED LIGHT FIXTURE
  - BASEBOARD HEATER
  - FLUSH MOUNT RADIANT HEATER
  - SWITCH
  - SWITCH WITH DIMMER
  - 2 HR. FRR
  - DROPPED BLANKHEAD

CLIENT NAME:  
**CREST REALTIES**

NOTES:  
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS  
2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.  
3. DO NOT SCALE DRAWINGS.  
4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.  
5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

CREST REALTIES  
Client  
4802 Queen Mary Road, Suite 500  
Montreal, QC H3W 1X3  
Tel: 514-288-2737

RESTER MANAGEMENT  
1117 Ste-Catherine O., Suite 303  
Montreal, QC, H3B 1H9  
T: 514-844-0812  
E: reception@rester.ca

ANNIS O'SULLIVAN VOLLEBEKK LTD.  
Ontario Land Surveyors  
14 Constance Gate, Suite 500  
Nepean, ON K2E 7S6  
P: 613-727-0800  
reagan@annid.com

NOVATECH  
Engineers, Planners & Landscape Architects  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
Tel: 613.254.9543

ORTAM  
Environmental Site Assessment Consultant  
1200, rue de Louvain O., Montreal, Quebec H4N 1G5 Canada  
info@ortam.ca

SEAL:  
OF  
ARCHITECTS  
BRANDON G. LAWRENCE  
LICENCE  
9092

NORTH ARROW:  
N

05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.05	ISSUED FOR REVIEW
No.	DATE	REVISION

LAWRENCE  
ARCHITECTS  
205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 8B7  
T: 613.730.7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF  
LAWRENCE ARCHITECTS INCORPORATED  
REPRODUCTION IS NOT PERMITTED

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**FLOOR PLANS**

DRAWN BY:  
B.L.

CHECKED BY:  
L.A.

PLOT DATE:  
2025.09.17

PROJECT START DATE:  
2024.02.21

JOB NUMBER:  
SL-1118-24

SCALE:  
AS SHOWN

SHEET NUMBER:

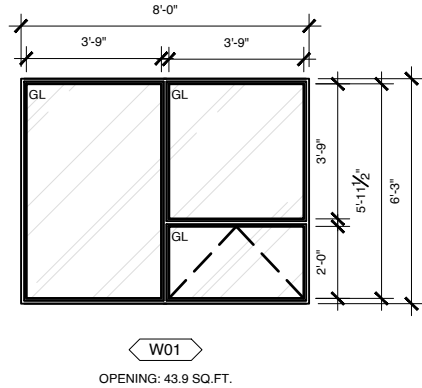
A2.2

PLAN #

APPLICATION #



01 EAST (FRONT) ELEVATION  
A3.0 SCALE: 3/16"=1'-0"



NOTES:

GL = GLAZING

\*\* = OPERATOR DIRECTION FOR WALL WINDOWS

02 WINDOW SCHEDULE  
A3.0 SCALE: 3/16"=1'-0"

CLIENT NAME:  
**CREST REALTIES**

NOTES:

1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS
2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
3. DO NOT SCALE DRAWINGS.
4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**CREST REALTIES**  
Client  
4852 Queen Mary Road, Suite 500  
Montreal, QC H3W 1X3  
Tel: 514-288-2737

**RESTER MANAGEMENT**  
1117 Ste-Catherine O., Suite 303  
Montreal, QC, H3B 1H9  
T: 514-944-0812  
E: reception@rester.ca

**ANNIS O'SULLIVAN VOLLEBEKK Ltd.**  
Ontario Land Surveyors  
14 Constance Gate, Suite 500  
Nepean, ON K2E 7S6  
P: 613-727-6850  
nepean@annisd.com

**NOVATECH**  
Engineers, Planners & Landscape Architects  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
Tel: 613.254.9543

**ORTAM**  
Environmental Site Assessment Consultant  
1200, rue de Louvain O., Montreal, Quebec H4N 1G5 Canada  
info@ortam.ca

SEAL: **ONARIO ASSOCIATION OF ARCHITECTS**  
BRANDON G. LAWRENCE  
LICENCE 9092

NORTH ARROW:  
N

05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW
No.	DATE	REVISION

**LAWRENCE ARCHITECTS**  
205-18 DEAKIN STREET  
OTTAWA, ONTARIO K2E 6E7  
T: 613.739.7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF LAWRENCE ARCHITECTS INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**ELEVATIONS**

DRAWN BY: B.L. CHECKED BY: L.A.  
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21  
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN  
SHEET NUMBER:

