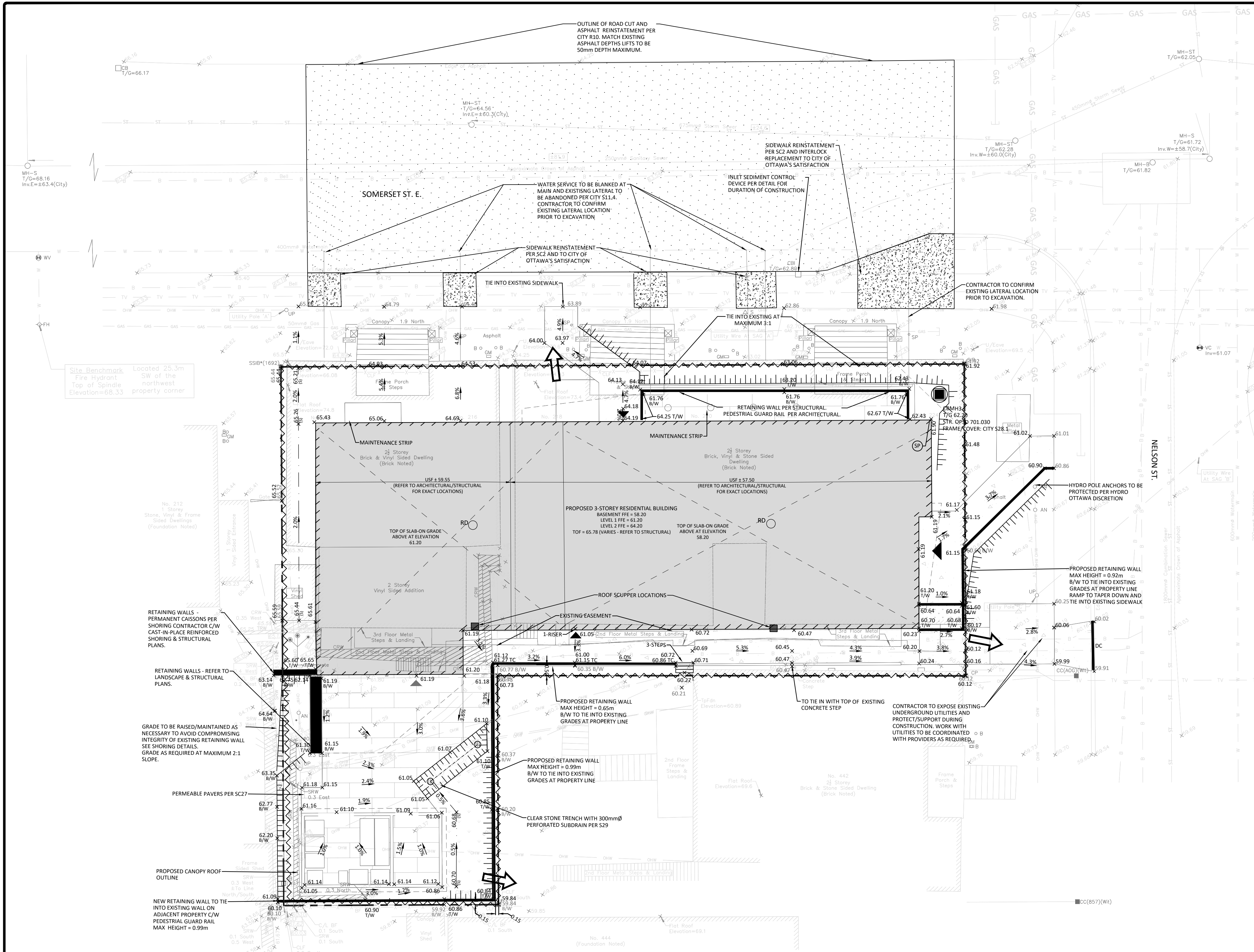


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LAST SAVED BY: J. P. L. (JPL)
LAST PRINTED: Tuesday, September 23, 2025 10:15:45 AM
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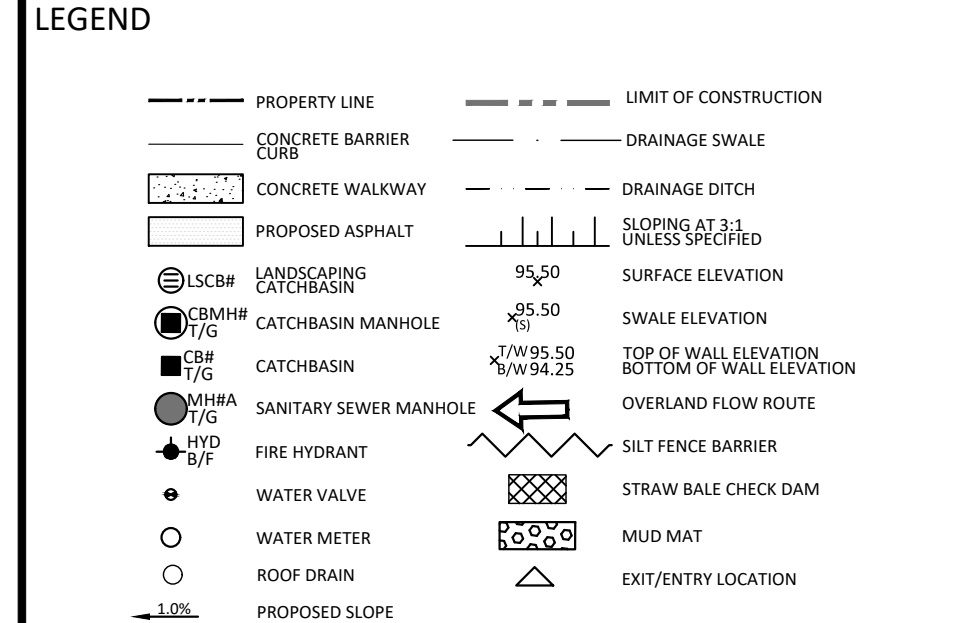
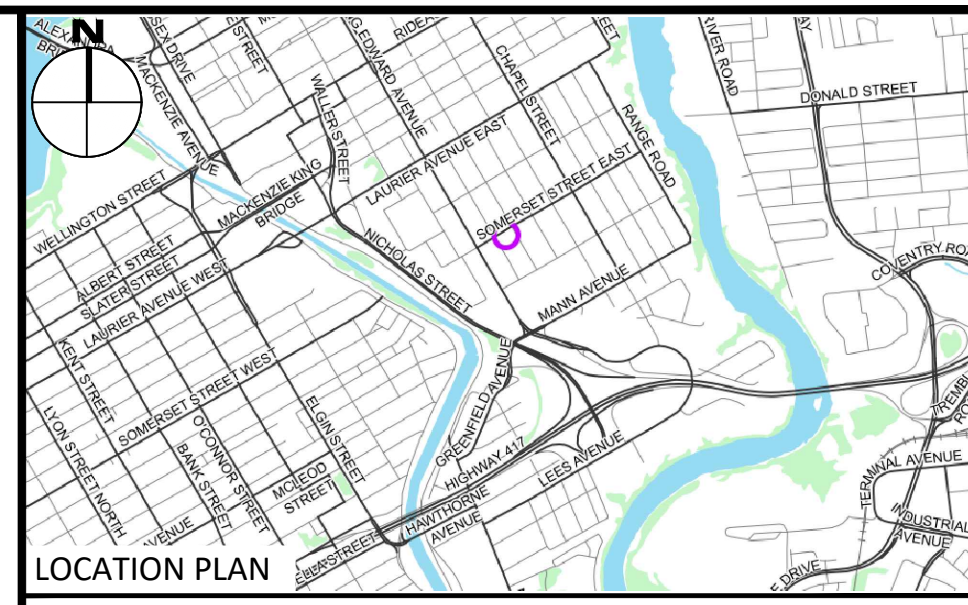


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18. THIS PLAN MUST BE READ IN CONJUNCTION WITH THE GEOTECHNICAL INVESTIGATION.
19. CONTRACTOR TO PROVIDE ALL UTILITY LOCATES FOR UNDERGROUND WORK, INCLUDING BOTH PUBLIC AND PRIVATE LOCATES.
20. CONTRACTOR SHALL HAND-DIG AROUND EXISTING UTILITIES TO AVOID DAMAGE.

