

SIGNAGE LEGEND:

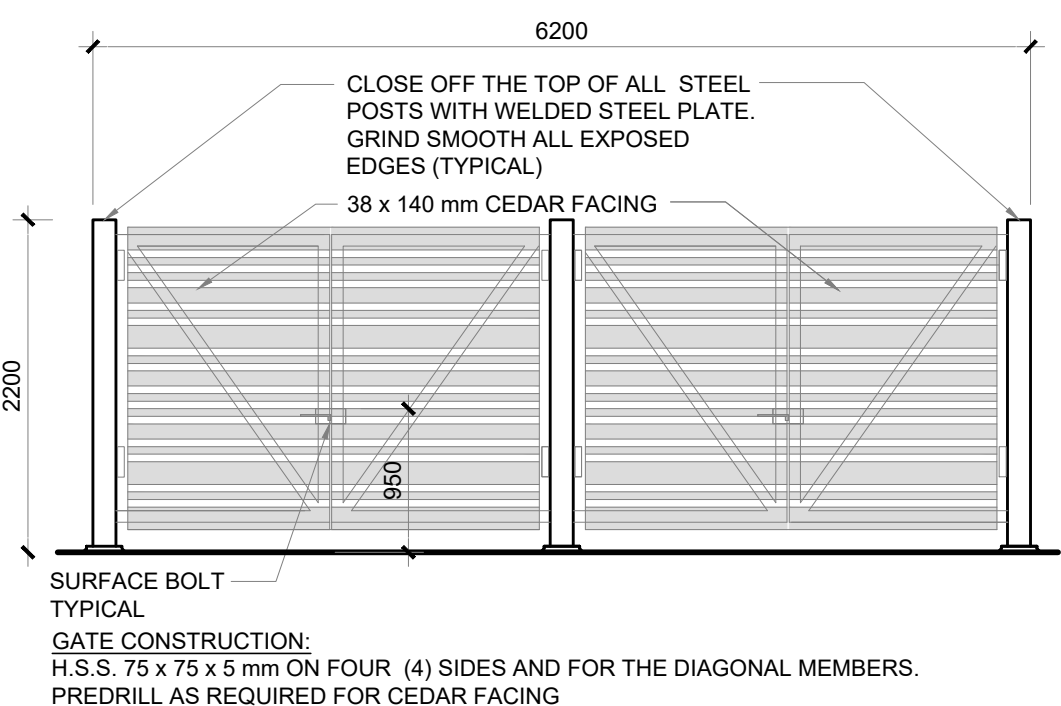
- NO TRESPASSING
- FIRE ROUTE
- BARRIER FREE PARKING
- VISITOR PARKING
- TEMPORARY PARKING
- STOP SIGN
- ONE WAY

LEGEND:

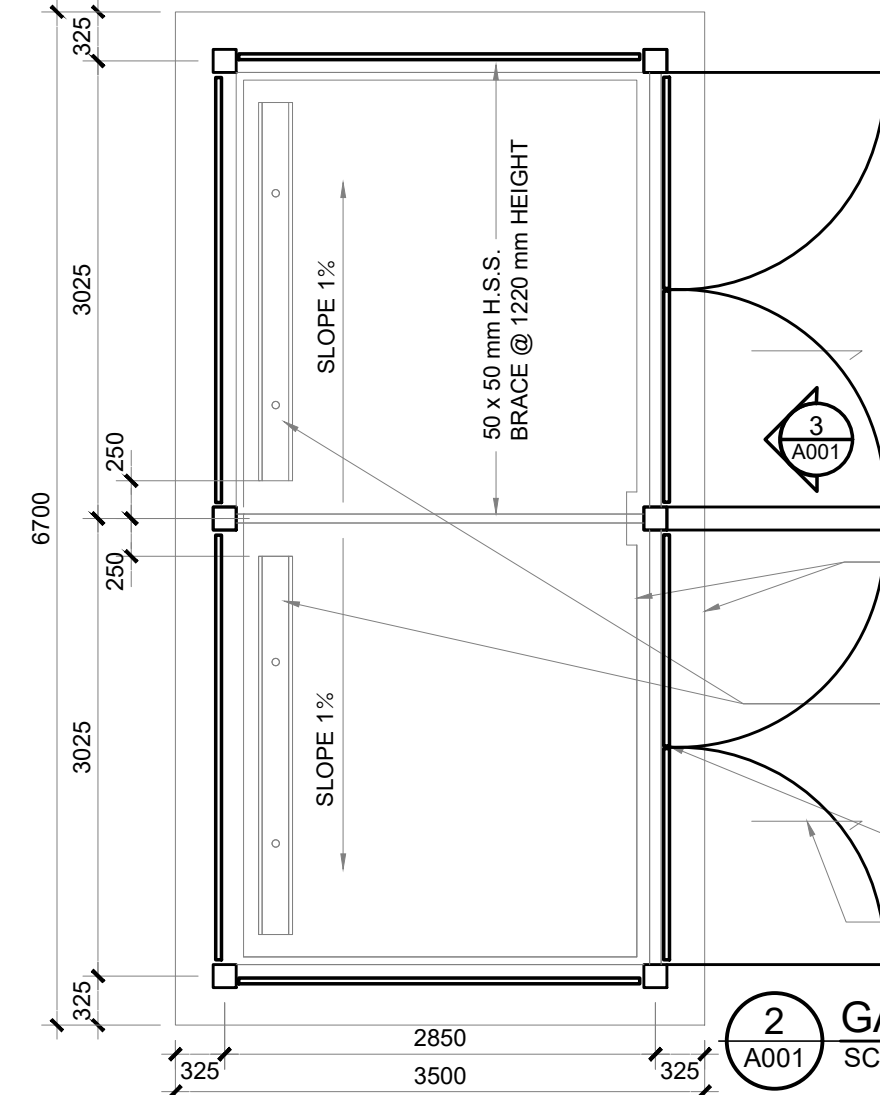
- EXHYD
- HYD
- FP
- HP
- LP
- CB
- MH
- HP

- EXISTING FIRE HYDRANT
- FIRE HYDRANT
- FLAG POLE
- HYDRO POLE
- LIGHT POLE - SEE ELECTRICAL
- CATCH BASIN - SEE CIVIL
- MANHOLE - SEE CIVIL
- BUILDING ENTRANCE/EXIT
- OVERHEAD DRIVE-IN DOOR
- HYDRO POLE

- PROPERTY LINE
- YARD SET BACK
- NEW CHAIN LINK FENCE
- 6m WIDE FIRE ROUTE AND HIGH DENSITY ASPHALT REFER TO CIVIL
- SOFT LANDSCAPE AREA FOR SPECIFIC FEATURES REFER TO LANDSCAPE DRAWINGS
- EXISTING CONCRETE SURFACE
- NEW CONCRETE SURFACE
- PAVERS



3 GARBAGE ENCLOSURE ELEVATION
SCALE 1:50



- NOTE: ALL STEEL TO BE SHOP PRIMED WITH TWO (2) COATS ZINC RICH PRIMER AND PAINTED WITH TWO (2) COATS OF EXTERIOR ENAMEL PAINT. ALL WOOD TO BE CEDAR.
- SLAB CONSTRUCTION: 2440 mm LONG ANCHOR TO SLAB WITH DOWELS
- PRECAST CONCRETE CURBS
- PROVIDE AT BOTH GATES VERTICAL BOLT GUIDES TO ENGAGE INTO GATE HASP
- SLOPED CONCRETE SLAB

2 GARBAGE ENCLOSURE PLAN
SCALE 1:50

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:

SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 4 CONCESSION 1, CITY OF OTTAWA, PREPARED BY STANTEC GEOMATICS LTD. DATED APRIL 22, 2014.

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION IP13 - BUSINESS PARK INDUSTRIAL ZONE AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

PROPERTY IDENTIFICATION NUMBER (PIN): 045080122

BUILDING CLASSIFICATION

THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY

GROUP A, DIVISION 2, SPRINKLERED (3.2.2.24)

BUILDING STATISTICS

EXISTING BUILDING FOOTPRINT = 4,721m² / 50,817ft²
NEW BUILDING ADDITION FOOTPRINT = 1,243m² / 13,380ft²
TOTAL BUILDING FOOTPRINT = 5,964m² / 64,196ft²

EXISTING GROSS FLOOR AREA = 5,562m² / 59,869ft²
ADDITION GROSS FLOOR AREA = 1,243m² / 13,380ft²
TOTAL GROSS FLOOR AREA = 6,805m² / 73,249ft²

NUMBER OF STOREYS = 2

THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
NUMBER OF ACCESS ROUTES PROVIDED = 1

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

FLOOR ASSEMBLES ARE FIRE SEPARATIONS - FIRE-RESISTANCE RATINGS 1 HR MIN.

