

ZONING INFORMATION

1.0 GENERAL INFORMATION:

LEGAL DESCRIPTION:  
PART 1, PLAN SR-5712,  
THE CITY OF OTTAWA

BUILDING AREA (B.A.): 3,020.77m<sup>2</sup>

GROSS FLOOR AREA (G.F.A.): 3,962.09m<sup>2</sup>

GROUND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
790.73m<sup>2</sup> [8,511.34ft<sup>2</sup>]

GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):  
2230.04m<sup>2</sup> [24,003.95ft<sup>2</sup>]

SECOND FLOOR:  
GROUP D (BUSINESS & PERSONAL SERVICES):  
941.32m<sup>2</sup> [10,132.28ft<sup>2</sup>]

PROPOSED USE:  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING

2.0 ZONING PROVISIONS:

DESIGNATION:  
GENERAL INDUSTRIAL ZONE (IG3)

LOT AREA:  
REQUIRED: 1,000.00m<sup>2</sup> [10,763.90ft<sup>2</sup>] (MIN.)  
PROPOSED: 48,611.80m<sup>2</sup> [523,253.62ft<sup>2</sup>]

LOT FRONTAGE:  
REQUIRED: 0.00m (MIN.)  
PROPOSED: 103.30m [338.91ft]

SETBACKS:  
FRONT YARD:  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 108.21m [355.02ft]

CORNER SIDE YARD:  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: N/A

INTERIOR SIDE YARD:  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 34.20m [112.21ft] (MIN.)

REAR YARD:  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 264.01m [866.18ft]

LOT COVERAGE:  
REQUIRED: 65% (MAX.)  
PROPOSED: 6.6%

BUILDING HEIGHT:  
REQUIRED: 22.00m [72.17ft] (MAX.)  
PROPOSED: 6.70m [22.00ft]

3.0 PARKING (PER SECTIONS 3.30 & 3.41):

STANDARD SPACES:  
PROVISION: HEAVY EQUIPMENT AND VEHICLE  
SALES, RENTAL AND SERVICING  
0.75 SPACES PER 100m<sup>2</sup> G.F.A.

OFFICE:  
2.4 SPACES PER 100m<sup>2</sup> G.F.A.  
REQUIRED: = ((2,230.04m<sup>2</sup> / 100m<sup>2</sup>) x 0.75)  
+ ((1,732.05m<sup>2</sup> / 100m<sup>2</sup>) x 2.4)  
68.30 = 59 SPACES

PROVIDED: 257 STANDARD SPACES

BARRIER-FREE SPACES:  
PROVISION: 251-300 STANDARD SPACES = 8  
REQUIRED: 8 SPACES  
PROVIDED: 8 SPACES (4 - TYPE A, 4 - TYPE B)

LOADING SPACES:  
PROVISION: 2,000m<sup>2</sup>-4,999m<sup>2</sup> G.F.A. = 2 SPACES  
REQUIRED: 2 SPACES  
PROVIDED: 2 SPACES

BICYCLE SPACES:  
PROVISION: ALL NON-RESIDENTIAL USES  
1 PER 1500m<sup>2</sup> G.F.A. = 2 SPACES

OFFICE:  
1 PER 250m<sup>2</sup> G.F.A. = 7 SPACE

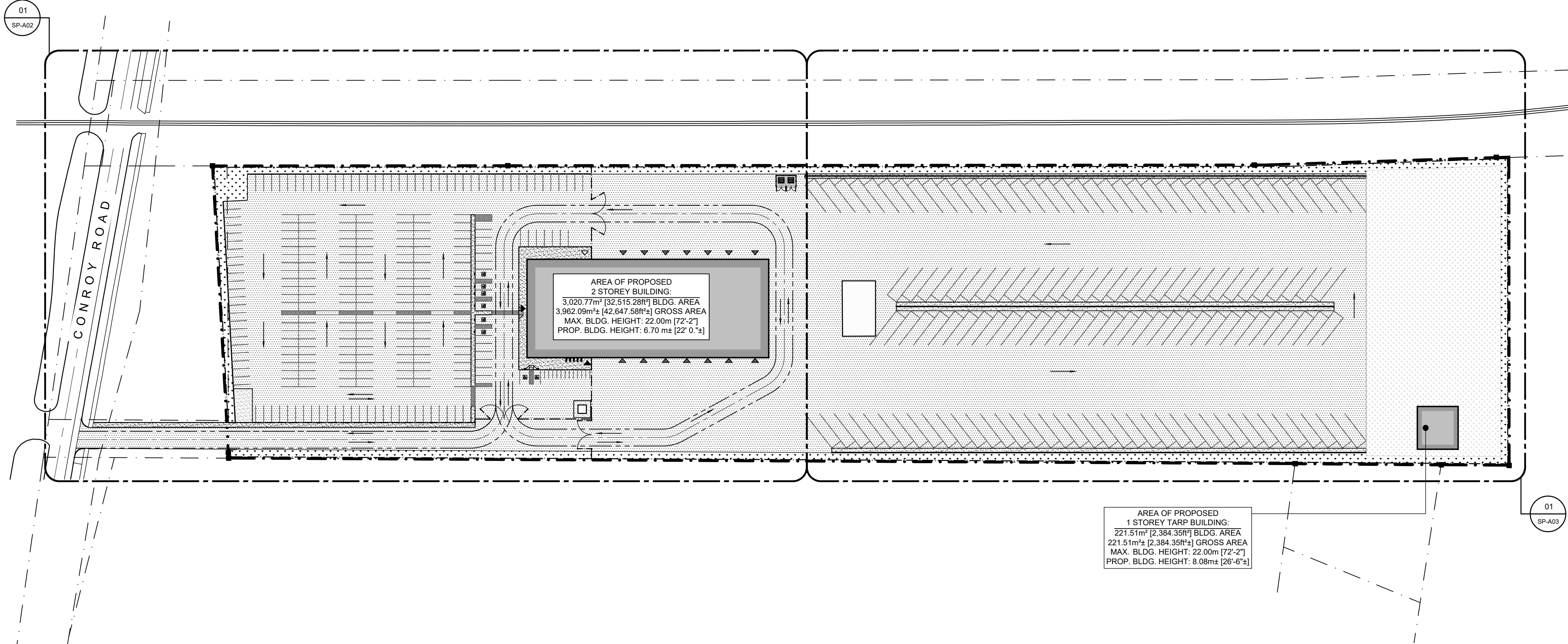
REQUIRED: 9 SPACES  
PROVIDED: 10 SPACES

