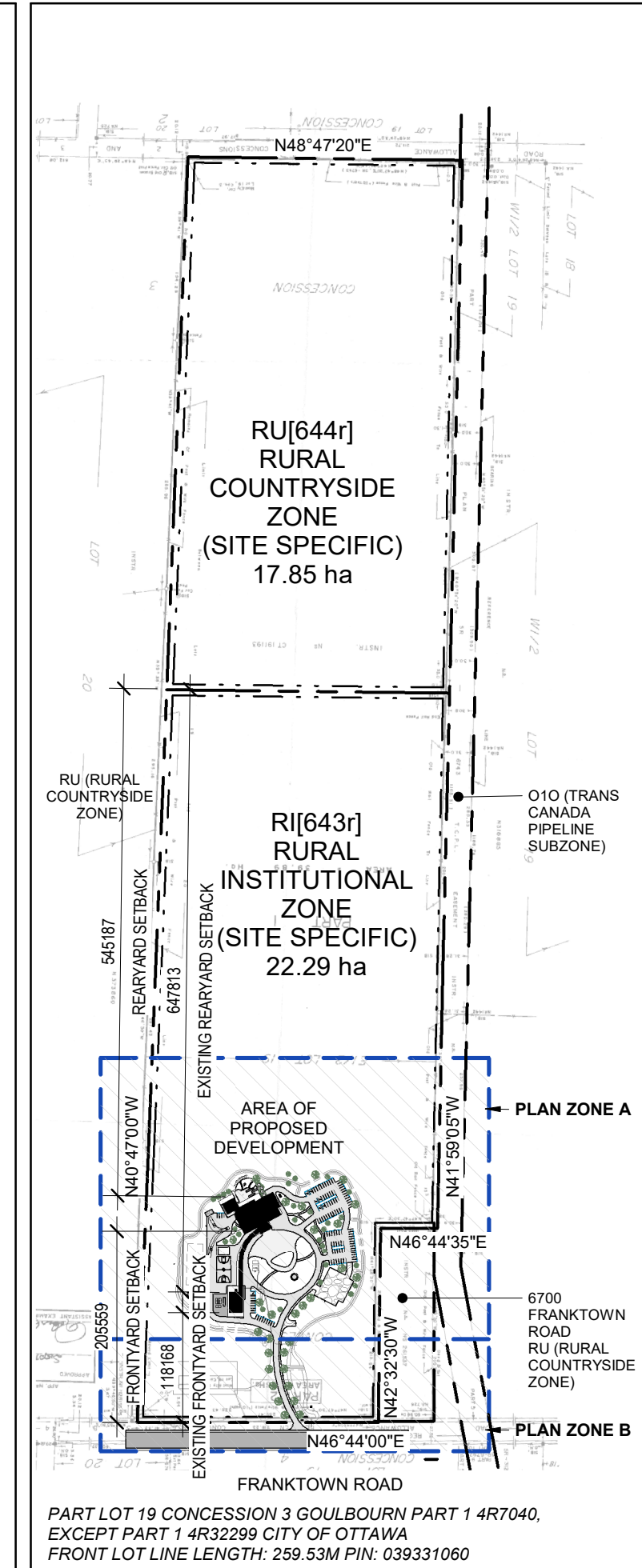


drawing title

SITE PLAN - AREA A

drawing title		RICHMOND, ON.	
<h1>SITE PLAN - AREA A</h1>			
date	August 9, 2025	job. no.	<h1>0623</h1>
scale	As indicated		
drawn	CM		
approved	CJ / AL	drawing no.	
plot date/time	2025-08-21 1:40:11 PM		<h1>A00</h1>

1. DO NOT SCALE FROM THIS DRAWING
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL



3	21/08/2025	RE-ISSUED FOR SPC	AL
2	17/07/2025	RE-ISSUED FOR SPC	AL
1	18/12/2024	ISSUED FOR SITE PLAN CONTROL	AL
no.	date	revision/issue	by

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consultant

project title

IBPS TEMPLE

File Number **D07-12-18-0115**
Plan Number **#19269**

RICHMOND, ON.