EXISTING PARKING REQUIREMENTS

REQUIRED: 139 + 3 B/F SPACES
PROVIDED: 178 + 4 B/F SPACES

NEW PARKING REQUIREMENTS

REQUIRED: 169 + 6 B/F SPACES
PROVIDED: 174 + 7 B/F SPACES

SITE LEGAL DESCRIPTION:

PART OF LOT 4, CONCESSION 1, HUNTLEY, BEING PARTS 1 AND 2 ON PLAN 4R-28323 SUBJECT TO AN EASEMENT IN GROSS OVER PART 12, 4R29646 AS IN OC1808653 SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, 4R29686 AS IN OC1816865 CITY OF OTTAWA

APPROVED

By Kersten Nitsche at 10:31 am, Sep 04, 2025

KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

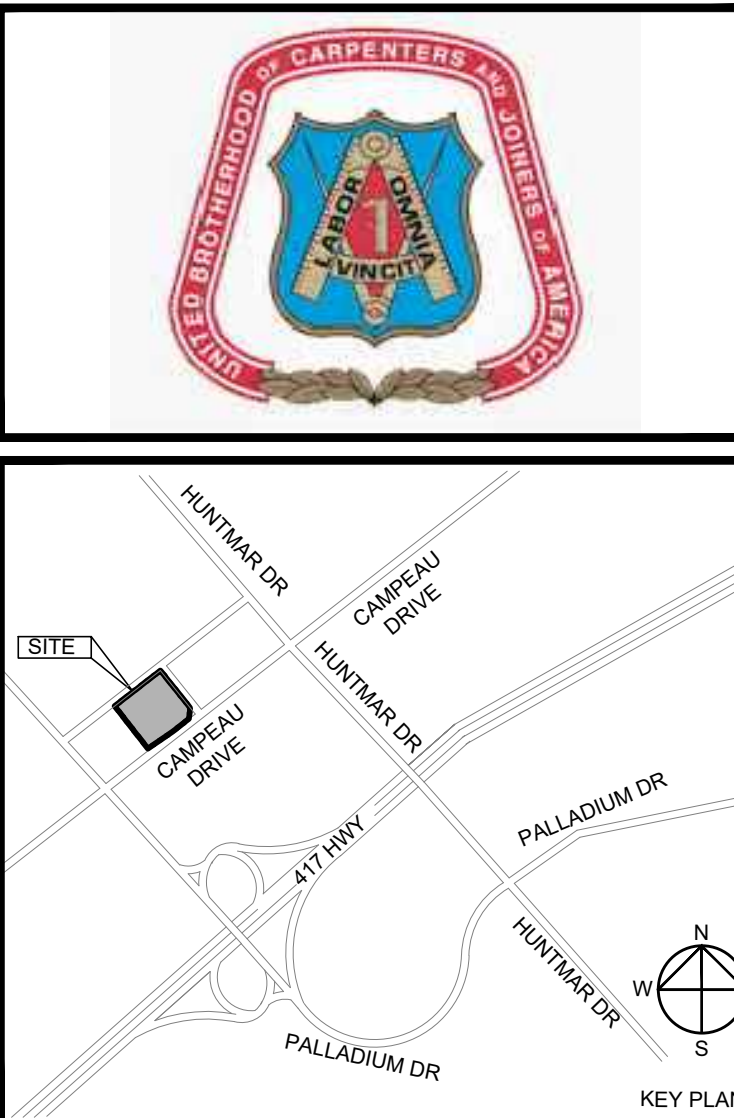
ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	REQUIRED	PROVIDED
DEFINITION	IP-13 BUSINESS PARK INDUSTRIAL ZONE	
MIN. LOT AREA	750 m ²	26,310.11 m ² (6.50 Acres)
MIN. LOT WIDTH	NO Minimum	166.34 m
MAX. LOT COVERAGE (%)	55	23
MIN. FRONT YARD SETBACK	6 m	7.87 m (JOURNEYMAN)
MIN. CORNER SIDE YARD SETBACK	6 m	35.34 m (UPPER CANADA)
MIN. INTERIOR SIDE YARD SETBACK	4 m	34.97 m (CAMPEAU DR.)
MIN. REAR YARD SETBACK	6 m	78.55 m
MAX. FLOOR SPACE INDEX	2	0.26
MAX. BUILDING HEIGHT	22.0 m	11.50 m
MIN. WIDTH OF LANDSCAPE AREA	3 m	3.72 m
PARKING LANDSCAPE BUFFER	FOR A PARKING LOT CONTAINING 100 OR MORE SPACES: ABUTTING A STREET = 3 m NOT ABUTTING A STREET = 3.72m	ABUTTING A STREET = 4.8m / 6.45m NOT ABUTTING A STREET = 3.72m