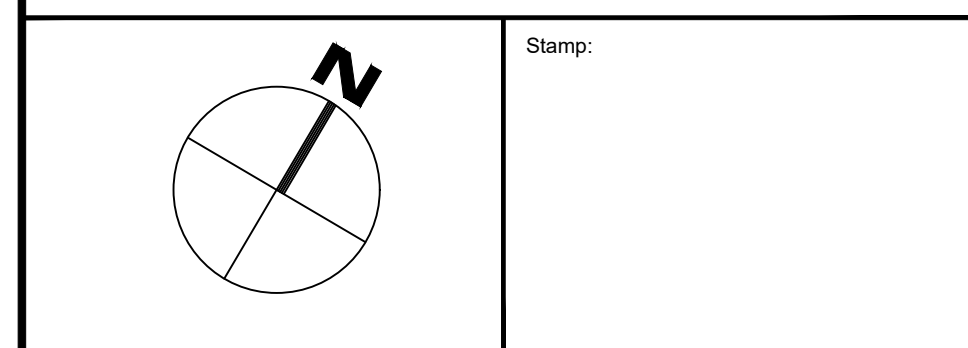
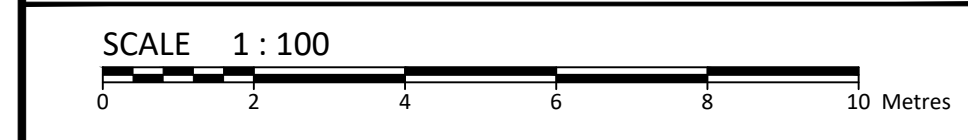
EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, TEMPORARY SEDIMENT CONTROL (GEOSOCK INSERTS WITH AN OVERFLOW UNDER GRATE OR COVER) TO BE IMPLEMENTED DURING CONSTRUCTION ON ALL PROPOSED ROAD CATCHBASINS, REARWARD CATCHBASINS AND CATCHBASIN MANHOLES AND OTHER SEDIMENT TRAPS. NO RECYCLED GEOSOCK MATERIAL SHALL BE PERMITTED FOR USE ON SITE. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.
2. AT THE DISCRETION OF THE PROJECT MANAGER OR MUNICIPAL STAFF, ADDITIONAL SILT CONTROL DEVICES SHALL BE INSTALLED AT DESIGNATED LOCATIONS.
3. FOR SILT FENCE BARRIER, USE OPSS 219.110. GEOTEXTILE FOR SILT FENCE AS PER OPSS 1860, TABLE 3.
4. EXCEPT AS PROVIDED IN PARAGRAPHS 4.1. AND 4.2. BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED.
- 4.1. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS FEASIBLE, WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED. (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
- 4.2. WHERE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED FOR LESS THAN 21 DAYS, THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
5. SEDIMENT THAT IS ACCUMULATED BY THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED IN A MANNER THAT AVOIDS ESCAPE OF THE SEDIMENT TO THE DOWNSTREAM SIDE OF THE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED TO THE LEVEL OF THE GRADE EXISTING AT THE TIME THE CONTROL MEASURE WAS CONSTRUCTED AND BE ACCORDING TO THE FOLLOWING:
 - 5.1. FOR LIGHT DUTY SEDIMENT BARRIERS, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE IT REACHES THE LESSER OF THE FOLLOWING:
 - 5.1.1. A DEPTH OF ONE-HALF THE EFFECTIVE HEIGHT OF THE CONTROL MEASURE.
 - 5.1.2. A DEPTH OF 300 MM IMMEDIATELY UPSTREAM OF THE CONTROL MEASURE.
 - 5.2. FOR ALL CONTROL MEASURES, ACCUMULATED SEDIMENT SHALL BE REMOVED AS NECESSARY TO PERFORM MAINTENANCE REPAIRS.
 - 5.3. ACCUMULATED SEDIMENT SHALL BE REMOVED PRIOR TO THE REMOVAL OF THE CONTROL MEASURE. ACCUMULATED SEDIMENT IS TO BE REMOVED AND
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MONITORED TO ENSURE THEY ARE IN EFFECTIVE WORKING ORDER. THE CONDITION OF THE CONTROL MEASURES SHALL BE MONITORED PRIOR TO ANY FORECAST STORM EVENT AND FOLLOWING A STORM EVENT.
7. DUST CONTROL MEASURES SHOULD BE CONSIDERED PRIOR TO CLEARING AND GRADING. THE USE OF WATER, CALCIUM CHLORIDE FLAKES/SOLUTION OR MAGNESIUM CHLORIDE FLAKES/SOLUTION SHALL BE USED AS DUST SUPPRESSANTS AS PER OPSS 506. THIS IS TO LIMIT WIND EROSION OF SOILS WHICH MAY TRANSPORT SEDIMENTS OFFSITE, WHERE THEY MAY BE WASHED INTO THE RECEIVING WATER BY THE NEXT RAINSTORM.
8. ALL "GREEN AREAS" TO BE TREATED WITH 150mm TOPSOIL AND SOD AS SOON AS FEASIBLE, AS PER OPSS 570.
9. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.
10. STOCKPILED MATERIAL IS TO BE STORED AWAY FROM POTENTIAL RECEIVERS (E.G. STORM CATCHBASINS, MANHOLES), AND BE SURROUNDED BY EROSION CONTROL MEASURES WHERE MATERIAL IS LEFT IN PLACE IN EXCESS OF 14 DAYS.
11. IF REQUIRED, DEWATERING/SETTLING BASINS SHALL BE CONSTRUCTED AS PER OPSS 219.240 AND LOCATED ON FLAT GRADE UPSTREAM OF OTHER EXISTING MITIGATION MEASURES. WATERCOURSES SHALL NOT BE DIVERTED, OR BLOCKED, AND TEMPORARY WATERCOURSES CROSSINGS SHALL NOT BE CONSTRUCTED OR UTILIZED, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. IF CLOSURE OF ANY PERMANENT WATER PASSAGE IS NECESSARY, THE CONTRACTOR SHALL RELEASE ANY STRANDED FISH TO THE OPEN PORTION OF THE WATERCOURSE WITHOUT HARM.
12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO OPSS 577.
13. WHERE DEWATERING IS REQUIRED, THE DISCHARGED WATER SHALL BE CONTROLLED IN ACCORDANCE WITH OPSS 538.
14. ALL SETTLING/FILTRATION BASINS SHALL BE EQUIPPED WITH TERAFIX 270R GEOTEXTILE (OR APPROVED EQUIVALENT) AND SHALL BE CLEANED AND REPLACED AS REQUIRED.



10	ISSUED FOR TENDER	08/22/2025
09	REISSUED PER CITY COMMENTS	08/20/2025
08	ISSUED FOR SUBMISSION	07/30/2025
07	ISSUED FOR SUBMISSION	05/14/2025
06	ISSUED FOR CONSTRUCTION	03/21/2025
05	ISSUED FOR PERMIT	02/27/2025
04	ISSUED FOR SUBMISSION	02/14/2025
03	ISSUED FOR SUBMISSION	12/10/2024
02	ISSUED FOR RE-ZONING	08/28/2023
01	ISSUED FOR REVIEW	08/24/2023
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work Do not scale drawings