drawing title

SITE PLAN - AREA B

date	August 9, 2025	job. no.	0623
scale	As indicated		
drawn	CM	drawing no.	A01
approved	CJ / AL		
plot date/time	2025-08-21 1:40:13 PM		

1. DO NOT SCALE FROM THIS DRAWING
2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES
3. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS: STRUCTURAL, MECHANICAL, ELECTRICAL











PROJECT NAME:	IBPS TEMPLE
OWNER:	INTERNATIONAL BUDDHIST PROGRESS SOCIETY OF OTTAWA-CARLETON 6688 FRANKTOWN ROAD, RICHMOND, ON K0A 2Z0 T: 613 759 8111 F: 613 759 8110
ARCHITECT:	GRC ARCHITECTS 401-47 CLARENCE STREET, OTTAWA, ON K1N 9K1 T: 613 241 8203 F: 613 241 4180
LANDSCAPE ARCHITECT:	JAMES B. LENNOX & ASSOCIATES INC. 3332 CARLING AVENUE, OTTAWA, ON K2H 5A8 T: 613 722-5168
STRUCTURAL:	CUNLIFFE & ASSOCIATES INC. 102 - 1737 WOODWARD DRIVE, OTTAWA, ON K2C 0P9 T: 613 729-7242 F: 613 728-1461
CIVIL:	EXP 2650 QUEENSVIEW DR SUITE 100, OTTAWA, ON K2B 8H6 T: (613) 688-1899
ELECTRICAL & MECHANICAL:	SMITH + ANDERSEN 1600 CARLING AVE #530 OTTAWA, ON K1Z 1G3 T: (613) 230-1186
SURVEYOR: (CONTRACTED BY OWNER)	EGIS 3240 DRUMMOND CON. 5A, R.R. #7 PERTH, ON K7H 3C9 T: 613-267-6524 F 613-267-7992
ADDRESS	6688 FRANKTOWN RD, RICHMOND, ON K0A 2Z0

ZONING PROVISION	REQUIRED	PROVIDED
LEGAL DESCRIPTION ZONE PROVISIONS <small>(TABLE 22.01-01 ZONE PROVISIONS)</small>	PART OF LOT 19 CONCESSION 3 R[643R] RURAL INSTITUTIONAL ZONE 30m min lot width 2000m ² min lot area 30m front yard setback 0.7m front yard setback 1) 7m rear yard setback 6m interior side yard setback 6m interior corner side yard setback 10m maximum building height	> 30m min lot width > 2000m ² min lot area > 30m front yard setback > 7.5m setback > 7.5m setback > 6m setback 10m maximum building height
(a) Minimum lot width (b) Minimum lot area (c) Minimum front yard setback (d) Minimum rear yard setback (e) Minimum interior side yard setback (f) Minimum corner side yard setback (g) Maximum principal building height COVERAGE <small>(TABLE 22.01-01 ZONE PROVISIONS)</small> (h) Maximum lot coverage (%)		Site Area: 224031m ² (plot R[643R]) Building Area: Existing Building footprint: 348m ² New Building footprint: 1396m ² 176pm ² = 0.8% (1746/224031) Asphalt Area: 9707m ² = 4% (9707/224031)
LANDSCAPE <small>(TABLE 22.01-01 ZONE PROVISIONS)</small> (i) Minimum landscaped area (%)		Landscaped Area: 212857m ² = 95% (212857/224031)
GROUND FLOOR AREA <small>CALCULATION PER ZONING BY-LAW 2008-20-030 TYPIFICATIONS (SEC. 147)</small> Existing Building New Building		348m ² 955m ²
PARKING PROVISIONS <small>APPLICABLE TO DEVELOPMENT 1A - 1460 APPLIES TO ASSEMBLY 1 AREA ONLY NEW FORM OF DEVELOPMENT MAY BE ACCESSIBLE PARKING IN ANY CITY OF ATC/ATC AREA TABLE 3.</small>		98 Standard Spaces (Assembly) 3 Standards Spaces (Rooming) 7 Type A Accessible Spaces = 108 Total Spaces
PARKING RATES		2 spaces 0.6m x 1.8m
BICYCLE PARKING RATES <small>CALCULATION PER ZONING BY-LAW 2008-20-030 TYPIFICATIONS (SEC. 111)</small>	N66 Assembly Area: = 10 per 100 m ² of Ground floor area of assembly building. (Shrine hall 342m ² + Dining room 152m ² = existing building working area 150m ²) R22 Rooming Units: 6 rooming units = 0.5 per rooming unit = 3 rooming spaces required ADS Table 3: = 3 accessible spaces required 111A (a) 0.25 per rooming unit = 2 required	2 spaces 0.6m x 1.8m