A3.0

APPLICATION #



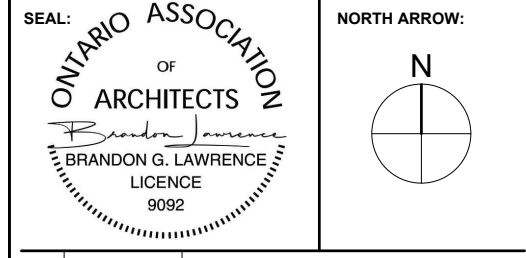
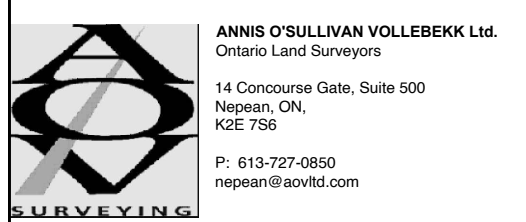
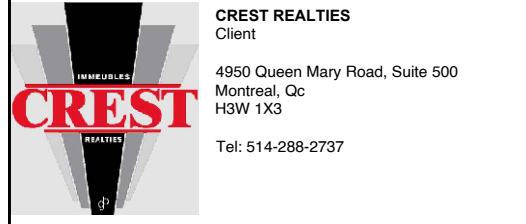


01 NORTH (SIDE) ELEVATION  
A3.1 SCALE: 3/16"=1'-0"

ALL DIMENSIONS, ELEVATIONS, AND HEIGHTS ARE BASED ON AVAILABLE AS-BUILT SURVEY INFORMATION. ACTUAL SITE CONDITIONS MAY VARY.

CLIENT NAME:  
**CREST REALTIES**

- NOTES:
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS
  2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  3. DO NOT SCALE DRAWINGS.
  4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



No.	DATE	REVISION
05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW



THIS DRAWING IS THE SOLE PROPERTY OF LAWRENCE ARCHITECTS INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**ELEVATIONS**

DRAWN BY: B.L. CHECKED BY: L.A.  
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21  
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN  
SHEET NUMBER:

A3.1  
PLAN #

APPLICATION #



01 WEST (REAR) ELEVATION  
A3.2 SCALE: 3/16"=1'-0"

CLIENT NAME:  
**CREST REALTIES**

- NOTES:
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS
  2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  3. DO NOT SCALE DRAWINGS.
  4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

**CREST REALTIES**  
Client  
4852 Queen Mary Road, Suite 500  
Montreal, QC H3W 1X3  
Tel: 514-288-2737

**RESTER MANAGEMENT**  
1117 Ste-Catherine O., Suite 303  
Montreal, QC, H3B 1H9  
T: 514-944-0812  
E: reception@rester.ca

**ANNIS O'SULLIVAN VOLLEBEKK Ltd.**  
Ontario Land Surveyors  
14 Concorde Gate, Suite 500  
Nepean, ON K2E 7S6  
P: 613-727-6850  
nepean@annisd.com

**NOVATECH**  
Engineers, Planners & Landscape Architects  
240 Michael Cowland Drive, Suite 200, Ottawa, ON, K2M 1P6  
Tel: 613.254.9543

**ORTAM**  
Environmental Site Assessment Consultant  
1200, rue de Louvain O., Montreal, Quebec H4N 1G5 Canada  
438-444-4444  
info@ortam.ca

SEAL: **ONARIO ASSOCIATION OF ARCHITECTS**  
BRANDON G. LAWRENCE  
LICENCE 9092  
NORTH ARROW: N

05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW
No.	DATE	REVISION

**LAWRENCE ARCHITECTS**  
205-18 DEAKIN STREET  
OTTAWA, ONTARIO K2E 6E7  
T: 613.739.7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF LAWRENCE ARCHITECTS INCORPORATED. REPRODUCTION IS NOT PERMITTED.