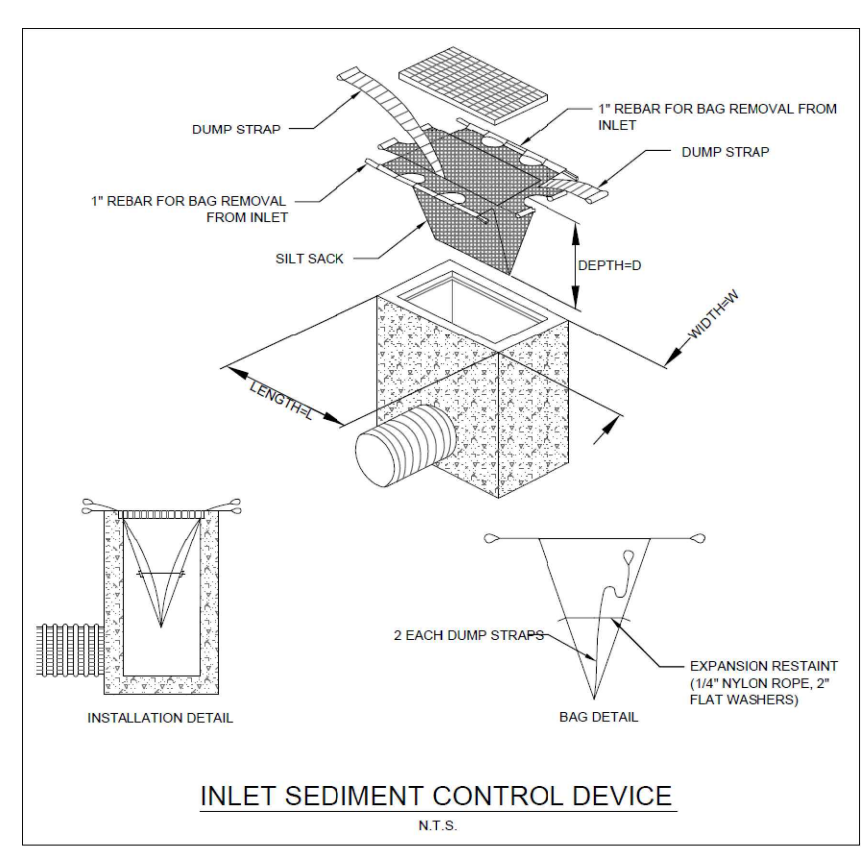
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Project:	RESIDENTIAL BUILDING 214 SOMERSET ST. E.
City:	OTTAWA
Country:	ON

Drawing Title:
SITE GRADING, DRAINAGE AND EROSION & SEDIMENT CONTROL PLAN

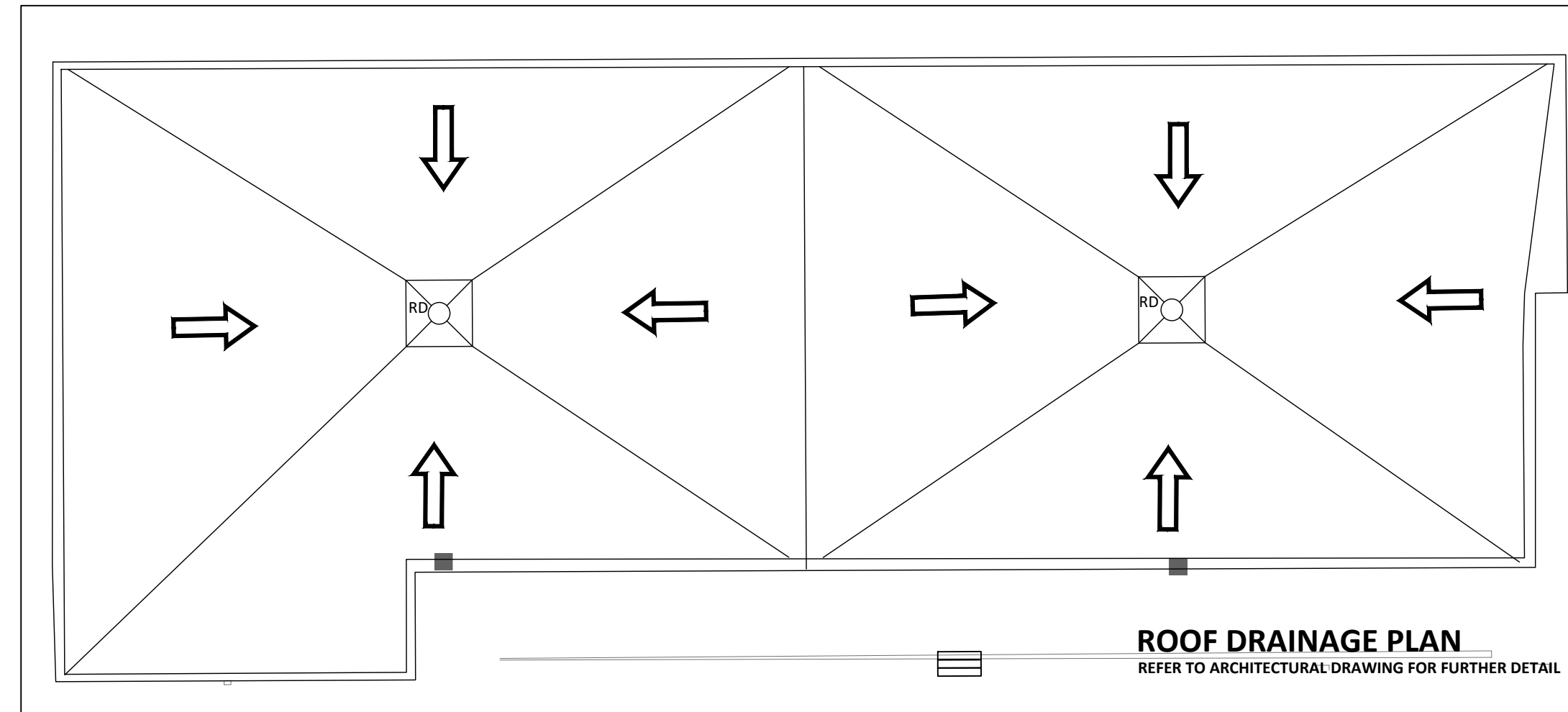
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Drawn By:	R.P.	Drawing Number:	C101
Checked By:	A.B.		
Designed By:	R.P.		