STANDARD PARKING SPACE	2.6m WIDTH x 5.2m LENGTH	
ACCESSIBLE PARKING SPACE	TYPE A: 3.4m WIDTH x 5.2m LENGTH TYPE B: 2.4m WIDTH x 5.2m LENGTH 1500mm MIN. WIDE ACCESS AISLE	
PARKING REQUIREMENTS	EXISTING BUILDING: 139 PARKING NEW TRAINING CENTRE: 30 PARKING (1243 X 2.4/ 100m ²) = 30	174 PARKING SPACES + 7 B/F SPACES
	TOTAL REQ'D = 169 PARKING SPACES	
BARRIER FREE ACCESSIBLE PARKING	AS PER OTTAWA TRAFFIC & PARKING BY-LAW 2017-301, PART "C", SECTION 112 (2), FOR A PARKING AREA WITH A CAPACITY OF 167-250 SPACES, 7 ACCESSIBLE SPACES (3 TYPE A; 4 TYPE B) ARE REQ'D	4 EXISTING ACCESSIBLE PARKING SPACES 3 NEW (2 TYPE A; 1 TYPE B)
LOADING SPACES	1 per 2,000 m ² - 4,999 m ² OF G.F.A.	4,535 m ² G.F.A. = 2 SPACE
BICYCLE PARKING RATE	EXISTING BUILDING: 7 BICYCLE SPACES REQ'D NEW TRAINING CENTRE: 1 BICYCLE SPACE REQ'D (1 PER 1500m ² OF G.F.A.) TOTAL REQ'D = 8 BICYCLE SPACES	16 BICYCLE SPACES (EXISTING)

ACCESSORY STRUCTURES (SECTION 55)		
MIN. FRONT YARD SETBACK (GAZEBO)	6 m	7.50 m (JOURNEYMAN)
MIN. CORNER SIDE YARD SETBACK (GAZEBO)	0 m	41.33 m (UPPER CANADA ST.)
MIN. REAR YARD SETBACK (GAZEBO)	0 m	73.19 m
MAX. PERMITTED HEIGHT (GAZEBO)	6 m	4.40 m
LANDSCAPING PROVISIONS FOR PARKING LOTS (SECTION 110)		
MIN. SETBACK TO A LOT LINE ABUTTING A STREET (GARBAGE ENCLOSURE)	9 m	18.72 m (UPPER CANADA ST.)
MIN. SETBACK FROM ANY OTHER LOT LINE (GARBAGE ENCLOSURE)	3 m	50.28 m



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LANDSCAPE ARCHITECT:

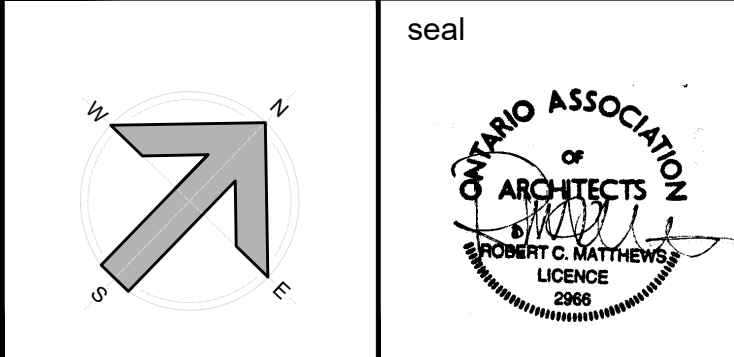
Ruhland & Associates Ltd
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CARPENTER'S UNION LOCAL 93 - RENOVATION

