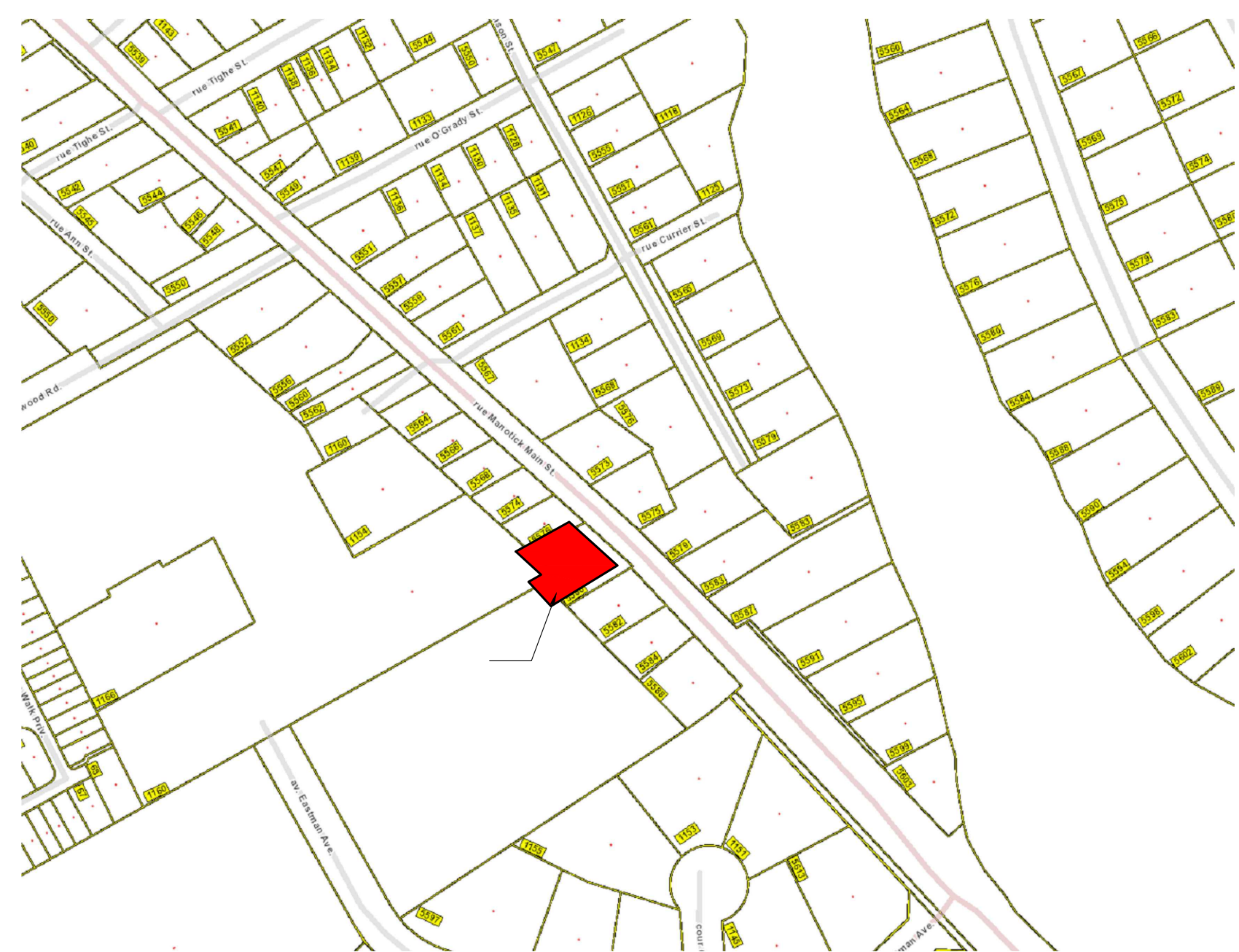




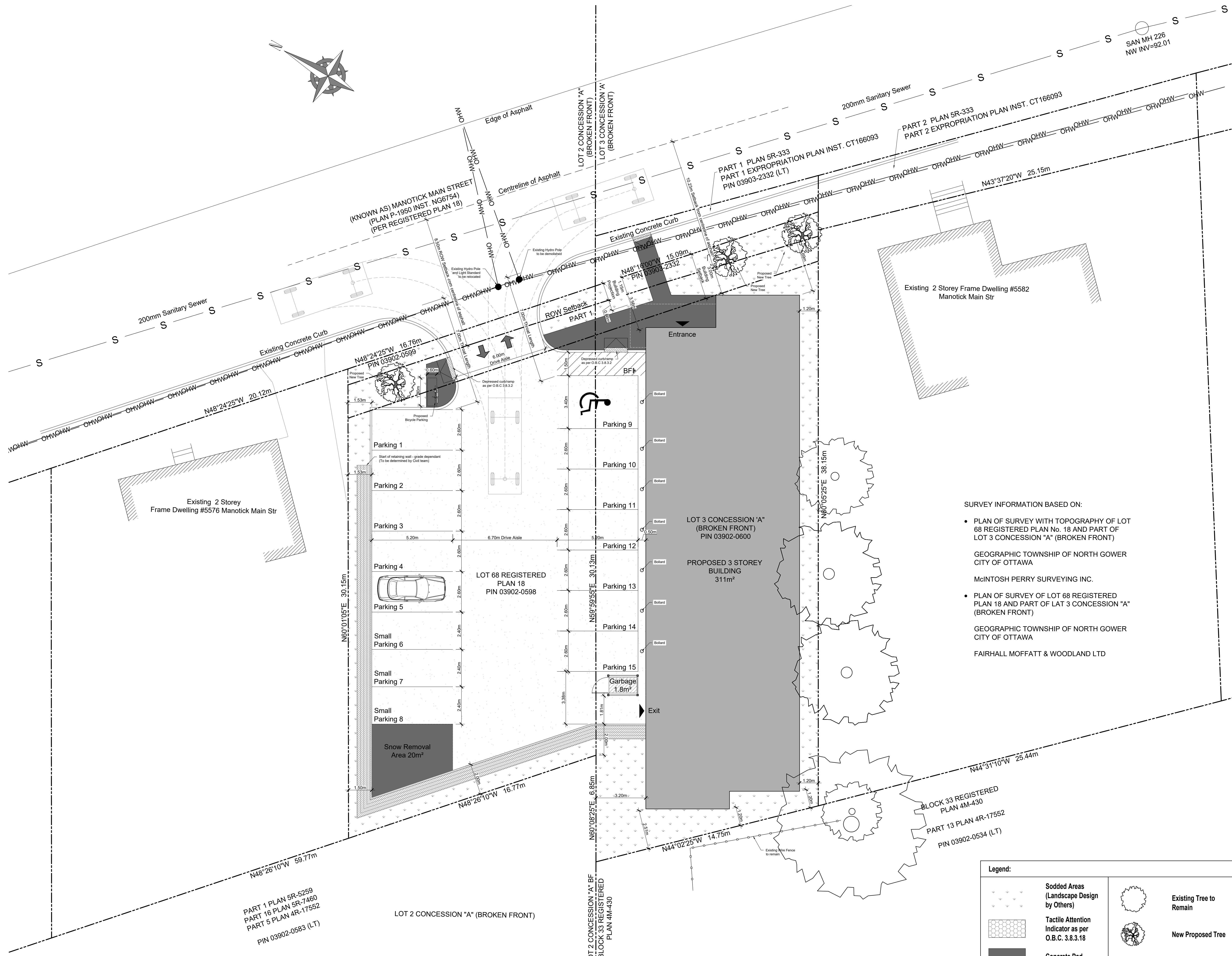
1 LOCATION PLAN
A0

Building Analysis		O.B.C. Requirements	
Building Area:		Classification:	3.2.2.62
Basement Floor Area:	312.6m ²	Group D, up to 3 Storeys	
Ground Floor Area:	312.6m ²	No. of Storeys:	3
Second Floor Area:	312.6m ²	No. of Facing Streets:	1
Third Floor Area:	131.8m ²	Sprinkler System:	No
Gross Floor Area:	1069.6m ²	Maximum Area:	1600m ²
		Construction:	Combustible or Noncombustible Construction