MOTORCYCLE SPACES:  
PROVISION: 5% OF PARKING SPACES MAX.  
REQUIRED: 5% = 12 SPACES MAX.  
PROVIDED: 12 SPACES

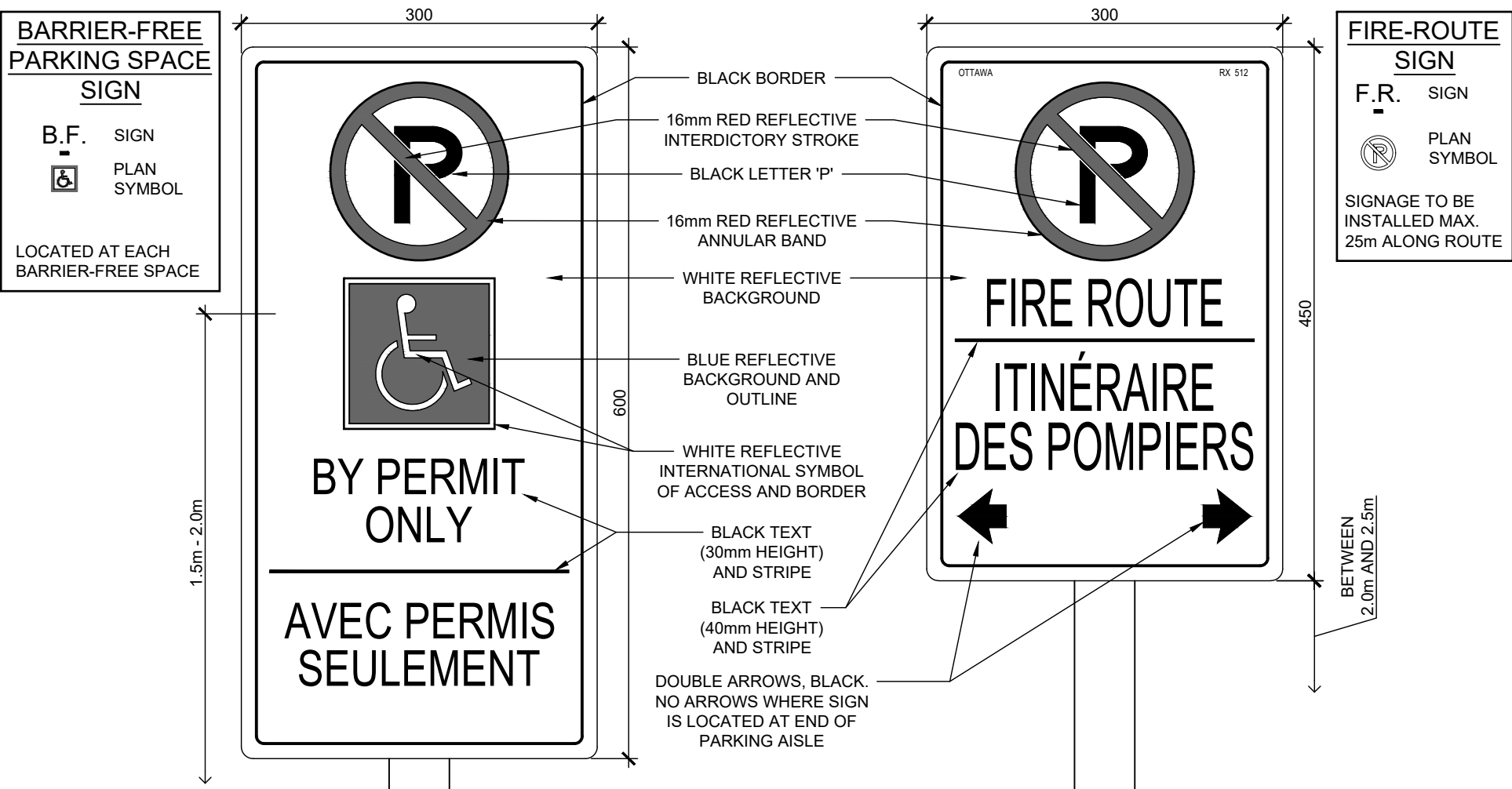
FLEET PARKING SPACES:  
REQUIRED: N/A  
PROVIDED: 135 SPACES