1. ALL DIMENSIONS ARE IN MILLIMETERS EXCEPT GRADE, FLOOR ELEVATIONS AND PROPERTY LINE DIMENSIONS (SHOWN IN METERS).
2. ALL LEGAL SURVEY DATA OBTAINED FROM SURVEY PLANS PREPARED BY: MCINTOSH PERRY SURVEYING INC, DATED AUGUST 29, 2023.
3. REFER TO LANDSCAPE DRAWINGS FOR SOFT-HARD LANDSCAPING, AND PAVEMENT MATERIAL PATTERN AND JOINTS.
4. REFER TO CIVIL DRAWING FOR SITE SERVICES, SITE GRADING, SURFACE DRAINAGE, ROAD WORK, PAVEMENT, SIDEWALK AND CONCRETE CURBS.
5. REFER TO ELECTRICAL DRAWING FOR LIGHT FIXTURES & ELECTRICAL SCOPES OF WORK.
6. ELEVATIONS SHOWN ARE REFERRED TO GEODETIC DATUM.
7. ALL SURVEY DATA HAS BEEN 100mm WIDE PAINTED LINES ON ASPHALT, INCLUDING ACCESSIBLE PARKING SPACE PICTOGRAM.

- ALL GAME LINES FOR FULL COURT BASKETBALL TO BE PAINTED WHITE, UNLESS NOTED OTHERWISE
- LANE SPACE MARKS & NEUTRAL ZONE MARKS TO BE PAINTED A CONTRASTING COLOR TO THE BOUNDING LINES
- ALL GAME LINES FOR BASKETBALL TO BE 50mm WIDE, UNLESS NOTED OTHERWISE.

	PROPERTY LINE		FH	FIRE HYDRANT, SEE CIVIL
	BUILDING SETBACK		G	4 CUBIC YARD GARBAGE CONTAINER
	NEW CHAIN LINK FENCE		R	RECYCLE AREA
	MAIN ENTRANCE		B	NEW GALVANIZED STEEL BOLLARDS, PAINTED.
	SECONDARY ENTRANCE		LP	NEW LIGHT POST C/W CONCRETE BASE, REFER TO ELECTRICAL
	BARRIER FREE PARKING STALL		ES	EXTERIOR SIGNAGE, REFER TO ELECTRICAL
	BARRIER FREE PARKING SIGNAGE			EXISTING CONCRETE, SEE CIVIL
	VEHICULAR DIRECTION			CONCRETE, SEE CIVIL
	CONCRETE PAVERS, REFER TO LANDSCAPE DRAWINGS			EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023
	EXISTING ASPHALT, SEE CIVIL			PROPOSED TREE, SEE LANDSCAPE
	ASPHALT, SEE CIVIL			
	GRAVEL, SEE CIVIL			
	FIRE ROUTE, SEE CIVIL			

	FH	FIRE HYDRANT, SEE CIVIL
	G	4 CUBIC YARD GARBAGE CONTAINER
	R	RECYCLE AREA
	B	NEW GALVANIZED STEEL BOLLARDS, PAINTED.
	LP	NEW LIGHT POST C/W CONCRETE BASE, REFER TO ELECTRICAL
	ES	EXTERIOR SIGNAGE, REFER TO ELECTRICAL
		EXISTING CONCRETE, SEE CIVIL
		CONCRETE, SEE CIVIL
		EXISTING TREE CANOPY OUTLINE AS PER MCINTOSH PERRY SURVEY DATED AUGUST 29, 2023
		PROPOSED TREE, SEE LANDSCAPE