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

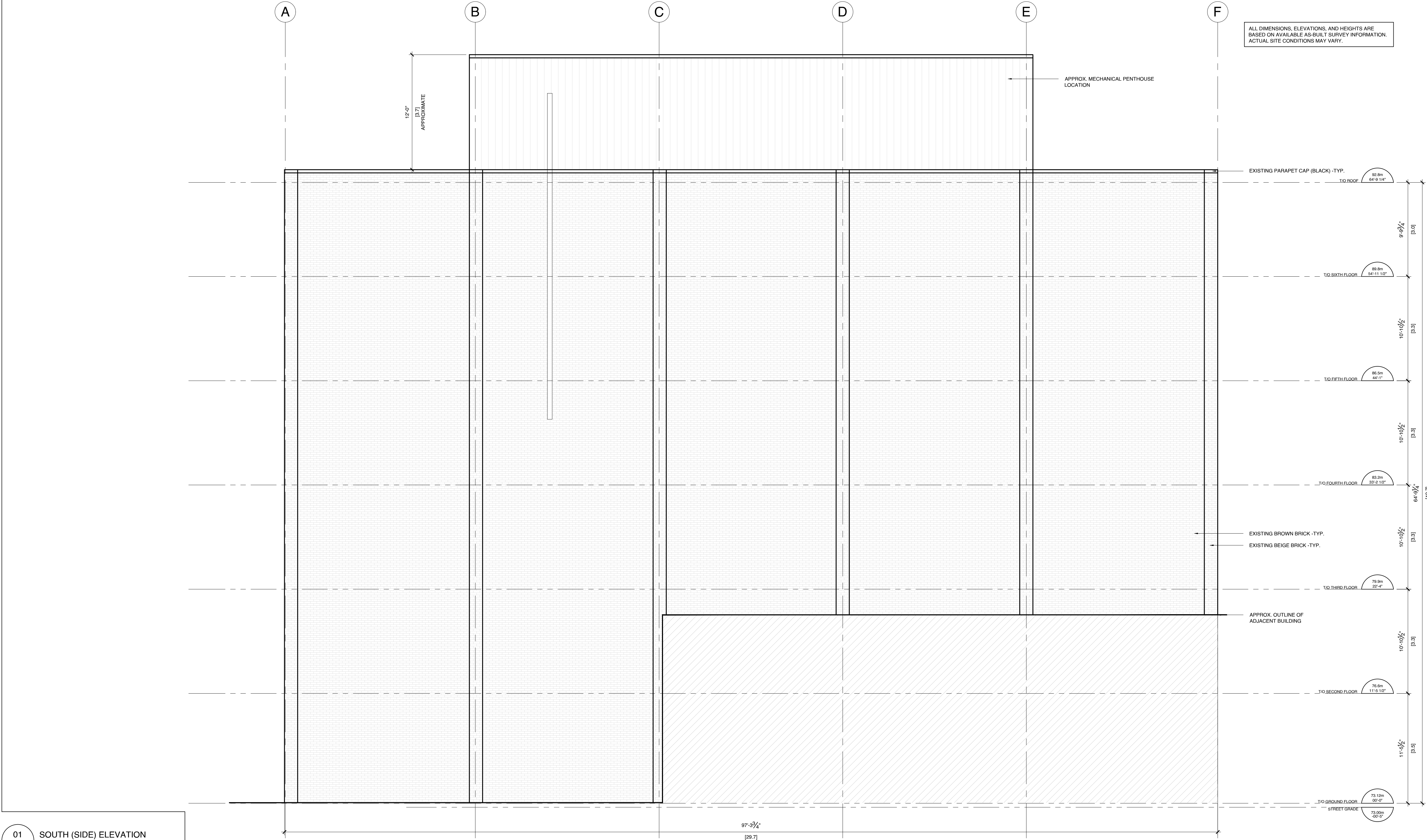
SHEET TITLE:  
**ELEVATIONS**

DRAWN BY: B.L. CHECKED BY: L.A.  
PLOT DATE: 2025.09.17 PROJECT START DATE: 2024.02.21  
JOB NUMBER: SL-1118-24 SCALE: AS SHOWN  
SHEET NUMBER:

A3.2

APPLICATION #

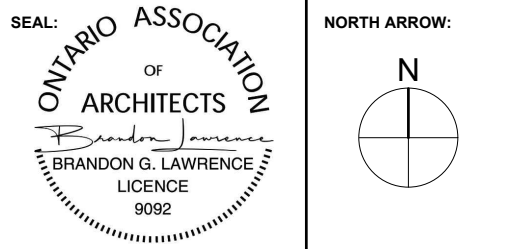




01 SOUTH (SIDE) ELEVATION  
A3.3 SCALE: 3/16"=1'-0"

CLIENT NAME:  
**CREST REALTIES**

- NOTES:
1. ALL WORK TO BE IN COMPLIANCE WITH LOCAL BUILDING CODES, REGULATIONS AND BY-LAWS
  2. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
  3. DO NOT SCALE DRAWINGS.
  4. ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
  5. NOTIFY LAWRENCE ARCHITECTS INC. FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.



05	2025.09.17	RE-ISSUED FOR SPC
04	2025.07.18	ISSUED FOR SPC
03	2024.06.04	ISSUED FOR REVIEW
02	2024.03.14	ISSUED FOR REVIEW
01	2024.03.06	ISSUED FOR REVIEW
No.	DATE	REVISION



205-18 DEAKIN STREET  
OTTAWA, ONTARIO  
K2E 6E7  
T: 613.739.7770  
E: INFO@LAWRENCEARC.COM

THIS DRAWING IS THE SOLE PROPERTY OF  
LAWRENCE ARCHITECTS INCORPORATED  
REPRODUCTION IS NOT PERMITTED

PROJECT:  
**BANK ST RETROFIT**  
240 BANK STREET, OTTAWA, ON

SHEET TITLE:  
**ELEVATIONS**

DRAWN BY: **B.L.** CHECKED BY: **L.A.**  
PLOT DATE: **2025.09.17** PROJECT START DATE: **2024.02.21**  
JOB NUMBER: **SL-1118-24** SCALE: **AS SHOWN**  
SHEET NUMBER:

**A3.3**

APPLICATION #