

1 PROPOSED LANDSCAPE PLAN  
Scale: 1:400

- LEGEND**
- PROPOSED LANDSCAPE ADDITION CONCRETE PAVEMENT / WALKWAY
  - PEASTONE
  - SEED
  - SOD
  - PAVERS
  - CHAIN LINK FENCE
  - PERENNIALS
  - PROPOSED / TRANSPLANTED TREES
  - PROPOSED / TRANSPLANTED SHRUBS
  - EXISTING TREES
  - EXISTING SHRUBS
  - STREET TREES

REFER TO CIVIL FOR DRAINAGE AND SWALE CONNECTIONS

TREE CANOPY COVERAGE		
TOTAL CANOPY AREA	5939 m <sup>2</sup>	
TOTAL SITE AREA	26310 m <sup>2</sup>	
PERCENT COVERAGE	23%	

Plant List					
Origin	ID	Qty	Botanical Name	Common Name	Sched. Size Remarks
Trees to be transplanted					
Ntv	tCo	1	Celtis occidentalis	Common Hackberry	60mm caliper WB, Staked
Non N	tPp	1	Picea pungens	Colorado Spruce	200cm ht WB, Staked
Shrubs to be transplanted					
Non N	CaE	9	Cornus alba 'Elegantissima'	Silverleaf Dogwood	50cm ht 1.0m o.c.
Ntv	JhBC	12	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	50cm spd 1.1m o.c.
Non N	Md	23	Microbiota decussata	Russian Cypress	50cm spd 0.9m o.c.
Ntv H	PoDG	8	Physocarpus opulifolius 'Darts Gold'	Darts Gold Ninebark	40cm ht Potted
Ntv	Ra	6	Rhus aromatica	Fragrant Sumac	50cm ht Potted
Ntv H	ToH	7	Thuja occidentalis 'Holmstrup'	Holmstrup Eastern Arborvitae	150 cm ht Potted
Ntv	Vd	7	Viburnum dentatum	Arrowwood	80cm ht Bare root
Proposed new trees					
Ntv H	Ar'AS'	2	Acer rubrum 'Autumn Spire'	Red Maple	70mm caliper WB, Staked
Ntv	As	3	Acer saccharum	Sugar Maple	60mm caliper WB, Staked
Ntv H	CcgC	2	Crataegus crus-galli inermis 'Cruzam'	Thornless Crusader Cockspear Hawthorn	45mm caliper WB, Staked
Ntv H	GtS	4	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	60mm caliper WB, Staked
Non N	MM	1	Malus x Makamik	Makamik Crabapple	50mm cal. B&B / WB
Ntv	Ov	3	Ostrya virginiana	Ironwood	50mm caliper WB, Staked
Ntv	Qr	2	Quercus rubra	Red Oak	60mm caliper WB, Staked
Additional Plants					
Ntv H	PoDG	7	Physocarpus opulifolius 'Darts Gold'	Darts Gold Ninebark	40cm ht Potted
Ntv	PvHM	20	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 year Potted
Ntv H	ToF	5	Thuja occidentalis 'Fastigiata'	Fastigiata Eastern Arborvitae	175cm ht specimen
Ntv	Vd	3	Viburnum dentatum	Arrowwood	80cm ht Bare root
NOTE - PLANTS THAT CANNOT BE TRANSPLANTED ARE TO BE REPLACED WITH THE SAME SPECIES AND CULTIVAR. ASSUME ALL PLANT MATERIAL INDICATED FOR TRANSPLANT CAN BE TRANSPLANTED.					

Perennials					
Origin	ID	Qty	Botanical Name	Common Name	Sched. Size Spacing
Existing perennials for transplanting					
Non N	PvB	103	Hemerocallis (mid height - purples)	Daylily varieties	150cm Pot 50cm o.c.
Non N	PvC	81	Hosta ('Honey Bells', 'Blue Angel')	Hosta varieties	150cm Pot 45cm o.c.
Non N	PvD	22	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	150cm Pot 60cm o.c.
Ntv H	GtS	41	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	150cm Pot 75cm o.c.
Ntv	PvF	43	Chasmanthium latifolium	Northern Sea Oats	150cm Pot 60cm o.c.
290					

CONTRACTOR TO ASSUME HALF OF PERENNIALS FOR TRANSPLANTING ARE VIABLE

Total perennials required for new layout					
	P.var	192	Perennial variety Sun-Shade		

Proposed perennials					
Make up perennial quantities as required with the following, in proportion as indicated					
Ntv H	PvE	15%	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	150cm Pot 75cm o.c.
Ntv	PvF	15%	Chasmanthium latifolium	Northern Sea Oats	150cm Pot 60cm o.c.
Ntv	Ep	25%	Echinacea purpurea	Purple coneflower	150cm Pot 50cm o.c.
Ntv	Rh	35%	Rudbeckia hirta	Black-eyed Susan	150cm Pot 45cm o.c.
Ntv	Ms	10%	Matteuccia struthiopteris	Ostrich fern	150cm Pot 60cm o.c.

ALL AREAS DISTURBED OUTSIDE THE PARKING LOT TO BE REINSTATED WITH TOP SOIL AND SEED TO MATCH EXISTING GRADE  
ALL AREAS DISTURBED ADJACENT TO BUILDING TO BE REINSTATED WITH TOPSOIL AND SOD TO MATCH FINAL GRADE



Soil Volume Area, Tree Quantity and Size	Tree Quantity	OTTAWA Target Soil Volume (m <sup>3</sup> )	Design Soil Volume	Soil Adequacy percentage	Contractor soil requirement
AREA A - 9 large trees, 1 medium tree, 2 large existing trees, 1 medium existing tree					
plant bed (700 sq m x 0.4m ave deep)	13	228.0	280.0	123%	Refer to detail 3 L-06
AREA B - 3 large trees, 2 medium trees					
plant bed (210 sq m x 0.4m ave deep)	5	84.0	84.0	100%	Refer to detail 3 L-06
AREA C - 1 medium tree, 1 small tree					
plant bed (70 sq m x 0.4m ave deep)	2	27.0	28.0	104%	Refer to notes below
AREA D - 1 small tree					
plant bed (50 sq m x 0.4m ave deep)	1	20.0	20.0	100%	Refer to notes below
AREA E - 3 large trees, 3 conifers, 1 small tree					
plant bed (300 sq m x 0.4m ave deep)	7	111.0	120.0	108%	Refer to detail 3 L-06

\* Smaller columnar trees, small ornamental trees with growth to 8-15cm DBH, large shrubs, and columnar conifers calculated using 'How much soil to grow a big tree' by DeepRoot as a guide

**NOTE: AREAS C & D ONLY:** WITHIN SUBJECT PROPERTY: PLACE PLANTING MEDIUM (TO DEPTH INDICATED ON SOIL VOLUME CHART) AT ALL DISTURBED AREAS WHERE EXISTING SOILS ARE REMOVED, OR WHERE EXISTING SOILS ARE NOT CONDUCTIVE TO PLANT GROWTH. ADDITIONAL PLANTING MEDIUM IS NOT REQUIRED WHERE EXISTING SOIL IS PRESENT. THIS DOES NOT INCLUDE TOPSOIL REQUIRED FOR SODDING.