SYMBOL LEGEND

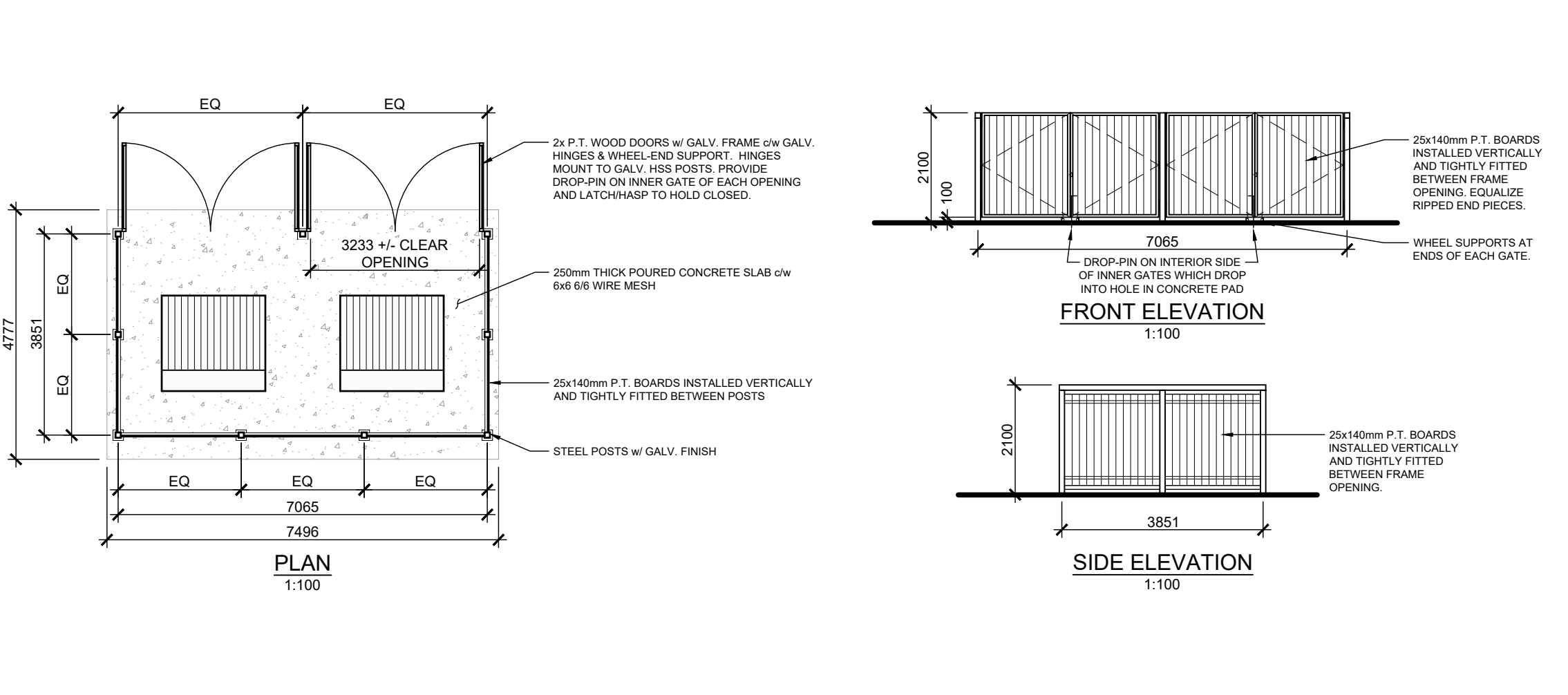
---	SITE PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	SETBACK LINE
---	ROAD CENTRELINE
---	FIRE ROUTE LINE
---	NEW CHAIN LINK FENCE
---	MUNICIPAL ROAD BOUNDARY
---	SNOW STORAGE AREA BOUNDARY
---	DIRECTION OF TRAVEL
---	PROPOSED BUILDING
---	EXISTING HEAVY DUTY ASPHALT
---	PROPOSED HEAVY DUTY ASPHALT
---	EXISTING GRAVEL
---	PROPOSED CONCRETE SIDEWALK AREA
---	LANDSCAPED AREA
OR B.F.	PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE
OR B.F.	SECONDARY ENTRANCES / EXITS OR BARRIER-FREE ENTRANCE / EXITS
O.H.	OVERHEAD DOOR
OR B.F.	BARRIER-FREE CURB RAMP w/ TACTILE ATTENTION INDICATORS
OR F.R.	FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE
AND B.F.	BARRIER-FREE PARKING SIGN
FH	FIRE HYDRANT (EXISTING)
WH	EXISTING WATER HYDRANT
MH	EXISTING MANHOLE
HP/L	EXISTING HYDRO POLE
LS	EXISTING LIGHT STANDARD
UP	EXISTING UTILITY POLE



VERTICAL PARKING LOT SIGNAGE (POST OR WALL MOUNTED)



WASTE ENCLOSURE DETAILS



01 PROPOSED SITE PLAN

SP-A01 SCALE: 1:400

Revisions

No.	By	Description	Date
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025
06	T.D.	ISSUED FOR COORDINATION	28 MAY 2025
05	T.D.	ISSUED FOR COORDINATION	09 MAY 2025
04	W.P.	ISSUED FOR COORDINATION	10 APR 2025
03	W.P.	ISSUED FOR CLIENT REVIEW	25 MAR 2025
02	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025
01	T.D.	ISSUED FOR COORDINATION	10 JAN 2025

Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED SITE PLAN

Scale

AS NOTED

Drawn

T.D.

Checked

W.P.

Project No.

24-151

Date

DECEMBER, 2024

Drawing No.