ALLISON HAMLIN
MANAGER, DEVELOPMENT REVIEW ALL WARDS
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Allison Hamlin at 11:12 am, Oct 15, 2025



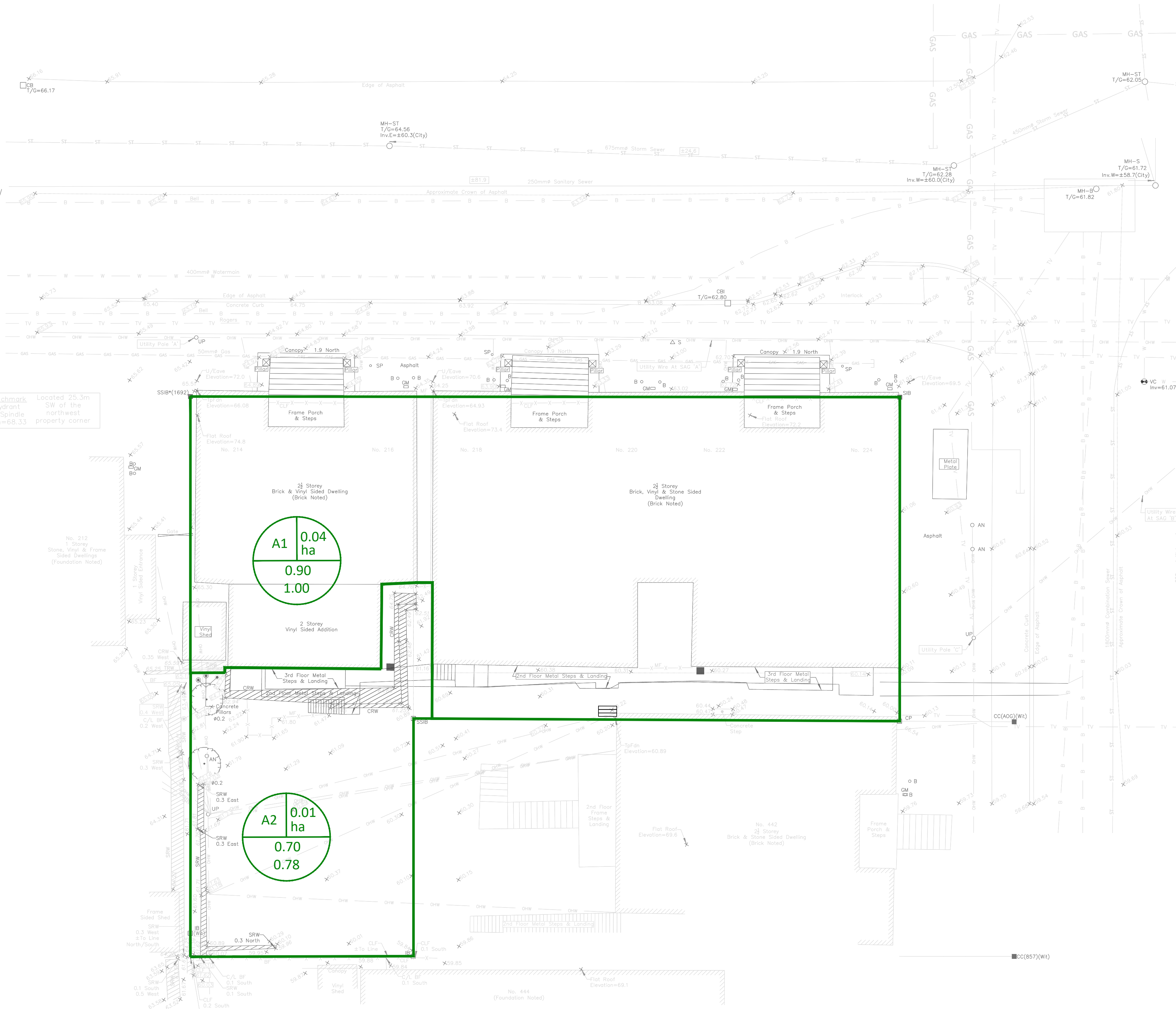
ROOF DRAIN (B1)		
TYPE OF CONTROL DEVICE	WATTS DRAINAGE - ACCUTROL WEIR	
NUMBER OF ROOF DRAINS	2	
MAXIMUM DEPTH (m)	0.055	
MAXIMUM STORAGE (m³)	11.34	
	5-YEAR	100-YR
STORAGE REQUIRED (m³)	5.6	10.8
STORAGE AVAILABLE (m³)	6.2	11.3
DEPTH OF FLOW (m)	0.030	0.055
FLOW PER ROOF DRAIN (L/s)	0.36	0.66
TOTAL FLOW	0.72	1.32



D07-12-25-0002



FILENAME: (\\Ottawa\\01 Project - Proposal\\2024\\0450\\CCO-24-0450\\CHU_Housing_214 Somerset Street East\\12 - Drawing\\CCO-24-0450_Presentation.dwg
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GENERAL NOTES