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- Final subgrade is to be approved by the Landscape Architect prior to sod being laid.
- Maintain positive surface runoff through the entire construction period.
- Reinstate all areas and items damaged as a result of construction activities.
- Street tree species locations and numbers were selected based on soil volume calculations in accordance with the City of Ottawa's requirements for tree planting.

	revision	date
3	Re-issued for Site Plan Control	2025-07-17
2	Re-issued for Site Plan Control	2025-04-15
1	Issued for Site Plan Control	2025-03-11

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civil engineer

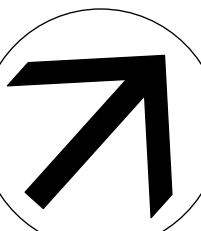
**NOVATECH** NOVATECH  
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**CARPENTERS DISTRICT COUNCIL OF ONTARIO LOCAL 93. - ADDITION**

CAMPEAU DRIVE  
OTTAWA, ON

north seal



drawing title

**LANDSCAPE PLAN**

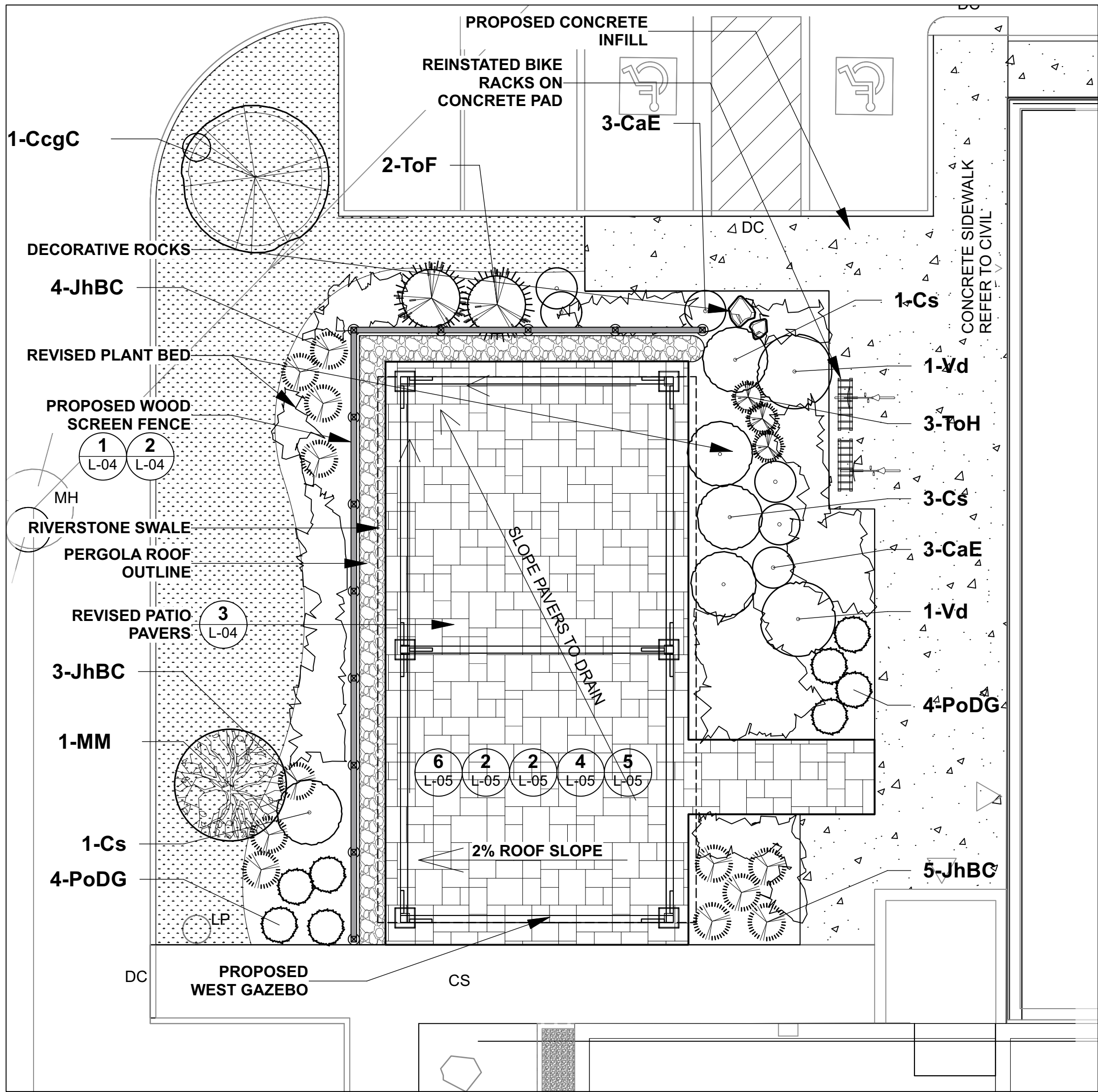
scale	drawn by
date	T. Frost / V. Odusanya
2023 06 09	checked by
	M. Ruhland
project number	drawing number
N45 23-790	
RA 23-1724	<b>L- 02</b>

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.

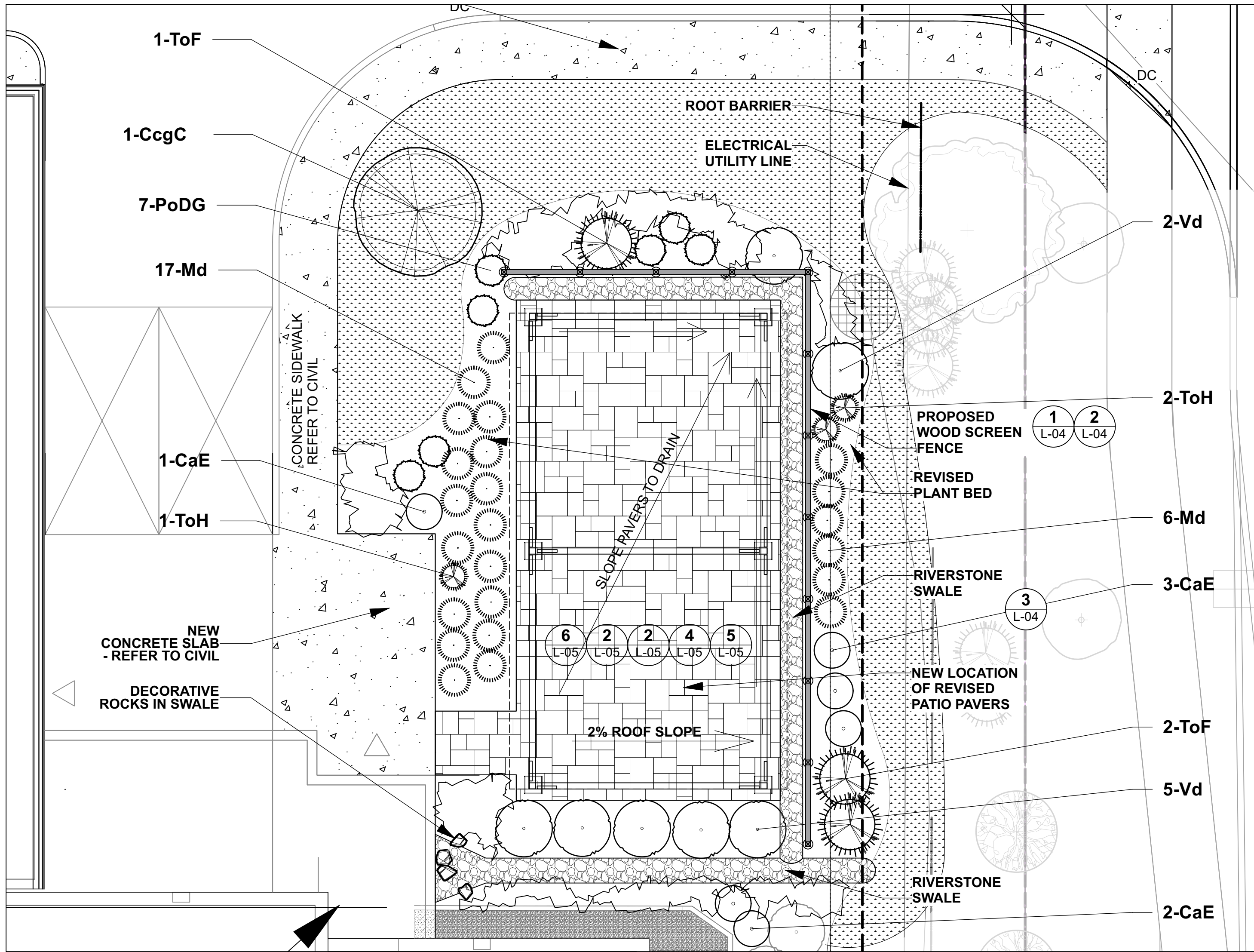
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revision

