

SITE AREA	45,201.6318 m ² (4.52 ha)
PARK AREA	3390.89 m ² (0.34 ha) (7.5%)
PAVED AREA****	14,765.48 m ² (32.66%)
LANDSCAPED AREA (NO INCLUDED PARK AREA)	15,867.44 m ² (35.10%)
TOTAL BUILDING COVERAGE	11,177.9 m ² (24.72%)
TOTAL GROSS FLOOR AREA	42,090.17m ²
DENSITY (UPH)	103.5 UPH
ZONE CATEGORY	R4(Z)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m ²)	UNITS
BLOCKS 3-4-5-8-9-11-12-13-20-21-22	24 UNITS STACKED DWELLING	572.75 m ² (per Block)	284
BLOCKS 1-6-7-14-15-18-19	20 UNITS STACKED DWELLING	477.91 m ² (per Block)	108
BLOCKS 2-10-16-17	16 UNITS STACKED DWELLING	383.07 m ² (per Block)	76
TOTAL			468

AMENITY AREAS		
AREA		COMMENTS
PRIVATE AMENITY AREAS		
REAR DECK	7488 m²	Lower units (234 units)
REAR PATIOS	2317.64 m²	Lower units where applicable(134 units)
SECOND FLOOR BALCONIES	947.33 m²	Upper units (234 units)
TOTAL PRIVATE AREAS	3960.63 m²	
COMMUNAL AMENITY AREAS		
AMENITY AREA 1	243.49 m²	
AMENITY AREA 2	332.97 m²	
AMENITY AREA 3	127.96 m²	
AMENITY AREA 4	852.90 m²	
TOTAL COMMUNAL AREAS	1597 m²	
TOTAL AMENITY AREAS	5557.69 m²	

ZONE PROVISION - PLANNED UNIT DEVELOPMENT		REQUIRED	PROPOSED
62A(Z)	Min. Lot Area (m ²)	1400 m ²	45201 m ²
62A(Z)	Min. Lot Width (m)	18 m	292 m
62A(Z)	Min. Front Yard Setback (m)	3	5.10
62A(Z)	Min. Interior Side Yard Setback (m)	2	6
62B.6	Min. Rear yard setback (m)	6	6
62A(Z)	Max Building Height (m)	15	13.5
61	Landscaped Area	30	44
131.1	Min. Width of Private Way / Parking Aisle (m)	6	6.1
131.4a	Min. Setback for Any Wall of a Residential Building Within a Planned Unit Development	1.2	5
131.2	Min. setback for any wall of a residential use building to a private way	1.8	>4.5
137	AMENITY AREA		
137.6	Total min. amenity area (6m ² per unit)	2808 m ²	5557.69 m ²
137.6	Min. Communal Amenity Area m ² (Min. 50% area)	1404 m ²	1597.06 m ²
65	PERMITTED PROJECTION INTO REQUIRED YARDS		
65.1	Fire escapes, Open Stairways, Stoop (m)	>0.6m to lot line	0.5 m
65.6.a(i)	Covered or Uncovered Balcony, Porch and Deck	2m no closer than 1 to a lot line	2m no closer than 1.65 to a lot line

PARKING REQUIREMENTS		REQUIRED	PROPOSED
101 (Table R10)	Resident Parking - 1.2 spaces/unit	468	468 (1.0)
102 (Table column III)	Visitor Parking - 0.2 spaces/unit	95	87 (0.19)
106.1	Min. Perpendicular Parking Space Size (m)	2.6 x 5.2	2.6 x 5.2
106.2	Min. Length Parallel parking	6.7	6.7
107 (Table 107.d)	Min. Requires Aisle Width	6.0	6.1
BARRIER FREE PARKING			
Traffic and Parking bylaw Section 111	Min. Barrier Free Parking **	4	4
BICYCLE STORAGE			
111	Min. width of Private Way / Parking Aisle (m)	Width: 0.6m	0.6
111b	Min. Bicycle parking space dimension, horizontal (m)	Length: 1.8m	1.8
111A(b)	Min. Bicycle parking space access aisle width (m)	1.5	1.5
111A(b)	Min. Bicycle parking 0.5 spaces/unit	234	234
LANDSCAPE AREA SURROUNDING PARKING LOT			
110.a	Abutting a Street (m)	3	>8m
110.b	Not Abutting a street (m)	3	>25m
110.1.b	Min. % of parking lot landscape	15%	15.83%
110	REFUSE COLLECTION AREAS		
110.3b	Min. Waste collection setback to lot line	3	>29m
110.3.c/d	Opaque Screen Min. Height (m)	2	2**

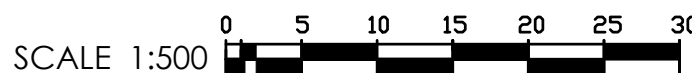
** Per the 2014 Guide to the Integrated Accessibility Standards Regulation - Design of Public Spaces Standard, 4% of parking spaces provided for public use must be accessible, 4 of the provided 87 visitor spaces have been designed to be barrier-free, two Type A, and two Type B seats.