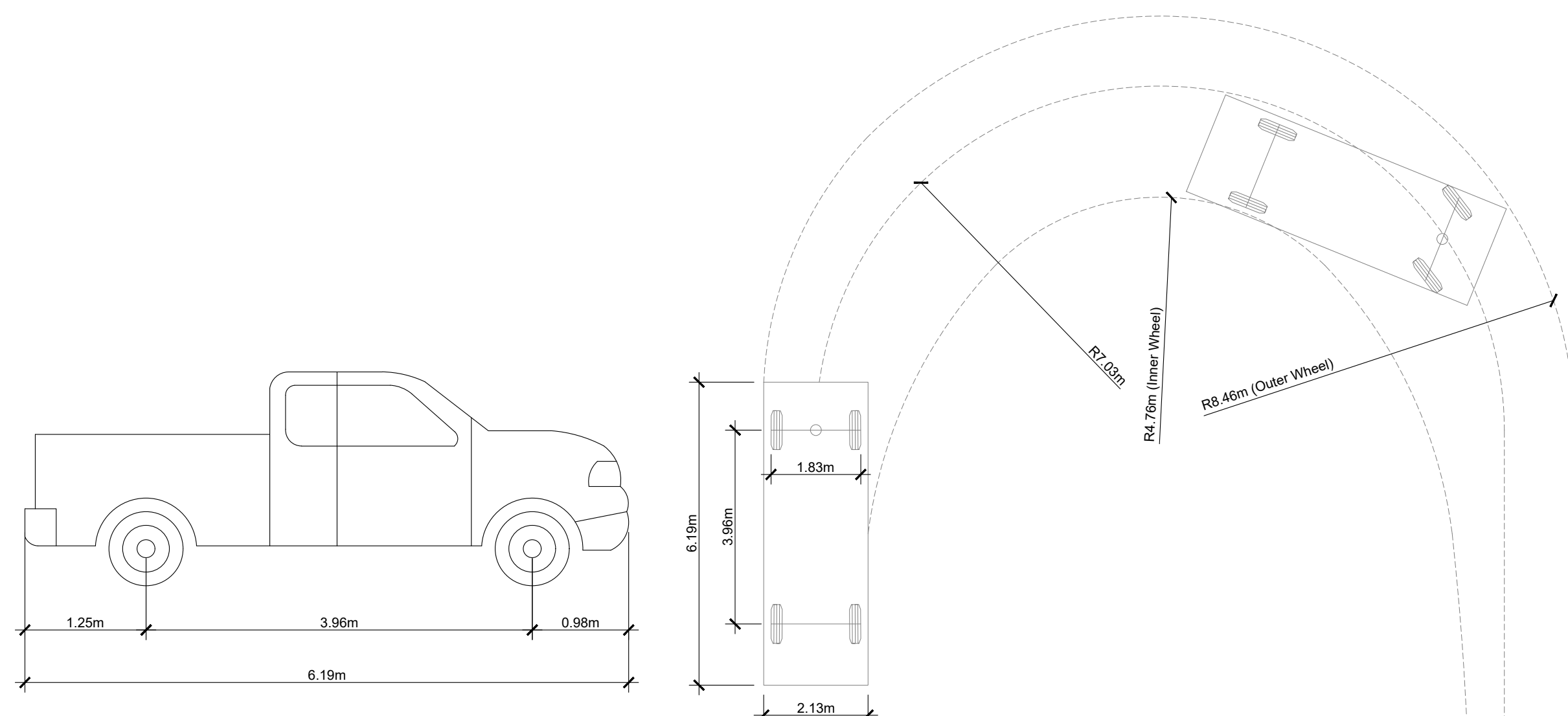
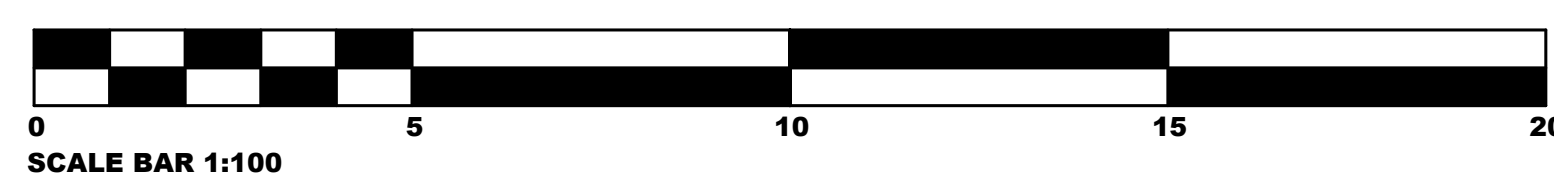
Parking Requirements				
Space:	Area Classification:	Area:	Parking Requirement:	Total Parking required:
Ground Floor Pharmacy	Retail Store	93 m ²	3.4 per 100sqm	3.162
Ground Floor Office	Office Space	46.5 m ²	2.4 per 100sqm	1.116
Ground Floor Office	Office Space	52.7 m ²	2.4 per 100sqm	1.264
Second Floor Office	Office Space	46.5 m ²	2.4 per 100sqm	1.116
Second Floor Medical Suite	Medical Facility	175.8 m ²	4 per 100sqm	7.032
Third Floor Office (Owner's)	Office Space	78.96 m ²	2.4 per 100sqm	1.895
Total:				15.585