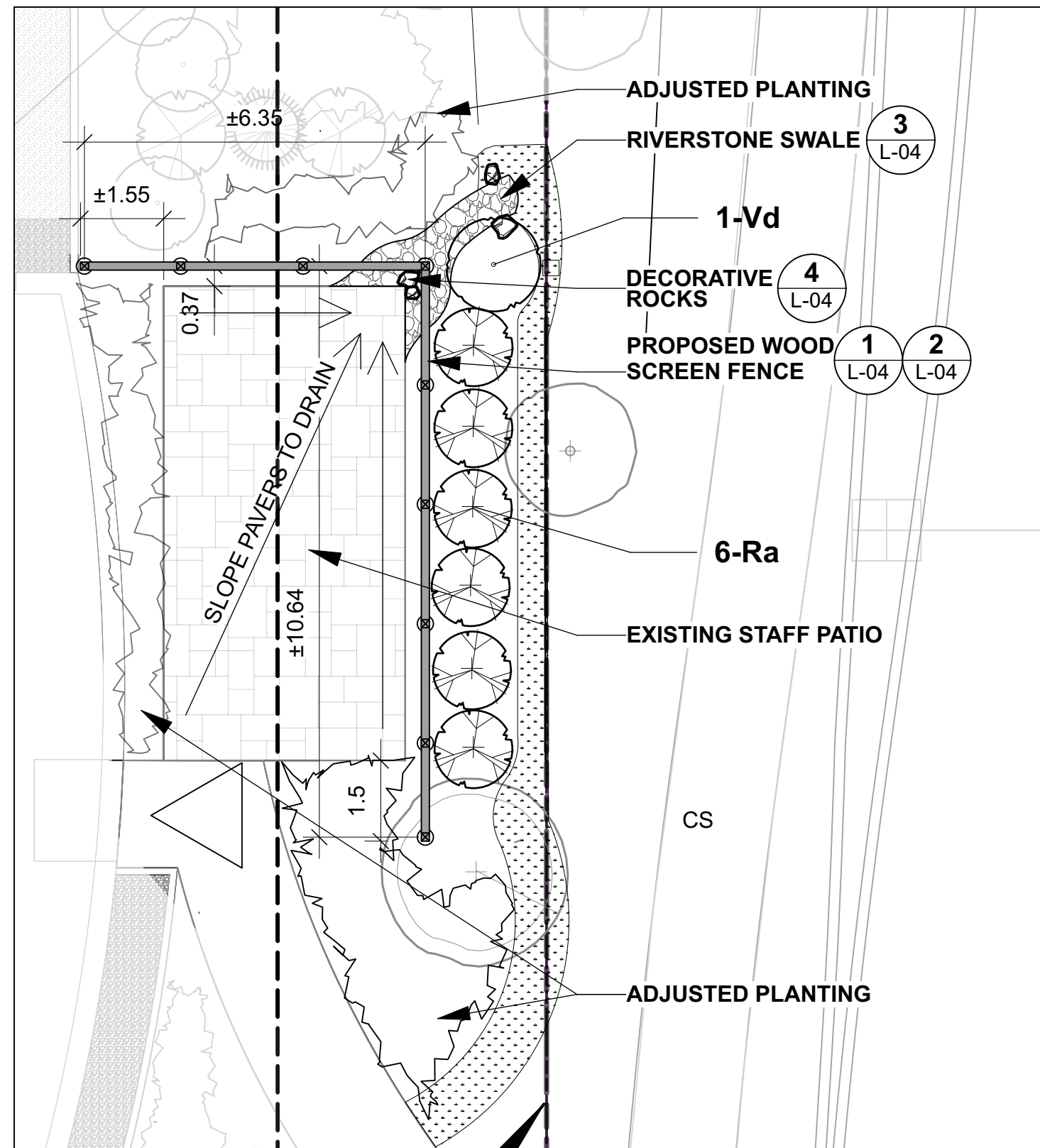




1 ENLARGEMENT - WEST PATIO  
Scale: 1:100



2 ENLARGEMENT EAST PATIO  
Scale: 1:100



3 ENLARGEMENT SOUTH PATIO  
Scale: 1:100

*Kersten Nitsche*  
**KERSTEN NITSCHKE, MCIP RPP**  
MANAGER (A), DEVELOPMENT REVIEW WEST  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Kersten Nitsche at 10:30 am, Sep 04, 2025

REFER TO CIVIL FOR DRAINAGE  
AND SWALE CONNECTIONS



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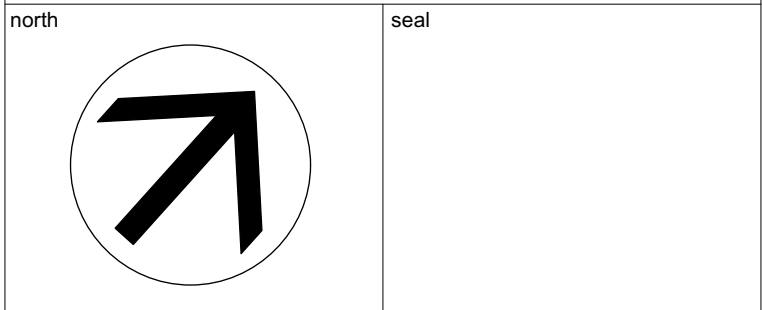
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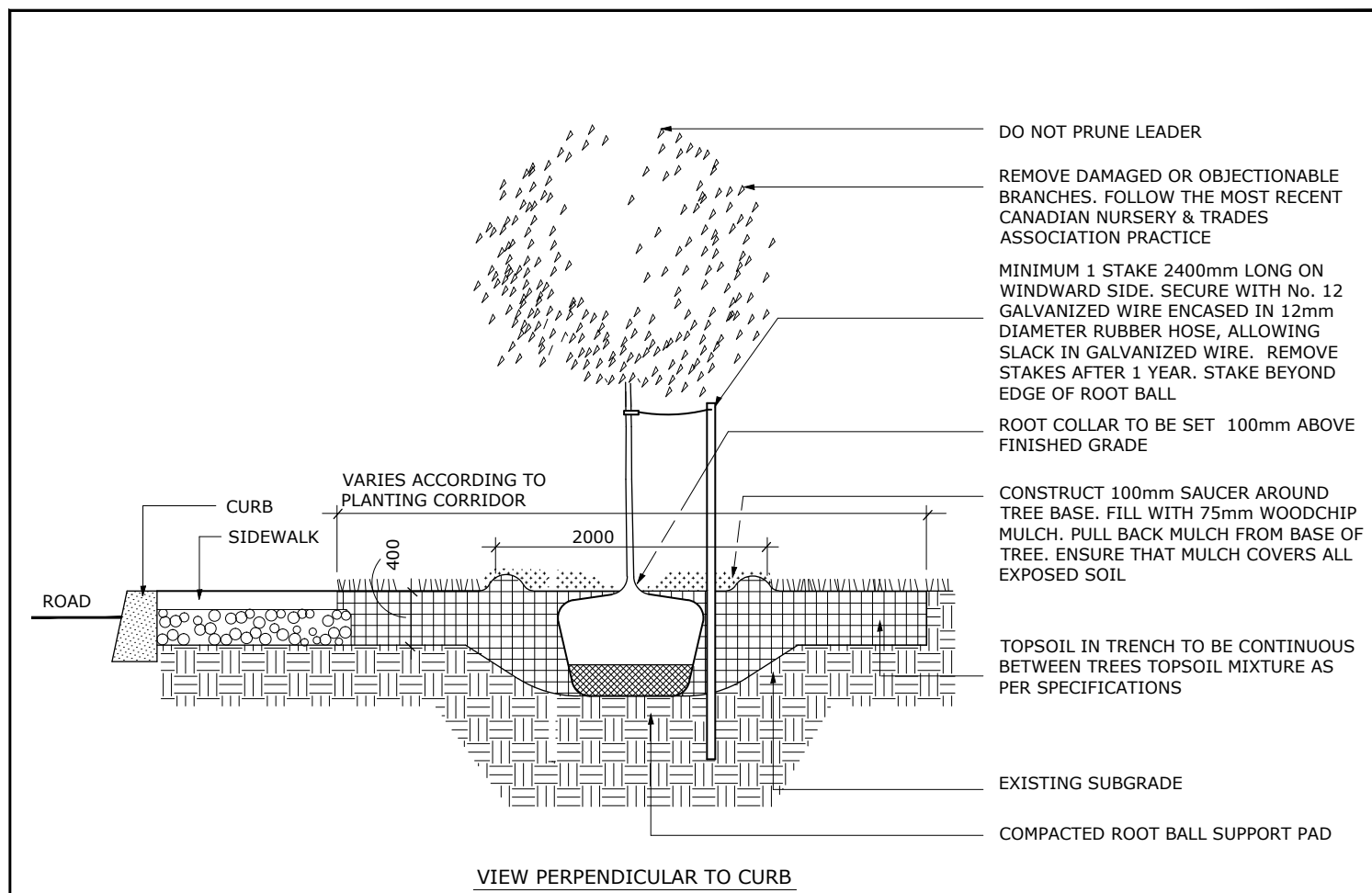
**CARPENTERS DISTRICT COUNCIL  
OF ONTARIO LOCAL 93. -  
ADDITION**