SP-A01

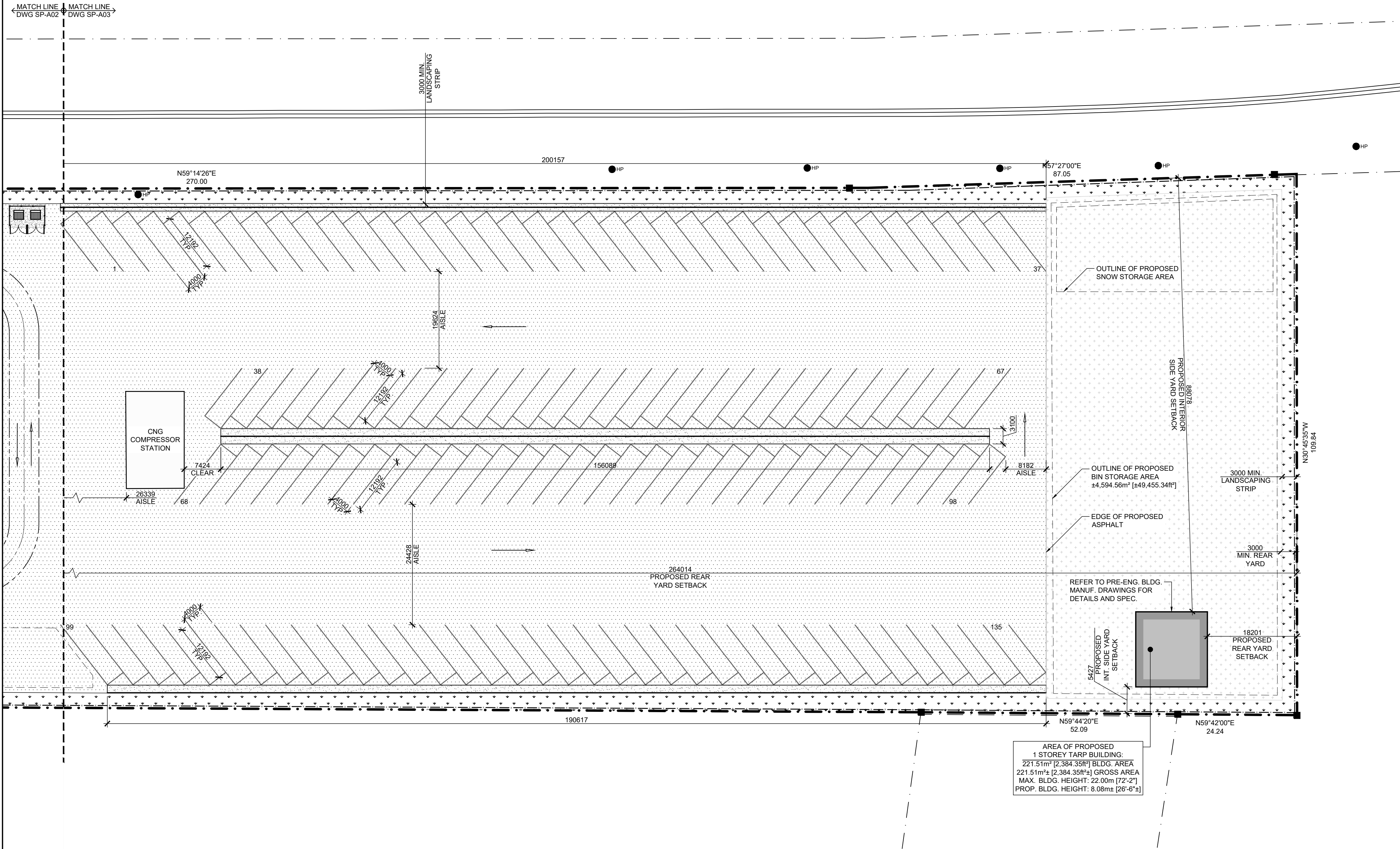






SP-A02





## ZONING INFORMATION

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THE CITY OF OTTAWA

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**GROUP F, DIV. 2 (MEDIUM HAZARD INDUSTRIAL):**  
2230.04m² [24,003.95ft²]

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941.32m² [10,132.28ft²]

**PROPOSED USE:**  
HEAVY EQUIPMENT & VEHICLE SALES, RENTAL & SERVICING

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**DESIGNATION:**  
GENERAL INDUSTRIAL ZONE (IG3)

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REQUIRED: 1,000.00m² [10,763.90ft²] (MIN.)  
PROPOSED: 48,611.80m² [523,253.62ft²]

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REQUIRED: 0.00m (MIN.)  
PROPOSED: 103.30m [338.91ft]

**SETBACKS:**  
**FRONT YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: 108.21m [355.02ft]  
**CORNER SIDE YARD:**  
REQUIRED: 3.00m [9.84ft] (MIN.)  
PROPOSED: N/A  
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0.75 SPACES PER 100m² G.F.A.

**OFFICE:**  
2.4 SPACES PER 100m² G.F.A.

**REQUIRED:**  
 $= ((2,230.04m² / 100m²) \times 0.75) + ((1,732.05m² / 100m²) \times 2.4)$   
38.30 = 59 SPACES  
257 STANDARD SPACES

**PROVIDED:**

**BARRIER-FREE SPACES:**  
**PROVISION:** 251-300 STANDARD SPACES = 8  
8 SPACES  
**REQUIRED:** 8 SPACES (4 - TYPE A, 4 - TYPE B)  
**PROVIDED:**

**LOADING SPACES:**  
**PROVISION:** 2,000m²-4,999m² G.F.A. = 2 SPACES  
2 SPACES  
**REQUIRED:** 2 SPACES  
**PROVIDED:** 2 SPACES

**BICYCLE SPACES:**  
**PROVISION:** ALL NON-RESIDENTIAL USES  
1 PER 1500m² G.F.A. = 2 SPACES

**OFFICE:**  
1 PER 250m² G.F.A. = 7 SPACE

**REQUIRED:** 9 SPACES  
**PROVIDED:** 10 SPACES

**MOTORCYCLE SPACES:**  
**PROVISION:** 5% OF PARKING SPACES MAX.  
5% = 12 SPACES MAX.  
**REQUIRED:** 12 SPACES  
**PROVIDED:** 12 SPACES

**FLEET PARKING SPACES:**  
**PROVISION:** N/A  
**REQUIRED:** N/A  
**PROVIDED:** 135 SPACES

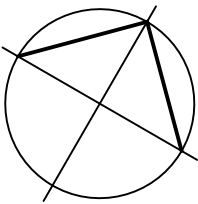
## SYMBOL LEGEND

— · — · — SITE PROPERTY LINE  
- - - - - ADJACENT PROPERTY LINE  
- - - - - SETBACK LINE  
- - - - - ROAD CENTRELINE  
- - - - - FIRE ROUTE LINE  
- - - - - NEW CHAIN LINK FENCE  
- - - - - MUNICIPAL ROAD BOUNDARY  
- - - - - SNOW STORAGE AREA BOUNDARY  
→ DIRECTION OF TRAVEL