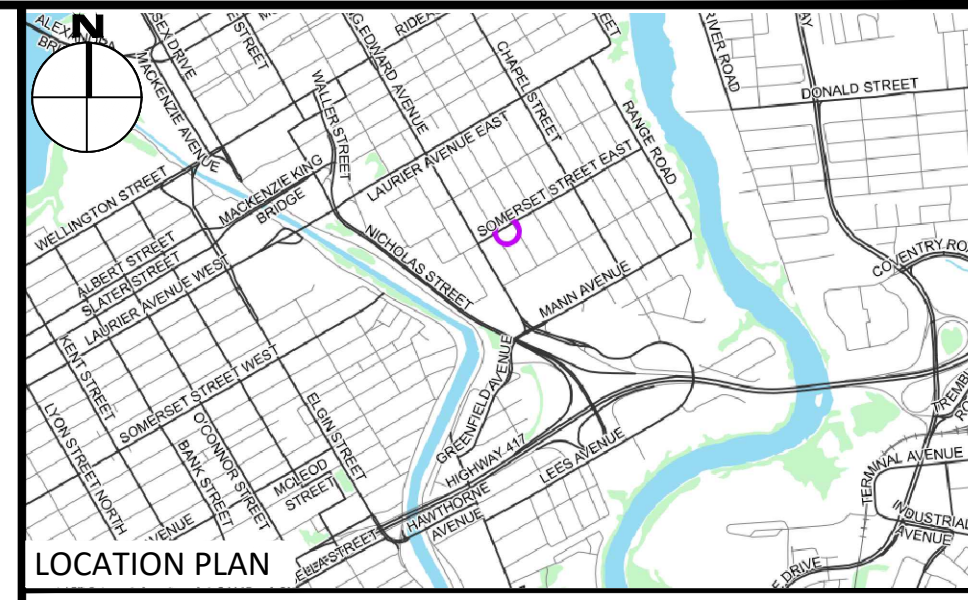
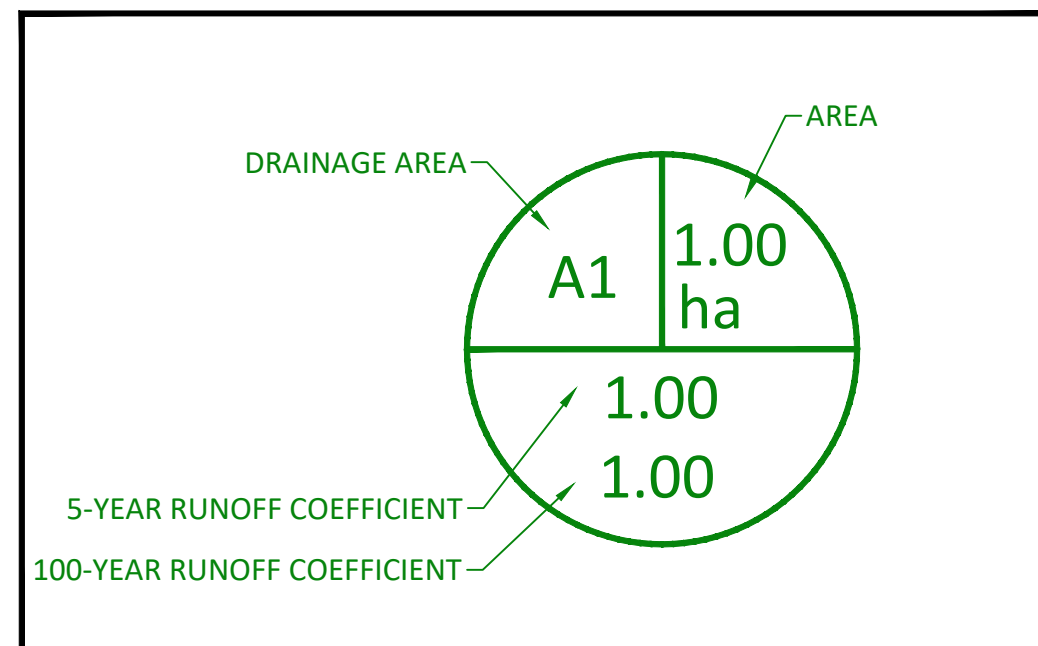
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Allison Hamlin

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DEPARTMENT, CITY OF OTTAWA

APPROVED

By Allison Hamlin at 11:12 am, Oct 15, 2025



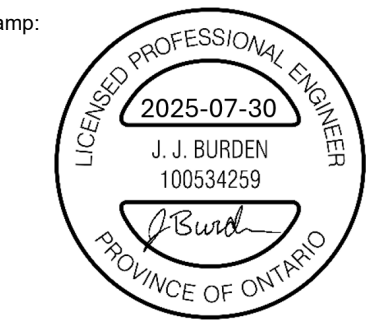
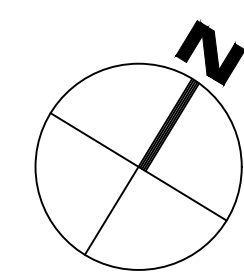
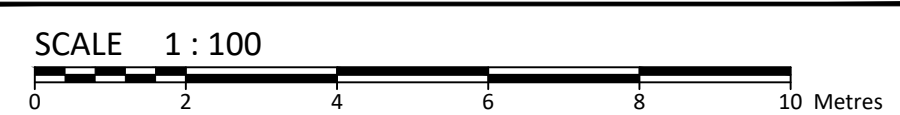
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--- CONCRETE BARRIER CURB	--- DRAINAGE SWALE
--- PROPOSED ASPHALT	--- DRAINAGE DITCH
--- LANDSCAPING LOT/ROADWAY	--- SLOPING AT 3% UNLESS SPECIFIED
--- CATCHBASIN MANHOLE	--- SURFACE ELEVATION
--- CATCHBASIN	--- SWALE ELEVATION
--- SANITARY SEWER MANHOLE	--- TOP OF WALL ELEVATION
--- FIRE HYDRANT	--- BOTTOM OF WALL ELEVATION
--- WATER VALVE	--- SILT FENCE BARRIER
--- WATER METER	--- STRAW BALE CHECK DAM
--- ROOF DRAIN	--- MUD MAT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