CAMPEAU DRIVE  
OTTAWA, ON



drawing title	
<b>PLAN ENLARGEMENTS</b>	
scale	drawn by T. Frost / V. Odusanya
date	checked by 2023 06 09 M. Ruhland
project number	drawing number N45 23-790
RA 23-1724	<b>L- 03</b>
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.	
DO NOT SCALE DRAWINGS	
revision	





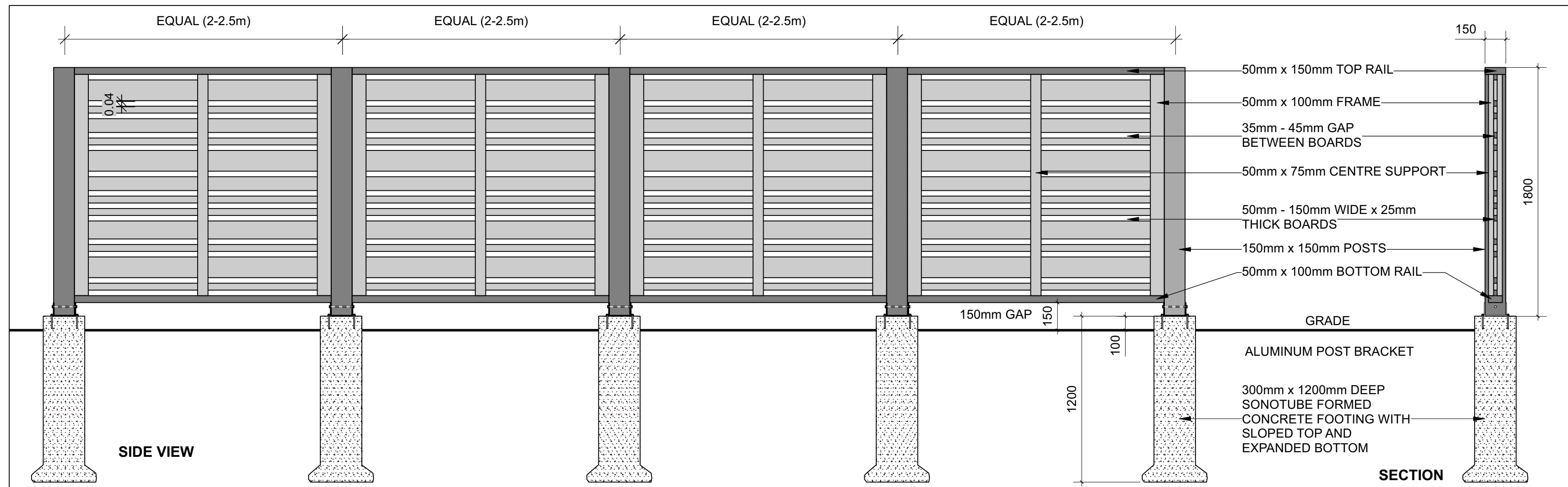
#### NOTES:

1. ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED
2. CUT AND REMOVE BURLAP AND WIRE BASKET FROM TOP 2/3 OF ROOT BALL WITHOUT DISTURBING ROOTS
3. LOCATION AS SPECIFIED ON THE CONTRACT DRAWINGS



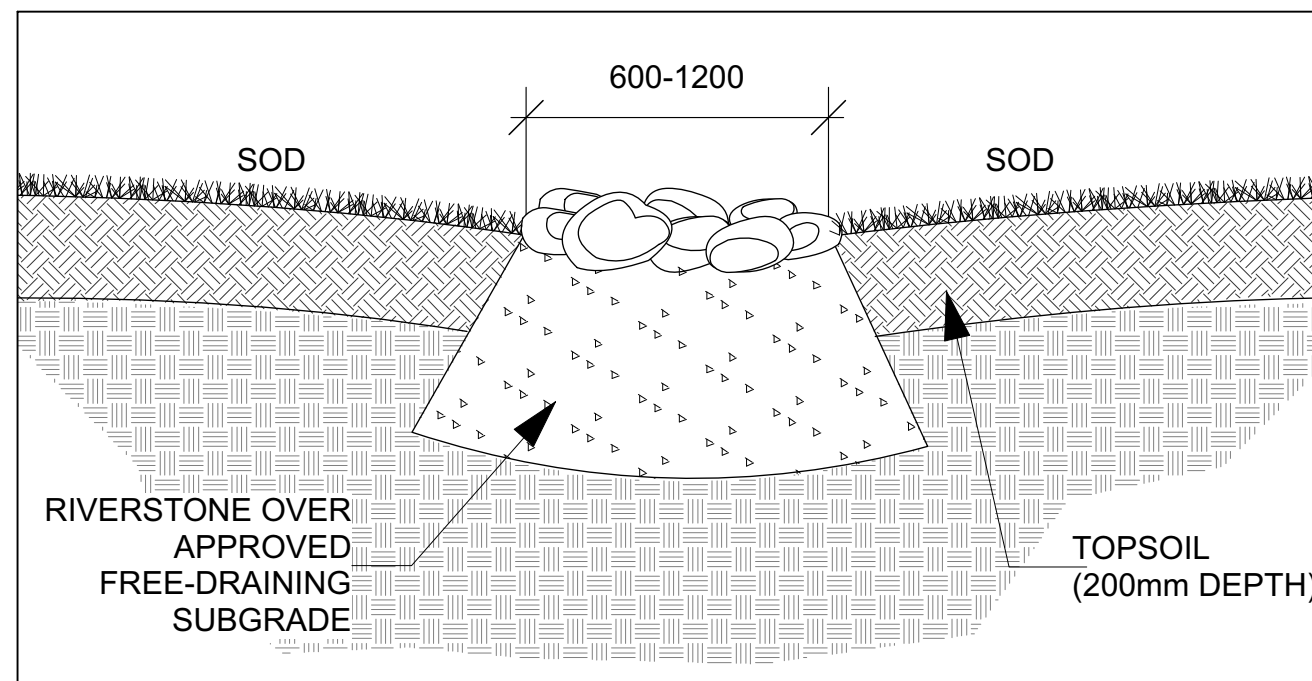
TITLE: **PLANTING TRENCH WELL DRAINED SOILS**