8560 CAMPEAU DRIVE
OTTAWA, ONTARIO K2T 0N7



drawing title

SITE PLAN

scale	drawn by	HW
date	checked by	RM
2025-07-15		
project number	drawing number	
23-790	A001	
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.		revision
DO NOT SCALE DRAWINGS		

KEYNOTES

- 302 ROOF TOP UNIT - REFER TO MECHANICAL.
305 ROOF OVERFLOW SCUPPER. REFER TO SPECIFICATIONS.
306 PREFINISHED METAL CAP FLASHING COMPLETE WITH DRIP EDGE.
307 AREA FOR FUTURE SIGNAGE. PROVIDE BACKUP PLYWOOD.
401 RELOCATED EXISTING WALL-MOUNTED EXTERIOR LIGHTING. CENTER ABOVE DOORS WHERE APPLICABLE. REFER TO ELECTRICAL DRAWINGS.
402 NEW EXTERIOR WALL-MOUNTED LIGHTING TO MATCH EXISTING. CENTER ABOVE DOORS WHERE APPLICABLE. REFER TO ELECTRICAL DRAWINGS.
403 50mm EXPANSION JOINT. REFER TO STRUCTURAL DRAWINGS.
404 152mm DIA. 1219mm TALL CONCRETE-FILLED STEEL TUBE BOLLARD WITH SAFETY YELLOW PLASTIC COVER, TYP.
405 EXTERNAL GRADE VARIES - REFER TO CIVIL DRAWINGS.
410 EXISTING BUILDING (PRECAST CONCRETE WALL).
411 ALUMINUM COMPOSITE PANEL (BLACK) FRAMING OVERHEAD DOOR OPENING.

CLADDING LEGEND

- P1 WOOD VENEER HIGH PRESSURE LAMINATE PANEL
P2 HIGH PRESSURE LAMINATE PANEL - GREY

GLAZING TYPES

- NOTES:
1. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
2. FIELD VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION

EXTERIOR GLAZING

INSULATED GLASS UNITS:

GL-01 - 25mm SOLAR GRAY IGU - ALL GLAZING U.N.O.