Weekday				Saturday			
Morning	Noon	Afternoon	Evening	Morning	Noon	Afternoon	Evening
13.9	13.4	14.6	6.3	5.7	7.7	7.5	3.7

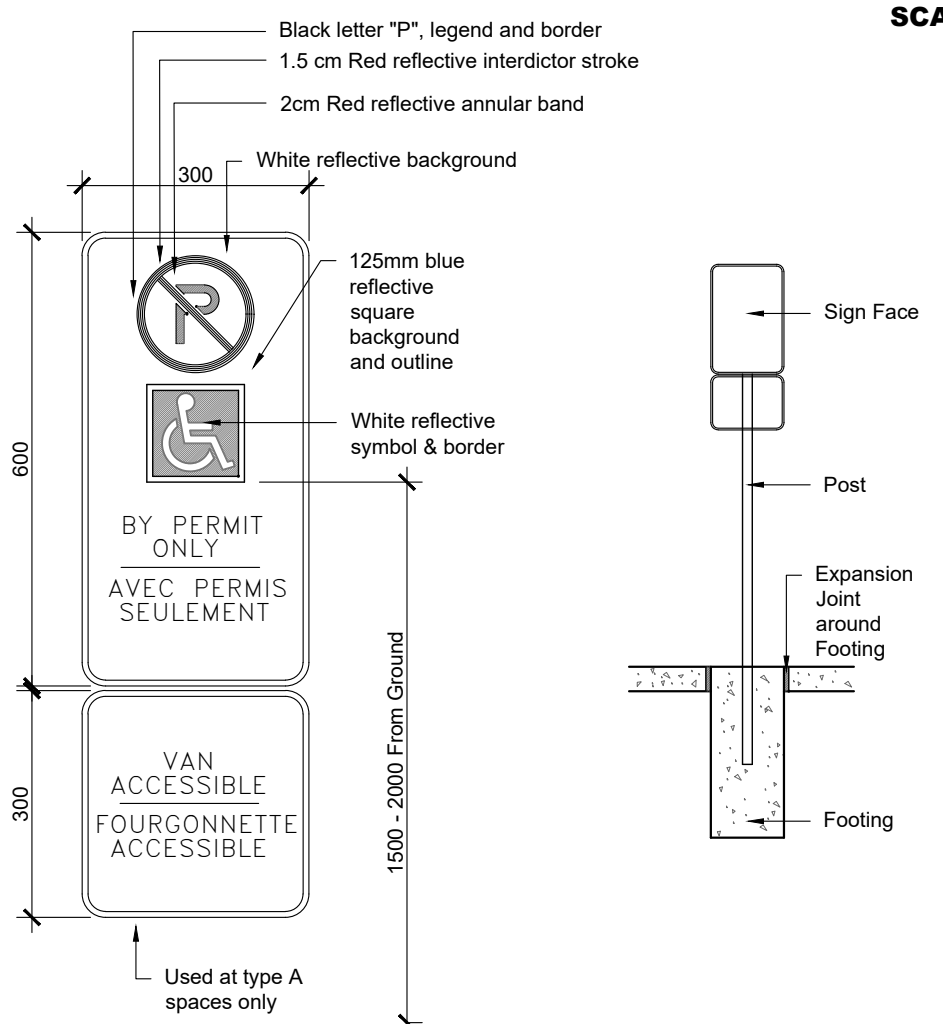
Zoning: VM9		
Mechanism	Provision	Provided
Minimum lot area	1350m ²	1016.6m ²
Minimum lot width	20m	31.85m
Minimum front yard setback	(i) minimum - no minimum (ii) maximum - 3m	3m
Right of way setback	Minimum 8.5m from centreline of road	10.23m from centreline of road
Minimum corner side yard setback	(i) minimum - 3m (ii) maximum - 4.5m	n/a
Minimum interior side yard setback	Where abutting Residential Zone: 3m Where abutting any other zone: no minimum	n/a
Minimum rear yard setback	(i) residential use building: 25% of lot depth, minimum of 7.5m (ii) non-residential use and mixed use buildings abutting a residential zone: 7.5m (iii) all other cases: no minimum	n/a
Maximum building height	(i) minimum - 6.7m (ii) maximum - 11m	12.5m (Minor Variance Required)
Minimum required parking	Minimum Required: 14.6 Parkings	15 Parkings
Barrier free parking required	1 for the first 25 parking spaces required (Traffic and Parking By-law No. 2017-301)	1 Barrier Free Parking Provided
Barrier free parking space size	3.4 m wide (Traffic and Parking By-law No. 2017-301)	3.4 m width Provided
Small parking	Up to 50% allowed: 2.4m x 4.6m	3 Small Parkings Provided (2.4m wide x 5.2m long)
Minimum required bicycle parking	1 space for every 1000m ² of GFA No minimum, except that where a yard is provided and not used for required driveways, aisles, parking or loading spaces, the whole yard must be landscaped	1 Bicycle Parking Provided
Minimum width of landscaped area		Whole yard is landscaped
Landscape area surrounding parking lot	For a parking lot containing more than 10 but fewer than 100 spaces: 3 m abutting a street and 1.5 m not abutting a street (Table 110)	Abutting the street: 8.38 m Not abutting a street: 1.5 m
Landscaping provisions for parking lot	15% Required Must be located 9m from a lot line abutting a public street and 3 m from any other lot line and screened from view with an opaque screen with a minimum height of 2 m	20.4% Provided
Outdoor garbage		Not abutting a street: 3.81 m