PROPOSED BUILDING  
EXISTING HEAVY DUTY ASPHALT  
PROPOSED HEAVY DUTY ASPHALT  
EXISTING GRAVEL  
PROPOSED CONCRETE SIDEWALK AREA  
LANDSCAPED AREA

PRIMARY BUILDING ENTRANCE OR BARRIER-FREE ENTRANCE  
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OVERHEAD DOOR  
BARRIER-FREE CURB RAMP w/ TACTILE ATTENTION INDICATORS  
FIRE ROUTE/NO PARKING SIGNAGE INSTALLED 25m MAX. ALONG ROUTE  
BARRIER-FREE PARKING SIGN  
FIRE HYDRANT (EXISTING)  
EXISTING WATER HYDRANT  
EXISTING MANHOLE  
EXISTING HYDRO POLE  
EXISTING LIGHT STANDARD  
EXISTING UTILITY POLE

North



## Revisions

No.	By	Description	Date
08	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
07	T.D.	ISSUED FOR COORDINATION	17 JUN 2025
06	T.D.	ISSUED FOR COORDINATION	28 MAY 2025
05	T.D.	ISSUED FOR COORDINATION	09 MAY 2025
04	W.P.	ISSUED FOR COORDINATION	10 APR 2025
03	W.P.	ISSUED FOR CLIENT REVIEW	25 MAR 2025
02	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025
01	T.D.	ISSUED FOR COORDINATION	10 JAN 2025

## Project

**WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY**

3145 CONROY ROAD, OTTAWA, ON

## Drawing

**PROPOSED SITE PLAN**

Scale  
AS NOTED

Drawn  
T.D.

Checked  
W.P.

Project No.  
24-151

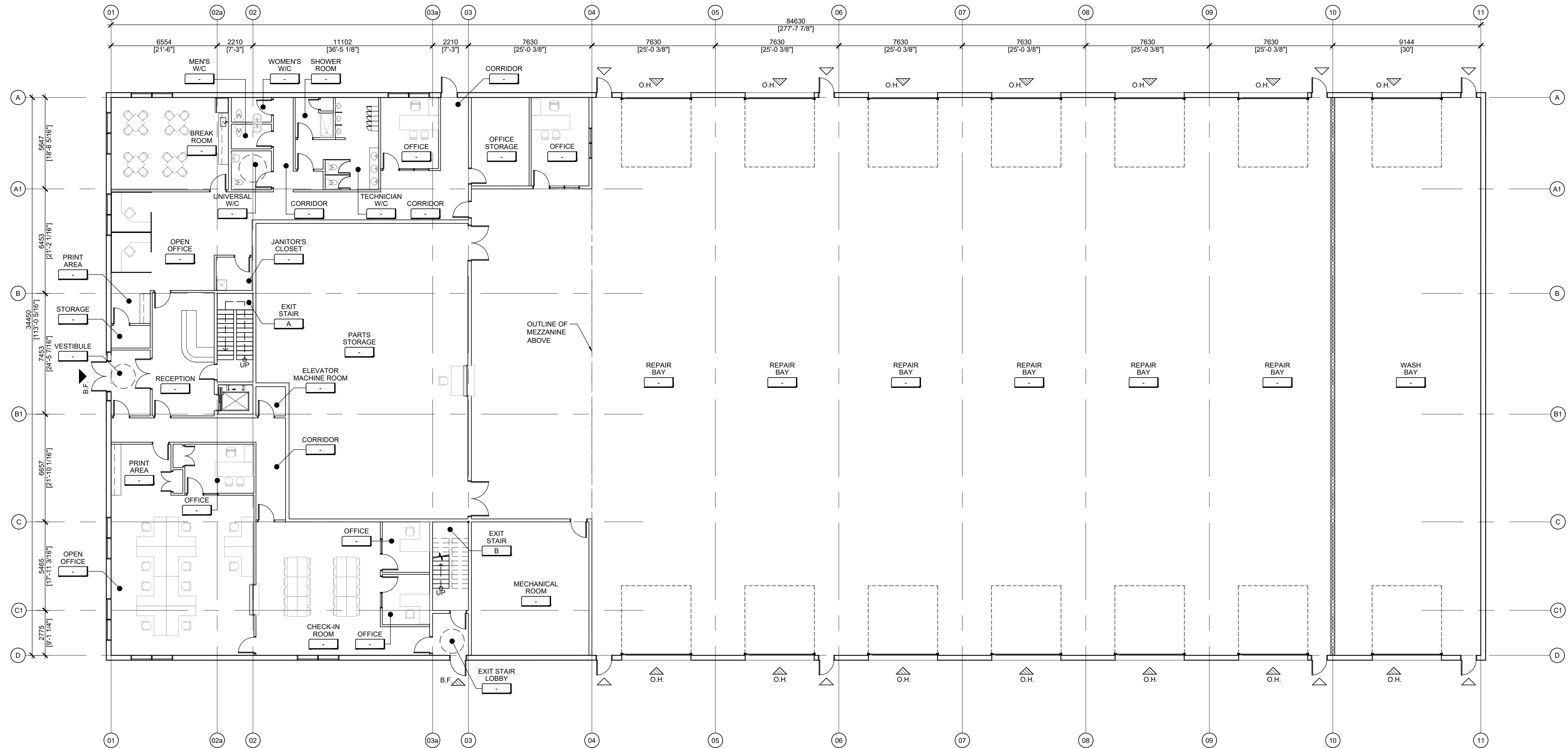
Date  
DECEMBER, 2024

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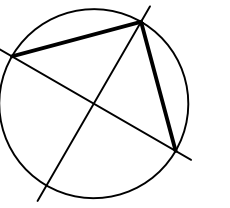


## Drawing No.

**SP-A03**



North



#### Revisions

No.	By	Description	Date
06	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
05	W.P.	ISSUED FOR CLIENT REVIEW	26 JUN 2025
04	T.D.	ISSUED FOR CLIENT REVIEW	26 JUN 2025
03	T.D.	ISSUED FOR CLIENT REVIEW	28 MAY 2025
02	T.D.	ISSUED FOR CLIENT REVIEW	21 MAR 2025
01	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025

#### Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

#### Drawing

PROPOSED  
GROUND FLOOR PLAN

Scale  
AS NOTED

Drawn  
T.D.