DATE: MAY 2001  
REV: JAN 2017  
DWG No: L1



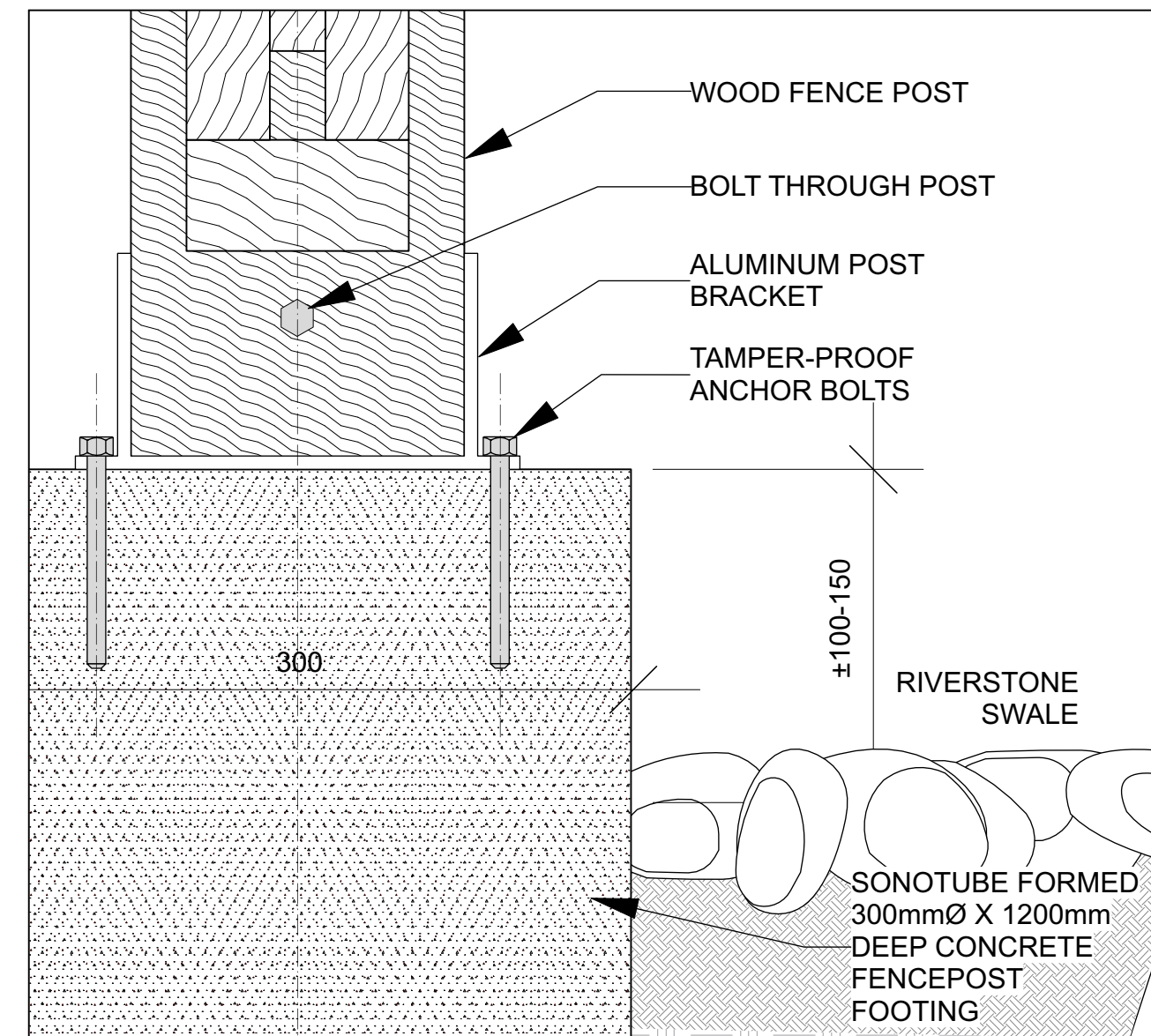
#### 1 CEDAR SCREEN FENCE WITH CONCRETE FOOTINGS

Scale: NTS



#### 2 SWALE SECTION

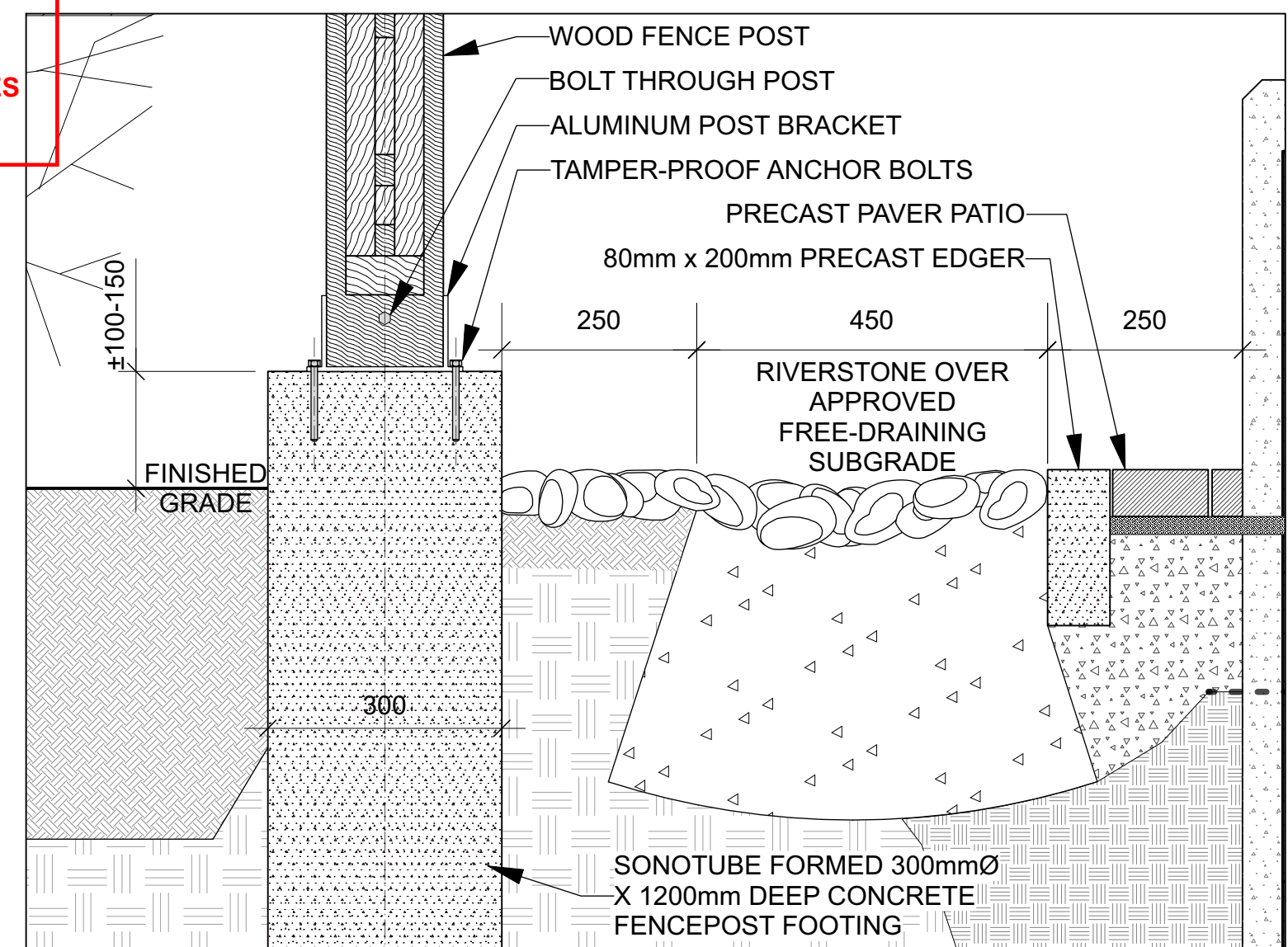
Scale: NTS



#### 3 FENCE POST BASE

Scale: NTS

SHOWN FOR DESIGN PURPOSES ONLY. PROVIDE STAMPED ENGINEERED SHOP DRAWINGS INCLUDING FOOTINGS AND ANCHORAGE SYSTEM.