00	STORMWATER MANAGEMENT AREAS	2025.07.30
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work

Do not scale drawings



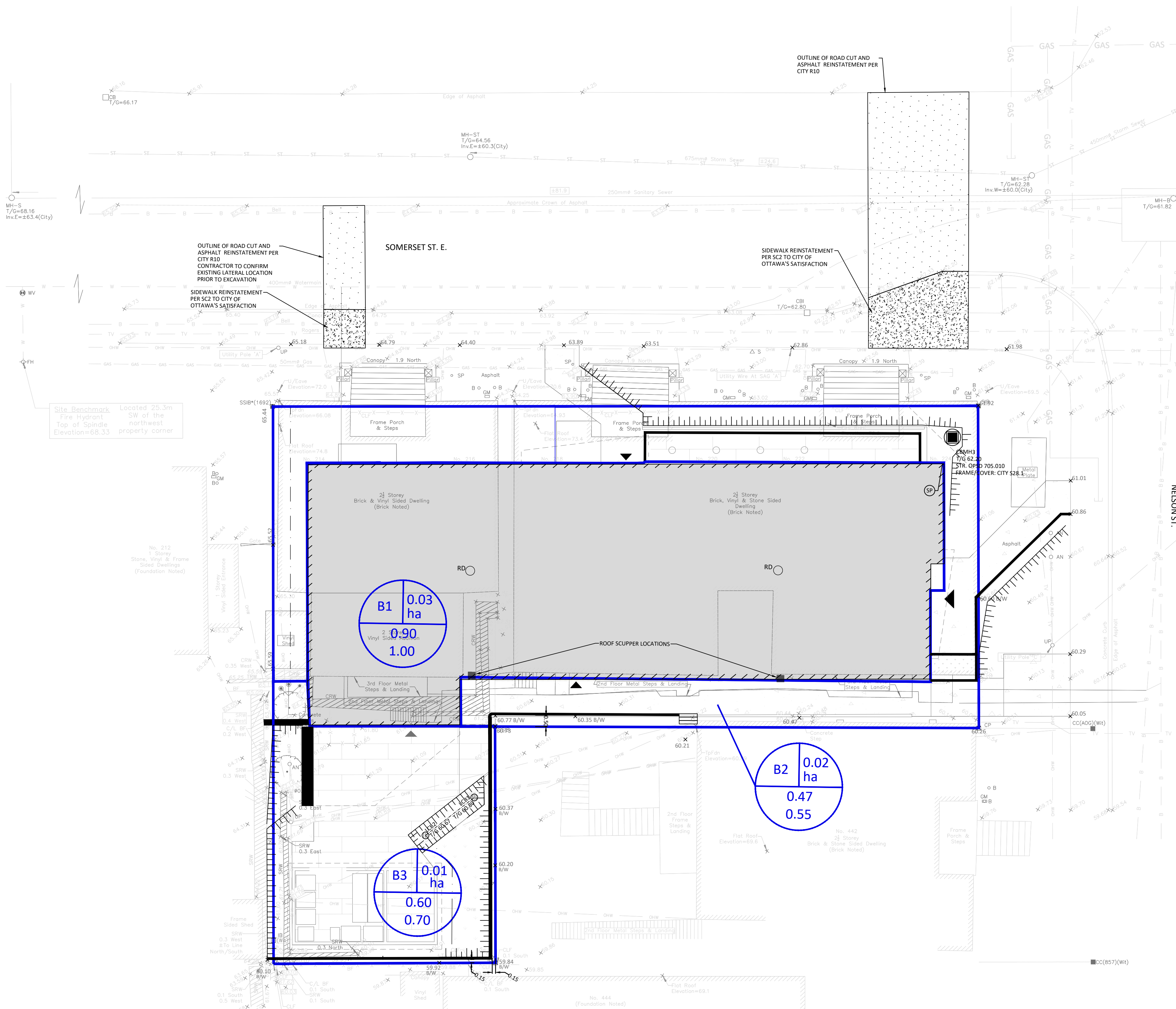
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190 O'CONNOR STREET, SUITE 100
OTTAWA, ON, K2P 2R3

Project: RESIDENTIAL BUILDING
214 SOMERSET ST E
OTTAWA ON

Drawing Title: PRE-DEVELOPMENT DRAINAGE PLAN

Scale: 1:100	Project Number: CCO-24-0450
Drawn By: R.P.	
Checked By: A.B.	Drawing Number: PRE
Designed By: R.P.	