Checked  
W.P.

Stamp



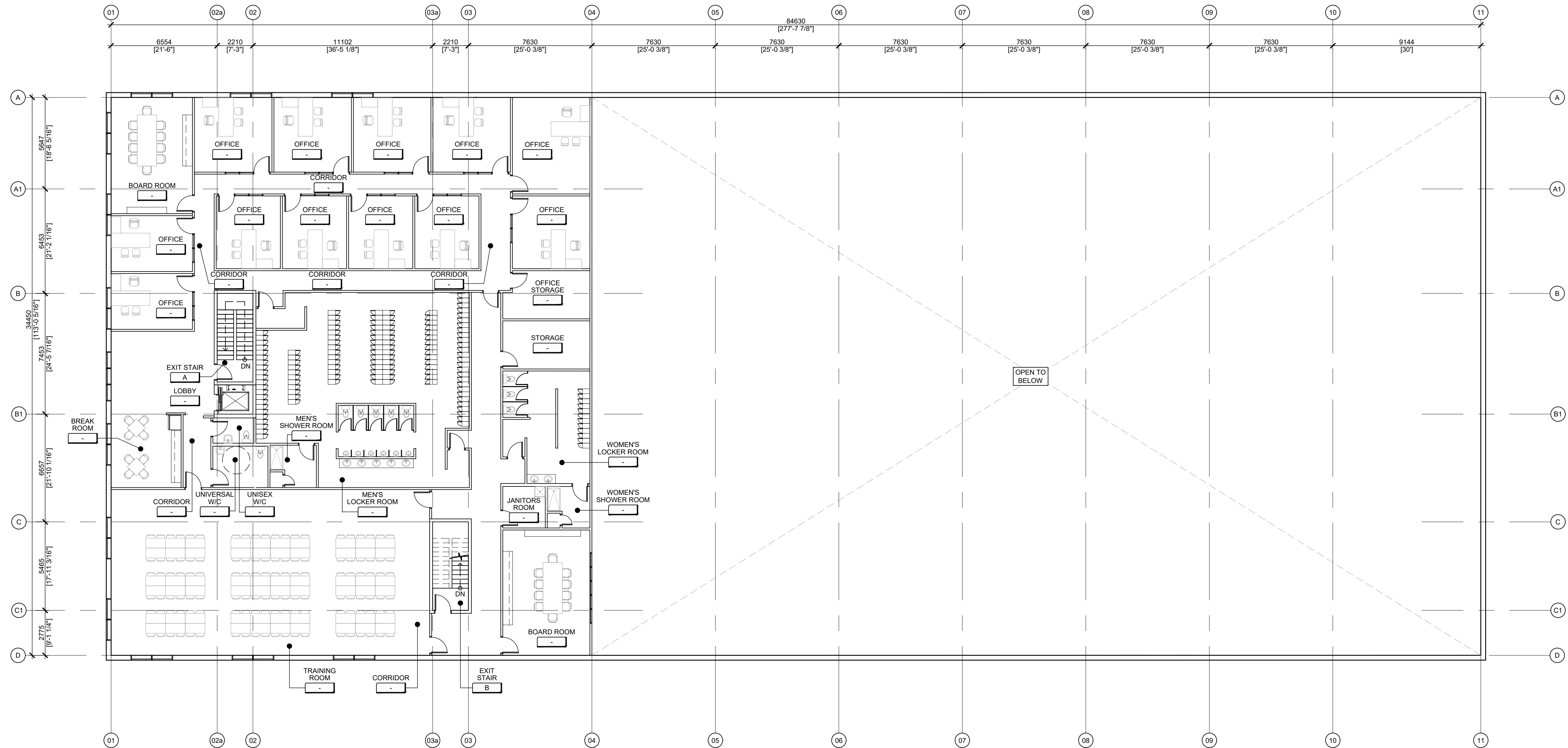
Project No.  
24-151

Date  
DECEMBER, 2024

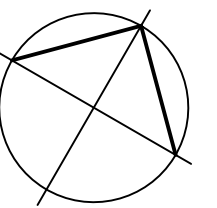
Drawing No.

A01





North



Revisions

No.	By	Description	Date
05	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
04	T.D.	ISSUED FOR CLIENT REVIEW	26 JUN 2025
03	T.D.	ISSUED FOR CLIENT REVIEW	28 MAY 2025
02	T.D.	ISSUED FOR CLIENT REVIEW	21 MAR 2025
01	W.P.	ISSUED FOR CLIENT REVIEW	05 MAR 2025

Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED  
SECOND FLOOR PLAN

Scale  
AS NOTED

Drawn  
T.D.

Checked  
W.P.