#### 5 SWALE SECTION AT PERGOLA

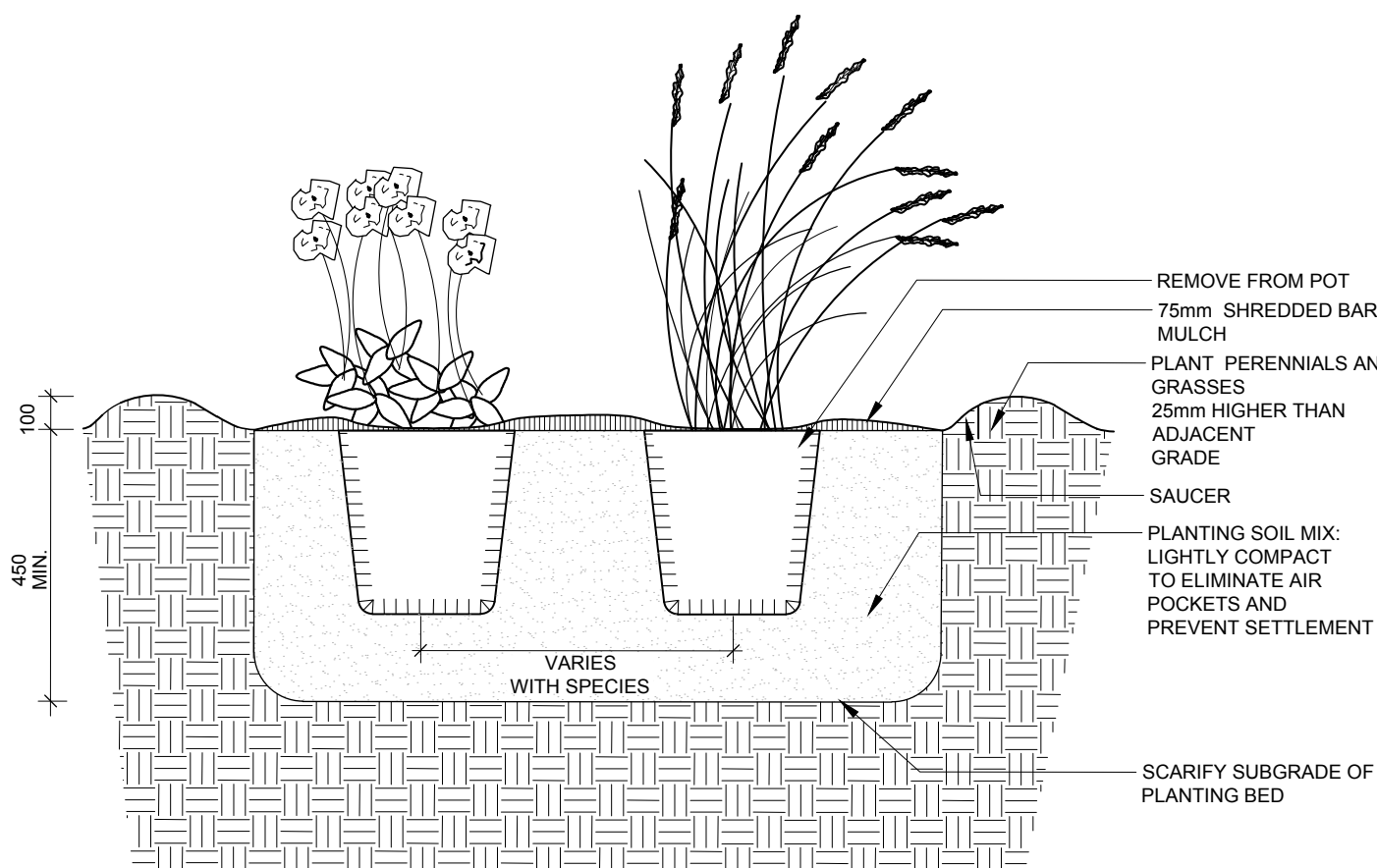
Scale: NTS

**APPROVED**

By Kersten Nitsche at 10:30 am, Sep 04, 2025

*Kersten Nitsche*

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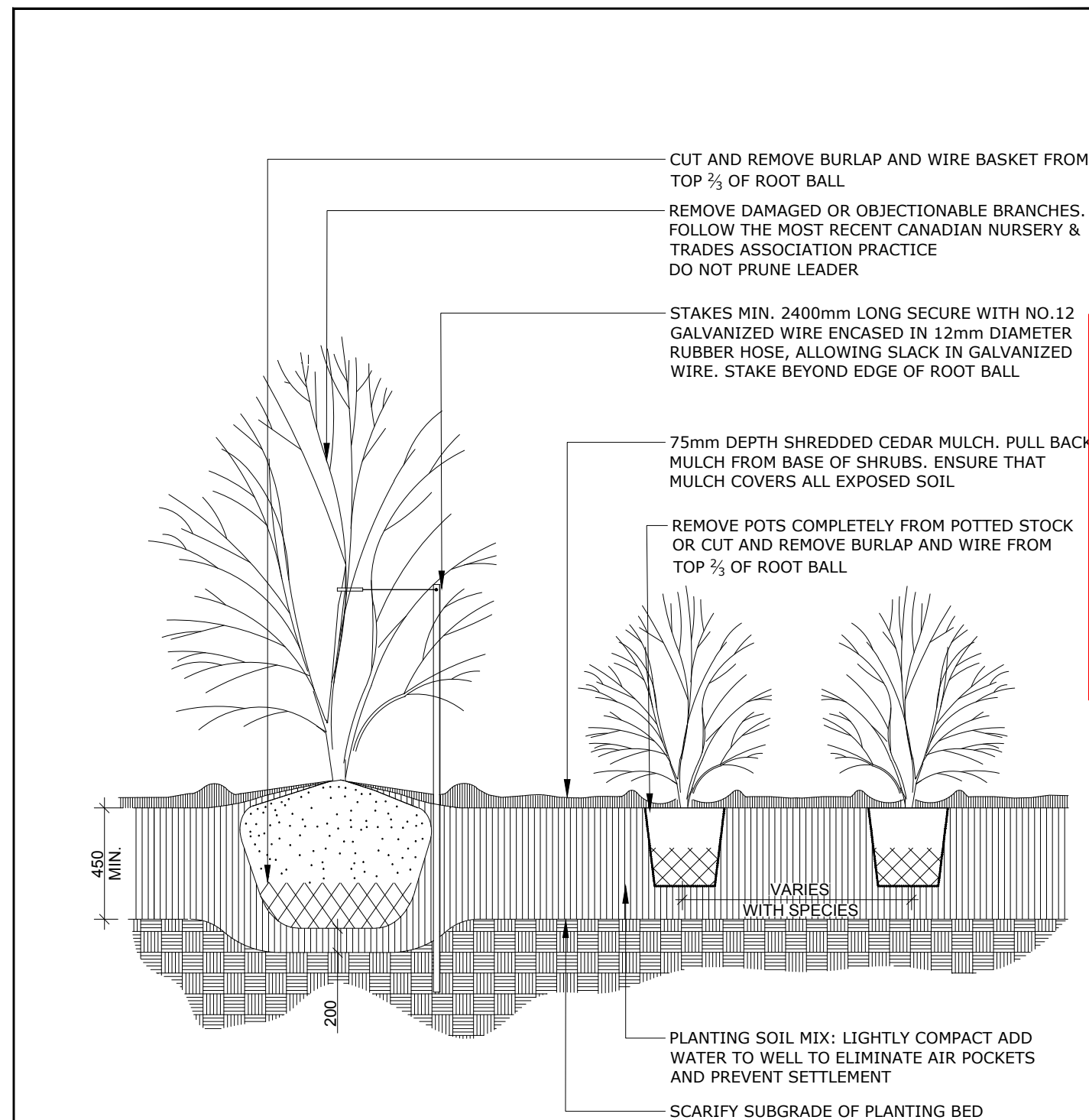
#### NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
2. PLANTING SOIL MIXTURE AS PER SPECIFICATION.
3. PROVIDE 100MM HIGH EARTH SAUCER AROUND PERENNIAL/GRASS BED.



TITLE: **PERENNIAL AND ORNAMENTAL GRASS PLANTING**

DATE: JAN 2015  
REV:  
DWG No: L21



#### NOTES:

1. PLANTING SOIL MIXTURE AS PER SPECIFICATION.
2. SHRUBS SPECIFIED BARE ROOTS (B.R.) TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE
3. PROVIDE 100 HIGH EARTH SAUCER AROUND SHRUB BED
4. STAKES TO BE REMOVED AT COMPLETION OF TWO YEAR WARRANTY PERIOD