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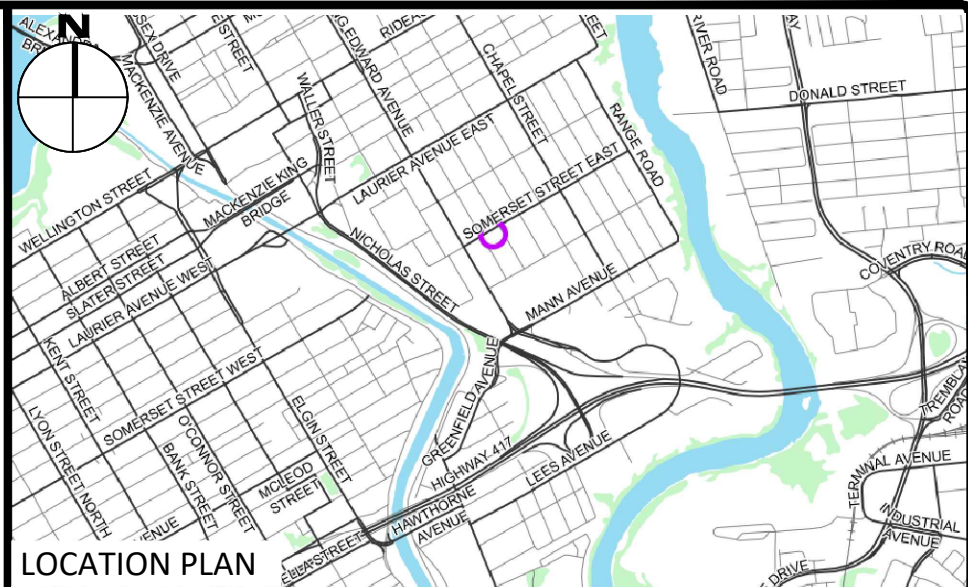
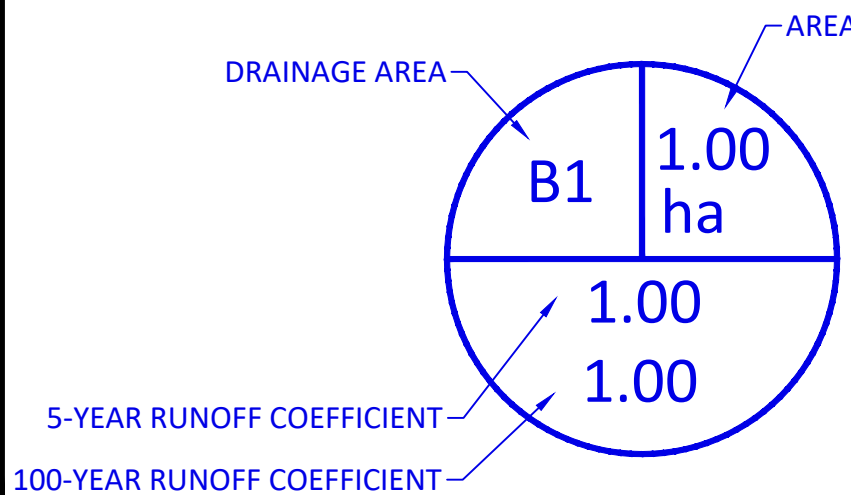
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LEGEND

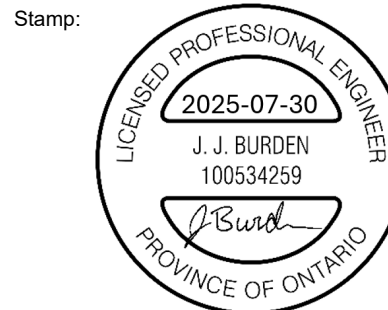
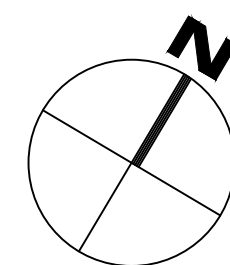
--- PROPERTY LINE	--- LIMIT OF CONSTRUCTION
--- CONCRETE BARRIER CURB	--- DRAINAGE SWALE
--- PROPOSED ASPHALT	--- DRAINAGE DITCH
--- LANDSCAPING CATCH BASIN	--- SLOPING AT 3% UNLESS SPECIFIED
--- CATCH BASIN MANHOLE	--- SURFACE ELEVATION
--- SANITARY SEWER MANHOLE	--- SWALE ELEVATION
--- FIRE HYDRANT	--- TOP OF WALL ELEVATION
--- WATER VALVE	--- BOTTOM OF WALL ELEVATION
--- WATER METER	--- OVERFLOW ROUTE
--- ROOF DRAIN	--- SILT FENCE BARRIER
	--- STRAW BALE CHECK DAM
	--- MUD MAT

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

00	STORMWATER MANAGEMENT AREAS	2025.07.30
No.	Revisions	Date

Check and verify all dimensions before proceeding with the work. Do not scale drawings.

SCALE 1 : 100
0 2 4 6 8 10 Metres



Client:	CSV ARCHITECTS 190 O'CONNOR ST, SUITE 100 OTTAWA, ON, K2P 2R3
Project:	RESIDENTIAL BUILDING 214 SOMERSET ST E
City:	OTTAWA
Drawing Title:	POST-DEVELOPMENT DRAINAGE PLAN
Scale:	1:100
Drawn By:	R.P.
Checked By:	A.B.
Designed By:	R.P.
Project Number:	CCO-24-0450
Drawing Number:	POST