Stamp

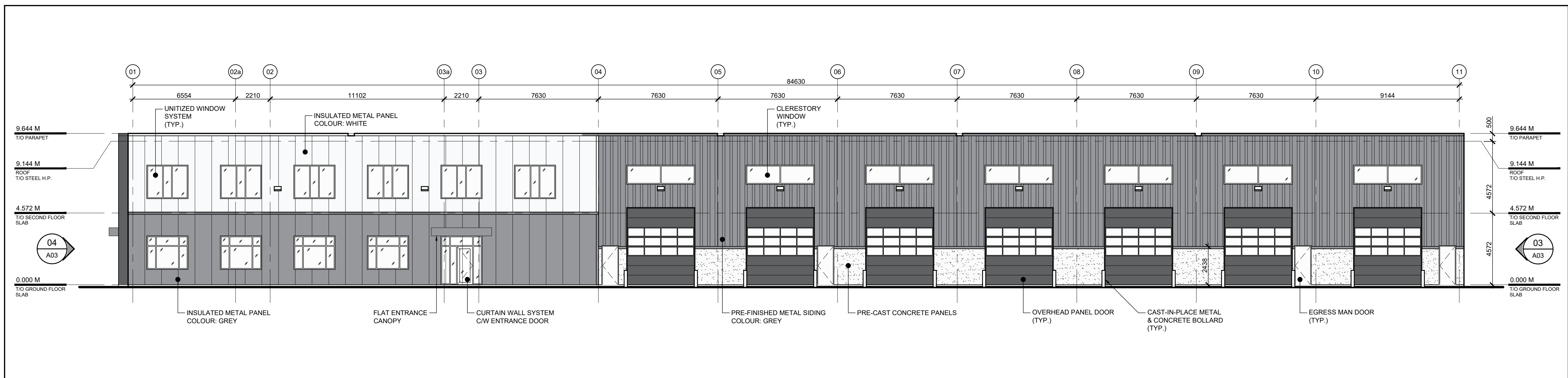
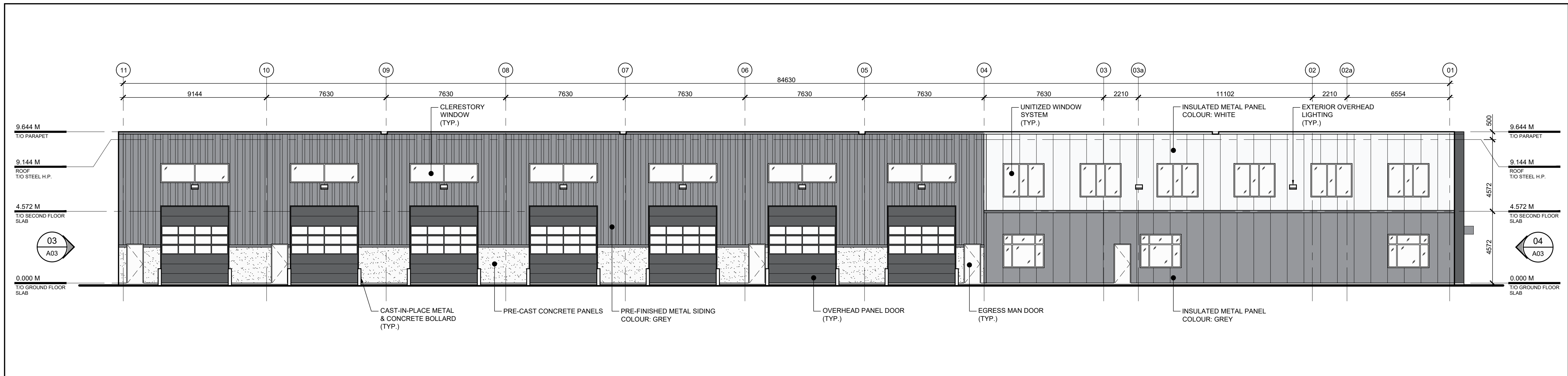
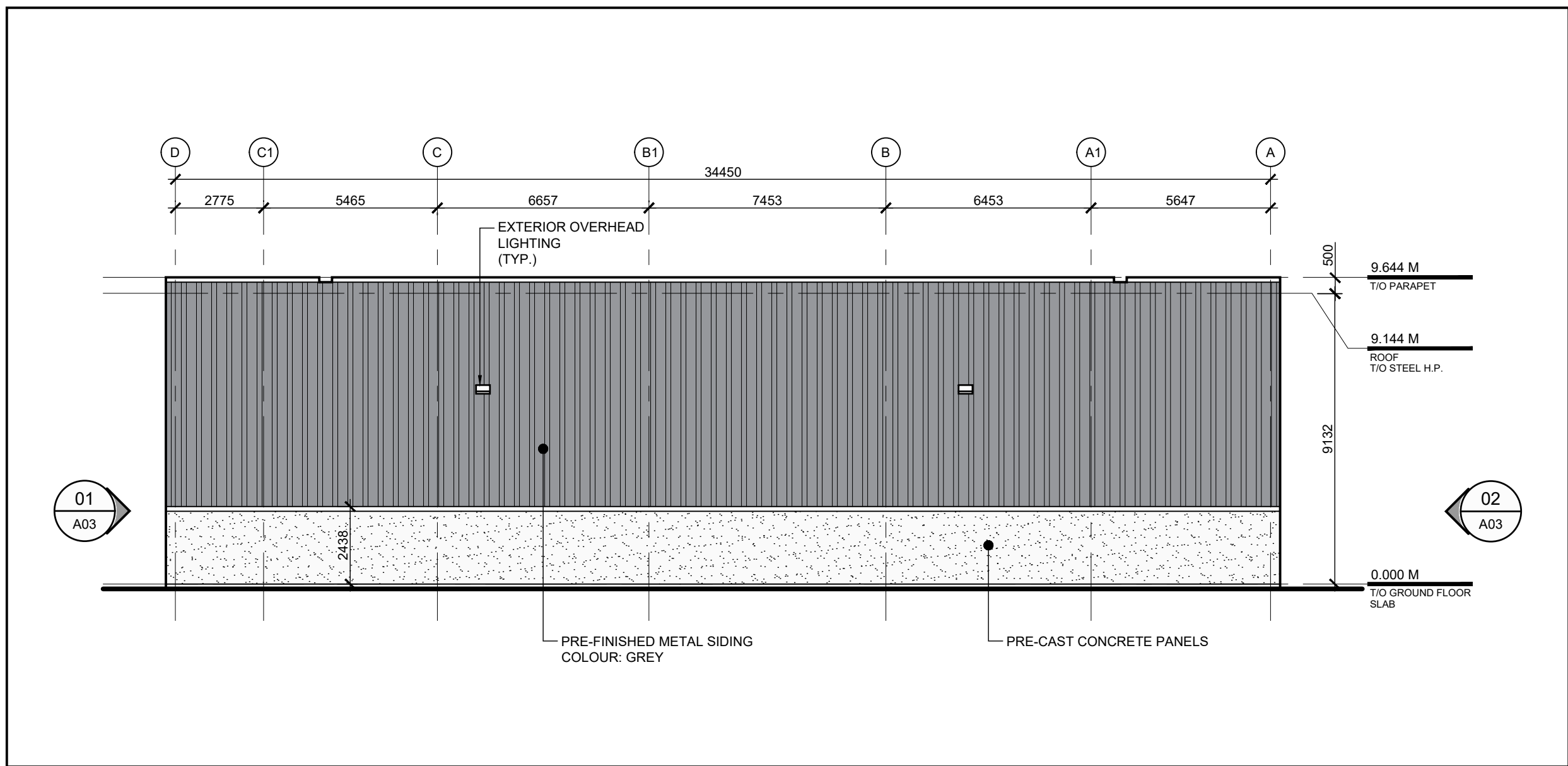
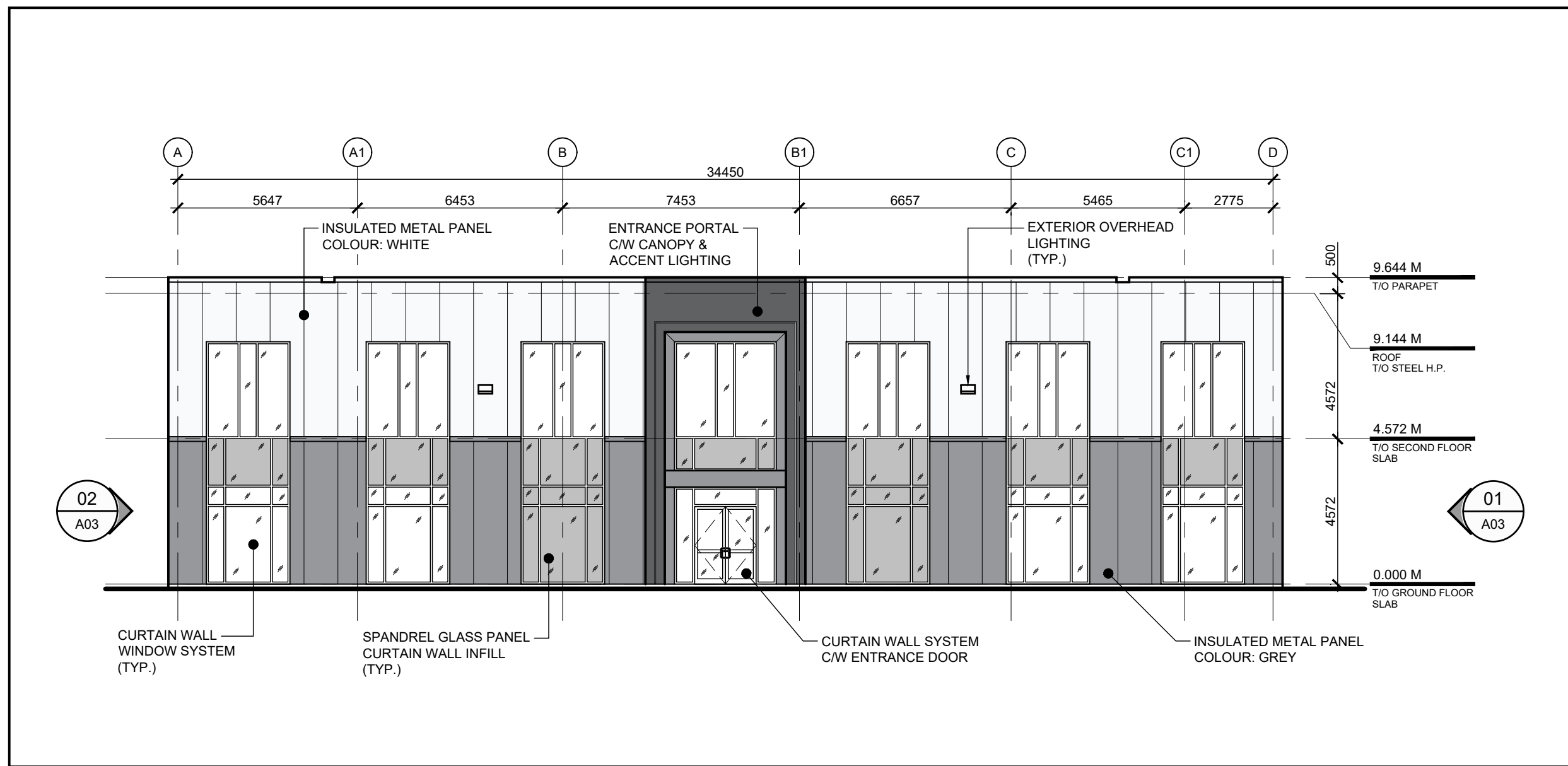


Project No.  
24-151

Date  
DECEMBER, 2024

Drawing No.

A02



North

Revisions

No.	By	Description	Date
03	W.P.	ISSUED FOR SITE PLAN CONTROL	27 AUG 2025
02	A.P.	ISSUED FOR CLIENT REVIEW	15 AUG 2025
01	W.P.	ISSUED FOR CLIENT REVIEW	24 JUL 2025

Project

WO MW REALTY LIMITED  
OFFICE GROUP  
SITE PLAN APPLICATION  
NEW MILLER WASTE FACILITY

3145 CONROY ROAD, OTTAWA, ON

Drawing

PROPOSED  
EXTERIOR ELEVATIONS

Scale AS NOTED

Drawn J.M.

Checked W.P.

Stamp



Project No. 24-151

Date DECEMBER, 2024

Drawing No.

A03