TITLE: **CONTINUOUS SHRUB BED PLANTING**

DATE: FEB 2013  
REV: FEB 2014  
DWG No: L17



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**CARPENTERS DISTRICT COUNCIL OF ONTARIO LOCAL 93. - ADDITION**

CAMPEAU DRIVE  
OTTAWA, ON

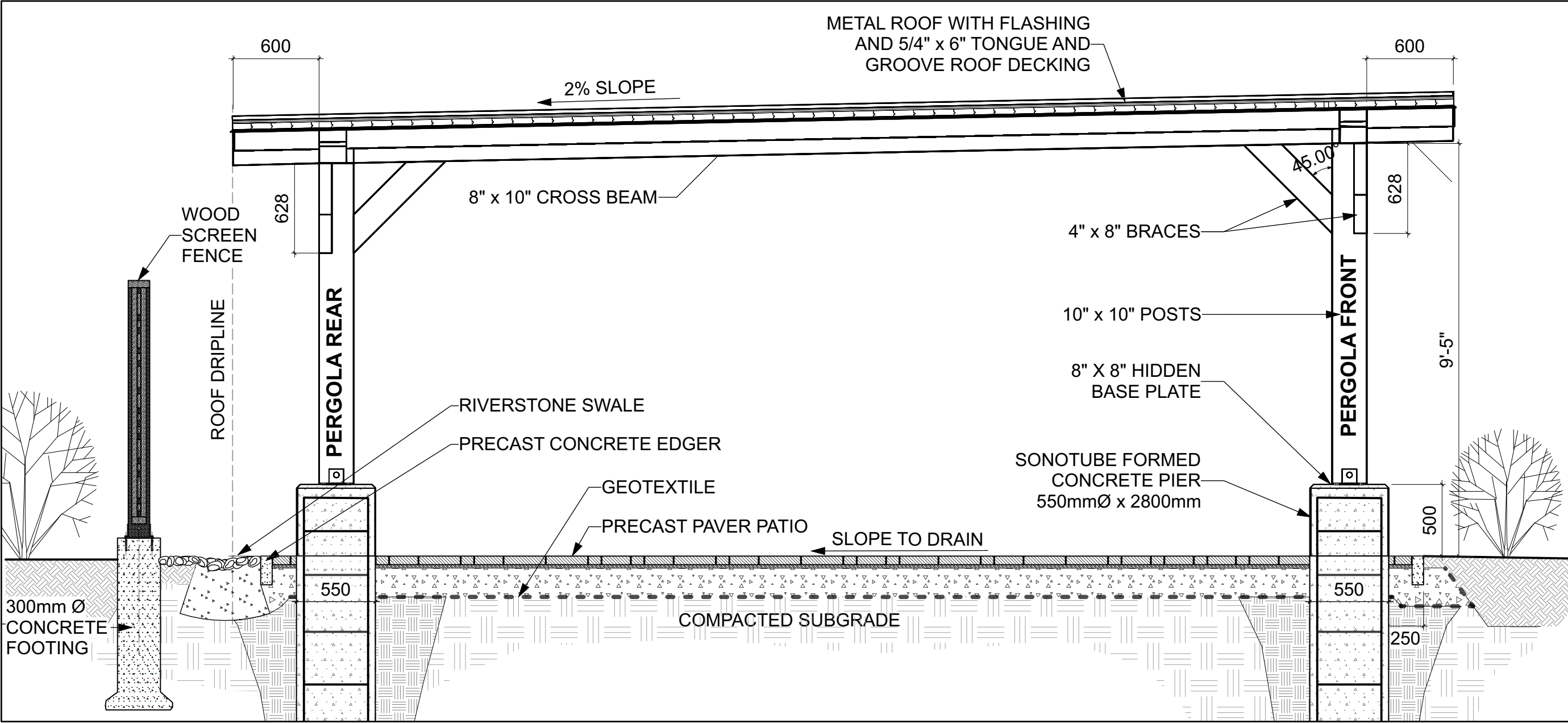
north	seal

drawing title

#### DETAILS

scale	drawn by	T. Frost / V. Odusanya
date	checked by	M. Ruhland
2023 06 09	project number	N45 23-790
RA 23-1724	drawing number	L- 04
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.		
DO NOT SCALE DRAWINGS		
revision		