GL-02 - 25mm CLEAR IGU

GL-03 - SOLERA "T" INSULATED GLASS DAYLIGHTING UNIT

SP-01 - INSULATED SPANDREL PANEL WITH BACKPAN

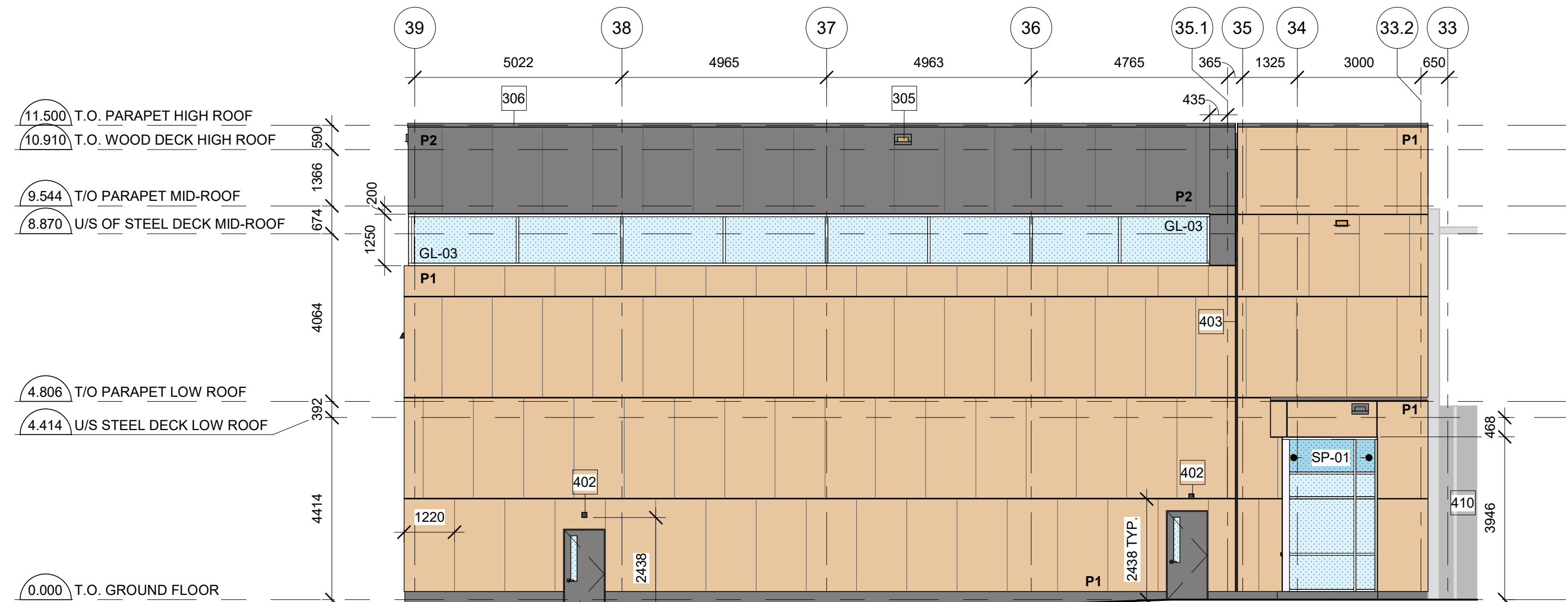
NOTE: PROVIDE CERAMIC BIRD FRIT DOT PATTERN COMPLYING WITH BIRD SAFE DESIGN GUIDELINES ON EXTERIOR SURFACE OF ALL EXTERIOR GLAZING.

APPROVED

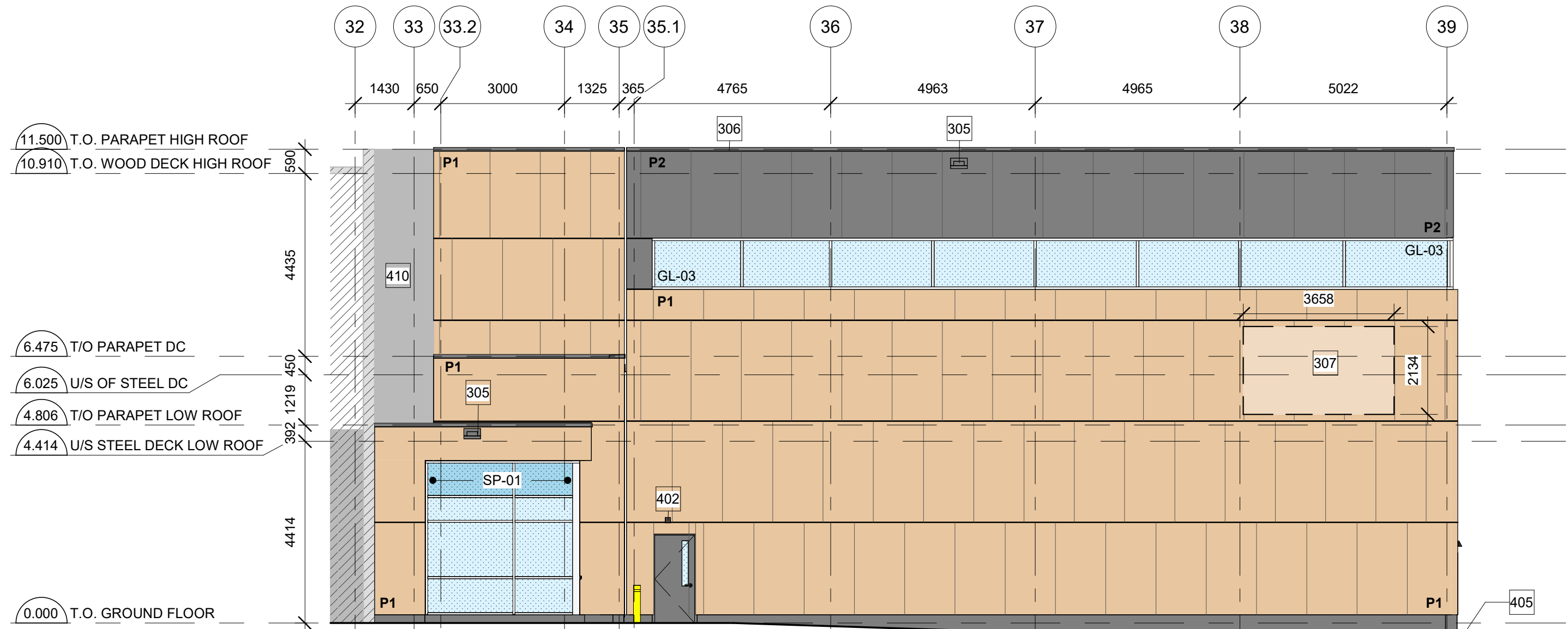
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Kersten Nitsche