*** Section 1103(d) where an in-ground refuse container is provide, the screening requirement of Section 33(c) above may be achieved with soft landscaping (Bylaw 502-099)

**** Paved area includes 50% of the area required for bicycle parking spaces (234 x 1.17 sqm = 126.25 m²)

GARBAGE:
REQUESTED BY TOWNING: PH 4
GARBAGE: 0.231 CUBIC YARD / UNIT 0.231 X 468 = 108.108 CUBIC YARD (17 BINS)
RECYCLING 0.062 CUBIC YARD / UNIT 0.018 X 468 = 8.42 CUBIC YARDS (2 BIN)
+ 0.062 CUBIC YARD / UNIT 0.062 X 468 = 29.01 CUBIC YARDS (5 BINS)
ORGANIC 240L PER 50 UNITS 240 L X 9.36 = 2246.4 L (1 BIN)

SITE PLAN NOTES
1. DO NOT SCALE DRAWINGS FOR PRINT.
2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF Q4 ARCHITECTS AND CAIVAN. COPYRIGHT RESERVED.
3. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
4. REFERENCE CITY OF OTTAWA T.W.S.I. DETAIL SC7.3
5. WHERE THE CLEAR WIDTH OF WALKWAY IS LESS THAN 1800 MM, PROVIDE A PASSING AREA, 1800 MM WIDE BY 1800 MM LONG (MINIMUM) AT INTERVALS OF 30 METRES OR LESS AS PER CITY OF OTTAWA ACCESSIBILITY DESIGN STANDARDS 3.3.2- EXTERIOR PATHS OF TRAVEL - CLEAR WIDTH



Q4A

ARCHITECTS

Q4 ARCHITECTS INC.

4110 YONGE STREET
Suite 602, Toronto ON.
M2P 2B7

T. 416.322.6334
F. 416.322.7294
E. info@q4architects.com

The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work.

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ONTARIO ASSOCIATION OF ARCHITECTS
CORALIA TARACIUK
LICENSEE
6623
2025-07-18

LEGEND	
	STACKED TOWNS
	ENTRANCE
	BALCONY
	PORCH
	PROJECTION (STAIRS)
	PAVERS
	LIGHT DUTY ASPHALT PAVING
	CROSSWALK
	CURBS (0.2m)
	DEPRESSED CURB
	TACTILE WALKING SURFACE INDICATOR (NOTE 4)
	BLOCK BOUNDARY
	WASTE ENCLOSURE FENCE
	WOOD PRIVACY FENCE
	NO PARKING
	BARRIER FREE PARKING
	BARRIER FREE PARKING SIGNAGE
	VISITOR PARKING
	BIKE RACKS
	EARTH BIN (6.5 yd.)
	HYDRO TRANSFORMER
	LIGHT POLE
	SNOW STORAGE AREA
	LANDSCAPED AREA
	MEDIUM DECIDUOUS TREE*
	SMALL DECIDUOUS TREE*
	DECIDUOUS SHRUB*
	CONIFEROUS SHRUB*
	GRASSES/PERENNIALS*

DIMENSIONS FROM I.D. BARNES \MP\PLAN NUMBER 4M-1429 DATED 11/07/2023

*TREES AND SHRUB LOCATIONS TO BE CONFIRMED ON LANDSCAPE PLAN

Issued / Revision Chart

Project Title
ORLEANS VILLAGE PHASE 4 - STACKED TOWNS

Location **245 & 275 Lamarche Avenue, OTTAWA, ON.**

Site Plan File: D07-12-24-0103
Eng. File: 19046
ZBLA File: D02-02-24-0049

Legal Name **CITY OF OTTAWA**

Client **CAIVAN**
(Orleans Village 2) Ltd.

Project No.

Scale **1:500**

Drawn By **CT**

Checked By **CT**

OVERALL SITE PLAN

APPROVED
By sevignyjo at 12:19 pm, Sep 11, 2025

SP1

INNES ROAD

COURS CREVIER WALK