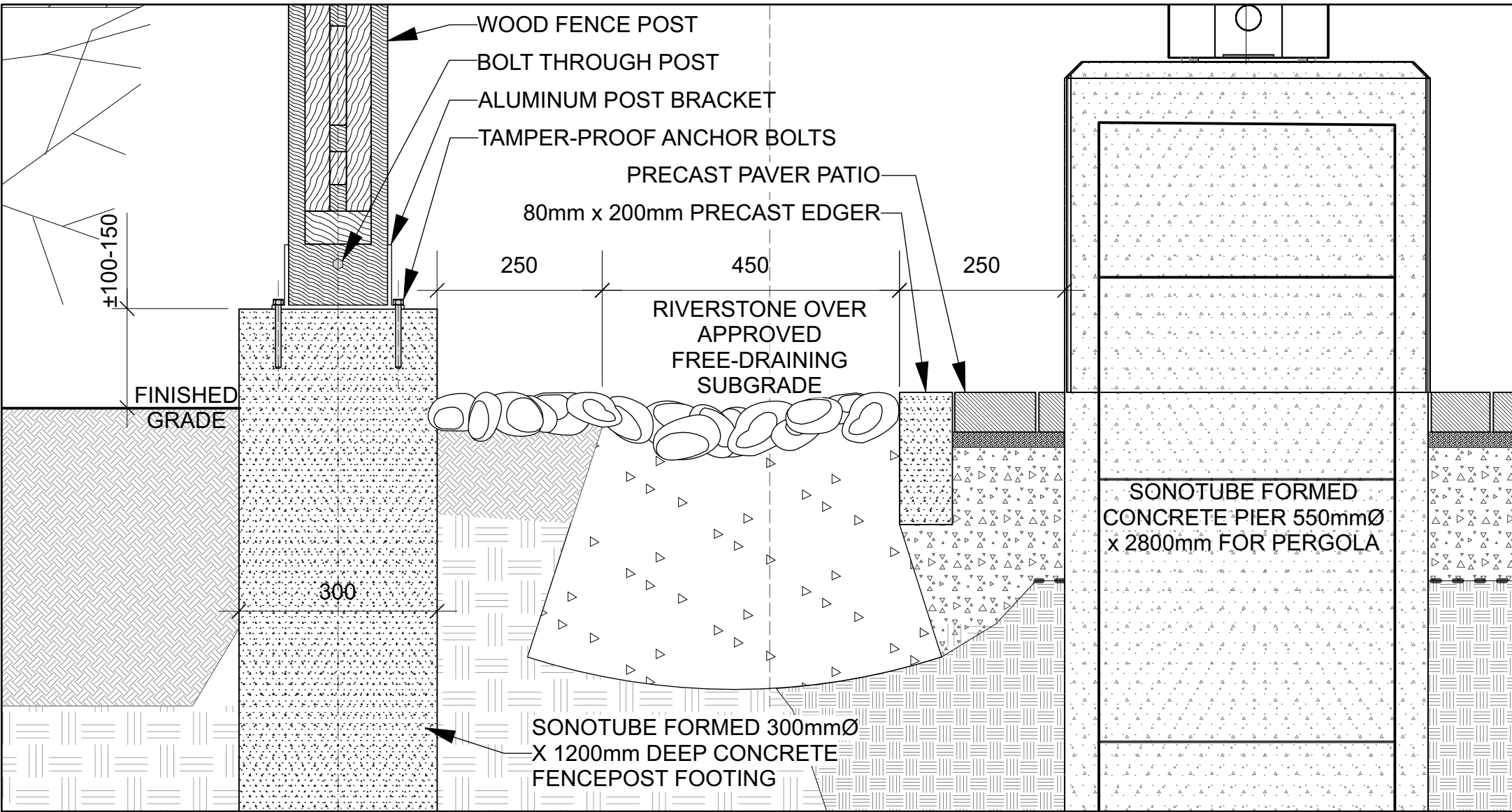


1 PERGOLA - SIDE ELEVATION  
Scale: NTS

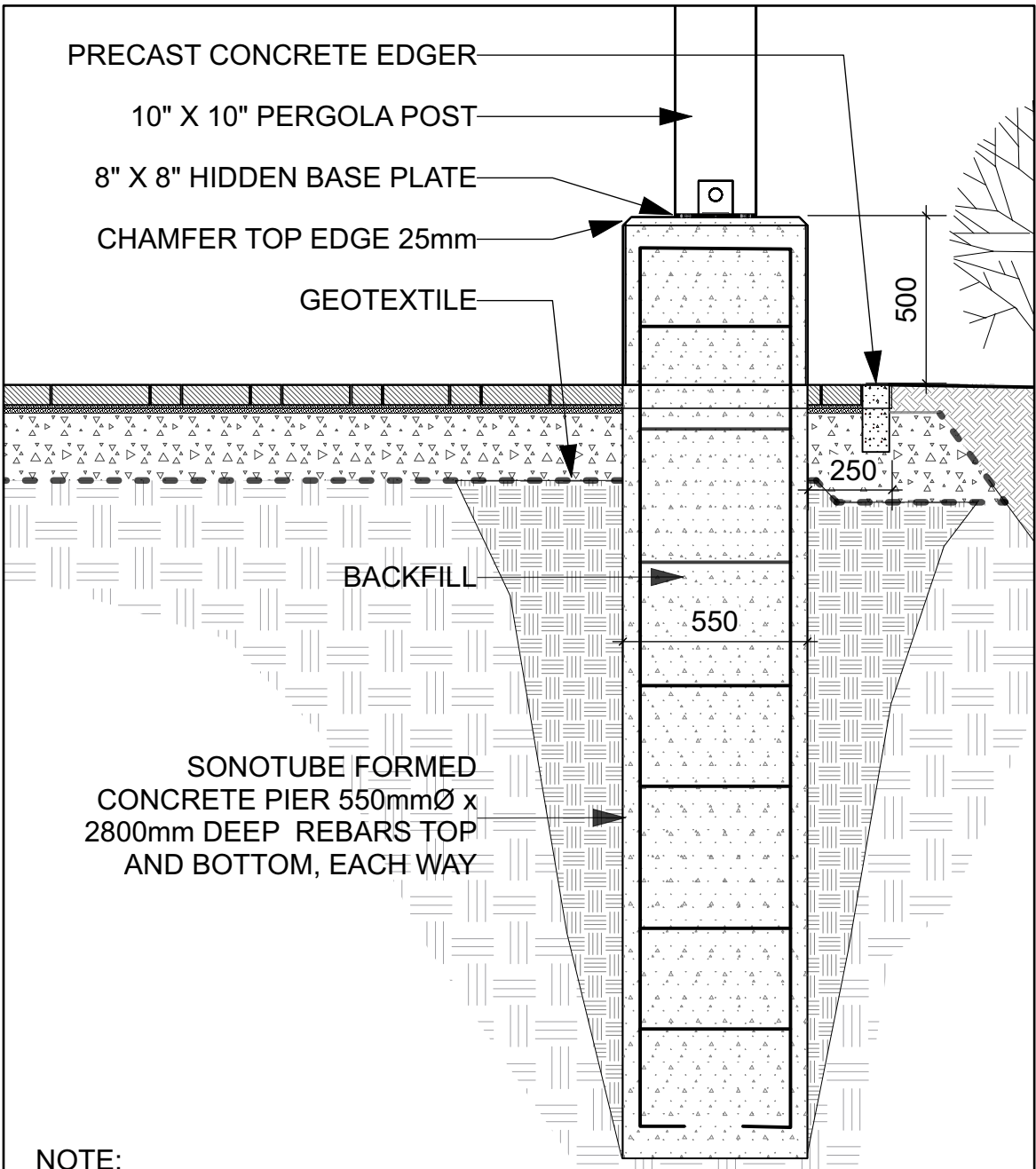


2 PERGOLA APPEARANCE  
Scale: NTS

NOTE: PERGOLA CONFIGURATION TO BE ADJUSTED ACCORDING TO SITE.



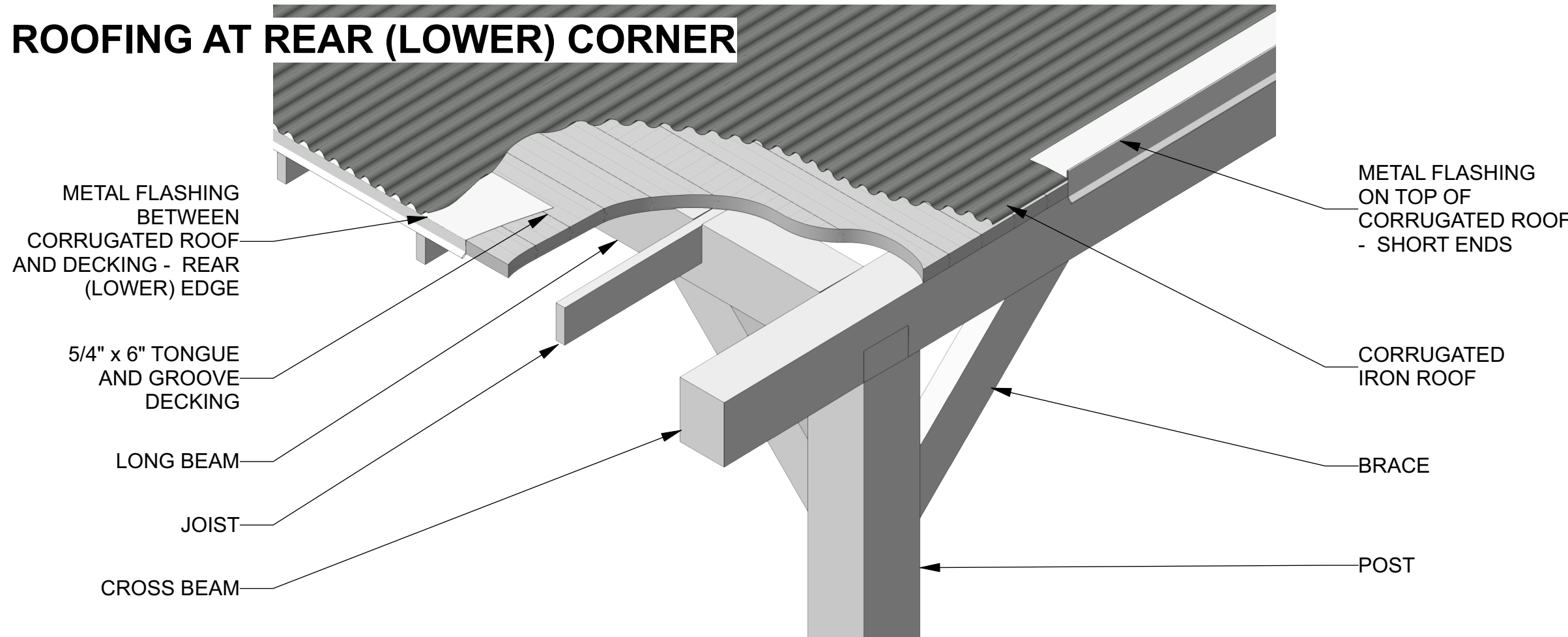
3 PERGOLA - FENCE FOOTING, SWALE, AND PERGOLA FOOTING SECTION  
Scale: NTS



NOTE:  
• CONCRETE IN PIER TO BE CLASS C-2 (32MPa, AIR 5-8%).  
• CONCRETE IN FOOTING TO BE 25MPa.  
• ALL EXPOSED SURFACES TO BE LIGHTLY SANDBLASTED.  
• ALL REBARS TO BE EPOXY COATED.  
• INSTALL PERGOLA AS PER MANUFACTURER'S SPECIFICATIONS

4 PERGOLA FOOTING  
Scale: NTS

## ROOFING AT REAR (LOWER) CORNER



5 PERGOLA - ROOF CONSTRUCTION  
Scale: NTS

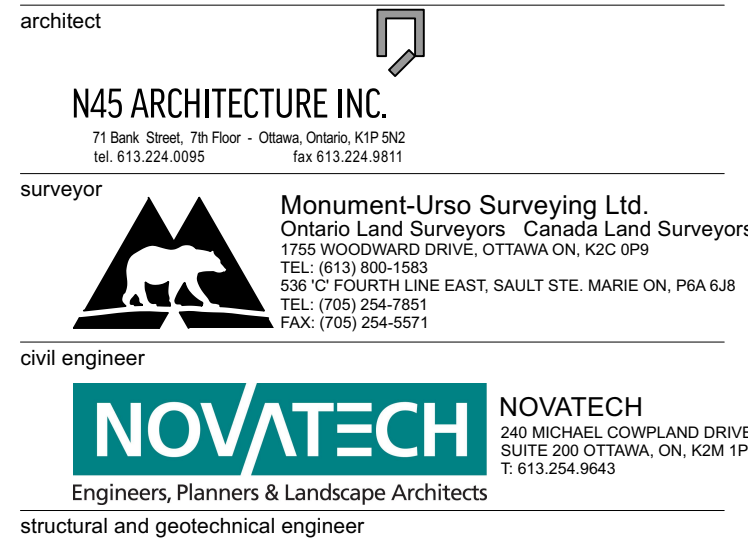
NOTE: DETAILS ARE SHOWN FOR DESIGN INTENT ONLY. PROVIDE FULL SHOP DRAWINGS, STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO, FOR PERGOLA , FOOTINGS, REBAR DIMENSIONS, ANCHORAGE SYSTEM, AND STRUCTURAL COMPONENTS.



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## CARPENTERS DISTRICT COUNCIL OF ONTARIO LOCAL 93. - ADDITION

CAMPEAU DRIVE  
OTTAWA, ON

north	seal
-------	------

drawing title	
PERGOLA DETAILS	
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date	checked by M. Ruhland
2023 06 09	
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