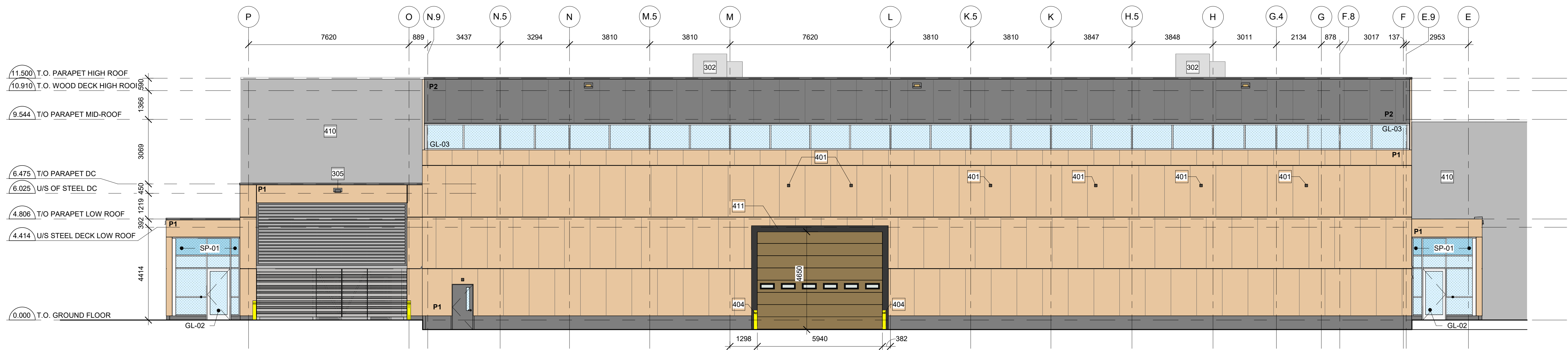
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3 WEST ELEVATION
A201 1:100



2 EAST ELEVATION
A201 1:100



1 NORTH ELEVATION
A201 1:100



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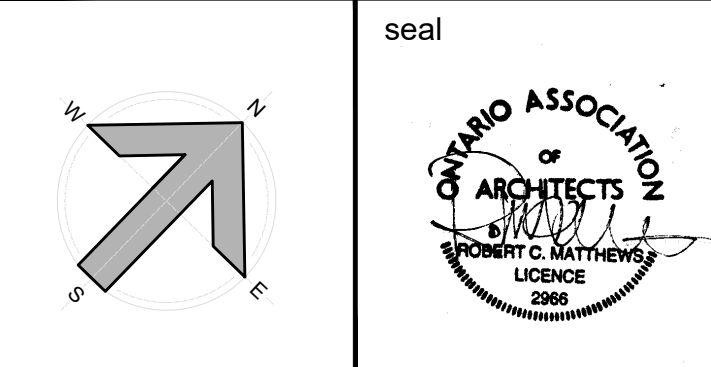
03	REISSUED FOR SITE PLAN CONTROL	2025-07-15
02	REISSUED FOR SITE PLAN CONTROL	2025-04-16
01	ISSUED FOR SITE PLAN CONTROL	2025-02-21
no.	revision	date

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