2 SITE PLAN
A0
SCALE: 1:100



3 TURNING RADII FOR PICKUP TRUCK
A0
SCALE: 1:100



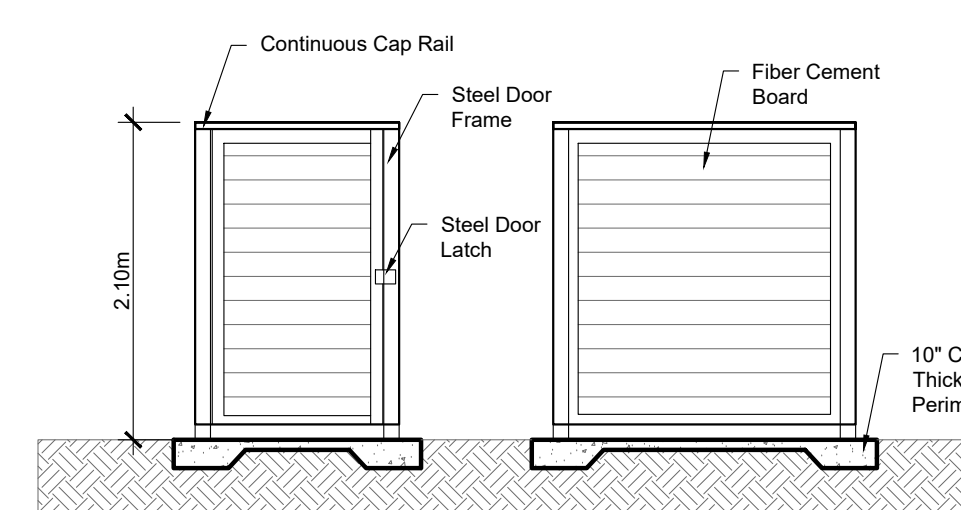
4 BARRIER FREE SIGNAGE
A0
SCALE: 1:50

All Accessible parking stalls shall be designated by one sign per bay meeting accessibility design standards:

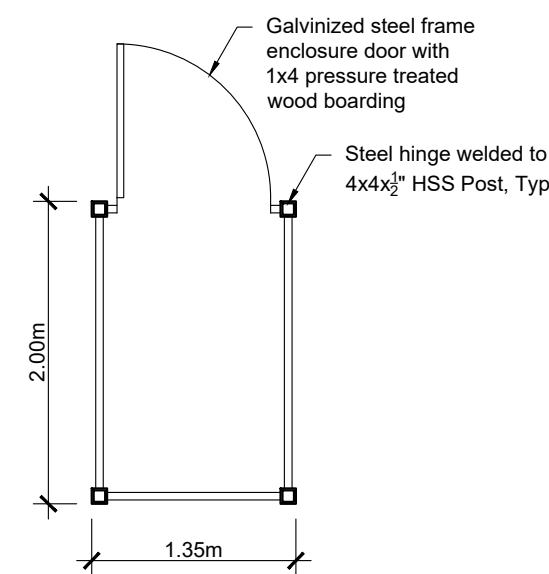
- Made with international symbol of accessibility;
- Ensure size of 300mm wide by 300mm high (minimum);
- Mount at height of 1500mm to 2000mm (centre) (B.C. wall or post mounted) from ground floor;
- Ensure a high level of contrast is provided between sign and background environment;
- Provide information text, compliant with city by law requirements; and
- Provide additional bilingual signage that identifies type A spaces as "van accessible/ fourgonnette accessible".

Signage face: 0.064mm gauge aluminum sign blank, white background with top and bottom mount holes

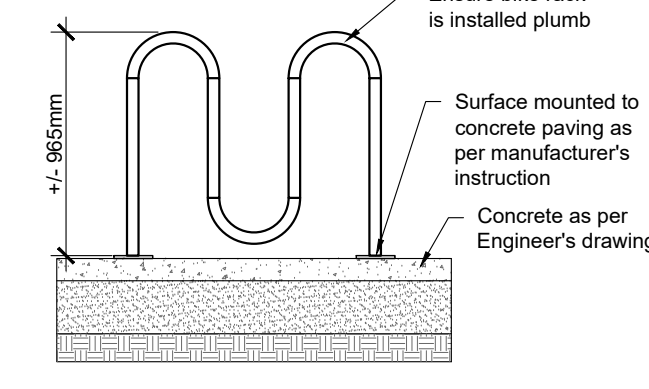
Mounting: The sign face must be secured to a post with two galvanized 12mm hex. head bolts and nuts with flat washers on both sides



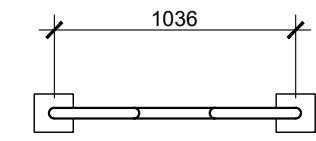
5 GARBAGE ELEVATION
A0
SCALE: 1:50



6 GARBAGE PLAN
A0
SCALE: 1:50



7 BIKE RACK ELEVATION
A0
SCALE: 1:50



8 BIKE RACK PLAN
A0
SCALE: 1:50

Legend:	
	Sodded Areas (Landscape Design by Others)
	Tactile Attention Indicator as per O.B.C. 3.8.3.18
	Concrete Pad
	Asphalt
	Retaining Wall
	Existing Tree to Remain
	New Proposed Tree
	New Shrubs
	Two way traffic
	Entrance to Building
	Barrier Free Parking Sign

SURVEY INFORMATION BASED ON:

- PLAN OF SURVEY WITH TOPOGRAPHY OF LOT 68 REGISTERED PLAN No. 18 AND PART OF LOT 3 CONCESSION "A" (BROKEN FRONT)

GEOGRAPHIC TOWNSHIP OF NORTH GOWER CITY OF OTTAWA

McINTOSH PERRY SURVEYING INC.

- PLAN OF SURVEY OF LOT 68 REGISTERED PLAN 18 AND PART OF LAT 3 CONCESSION "A" (BROKEN FRONT)

GEOGRAPHIC TOWNSHIP OF NORTH GOWER CITY OF OTTAWA

FAIRHALL MOFFATT & WOODLAND LTD

GENERAL NOTES:

- Do not scale drawings.
- The contractor shall check and verify all dimensions on site and report all discrepancies to the Architect.
- All work shall comply with the Ontario Building Code and the requirements of all authorities having jurisdiction.
- This drawing is the exclusive property of Ignite Architecture Inc. copyright reserved.

Note:
This Drawings shall be used only for the Site Plan Application, it is not to be used for Permit or Construction purposes.

SEAL:



DRAWING REVISIONS

No.	Issued for:	Date:
1	Issued for Site Plan Application	19 Feb 2025
2	Issued for design review	01 Aug 2025

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Manotick
ON K4M 1E2

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www.arcadis.com

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Ottawa, ON K2S 0A6
Phone: 613 - 912 - 1832
Email: nicole@ignitearchitecture.ca

ENGINEERS:

Capacity Engineering Limited
LTD.
www.celottawa.ca
505 March Rd, Suite 400,
Ottawa ON K2K 3A4

LRJ
5430 Canoe Rd., Ottawa ON K1J 9G2
www.lrt.ca 613-842-3434

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100-600 Terry Fox Dr., Kanata, ON K2L 4B6
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DRAWING TITLE:

PROPOSED SITE PLAN
AND ELEVATIONS

PROJECT:	DWG NO:
2208	A0

FILE NO:
D07-12-25-0022
PLAN # 19254