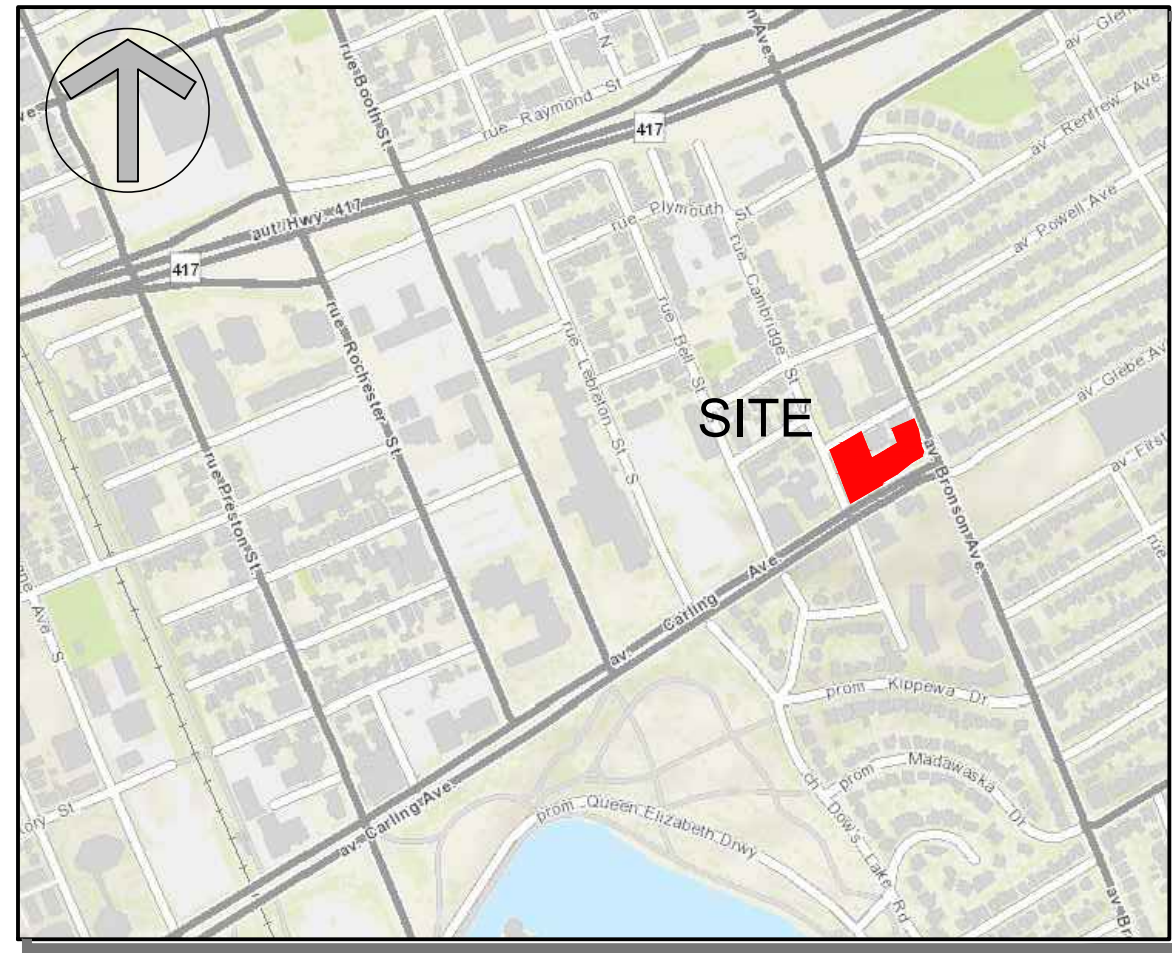
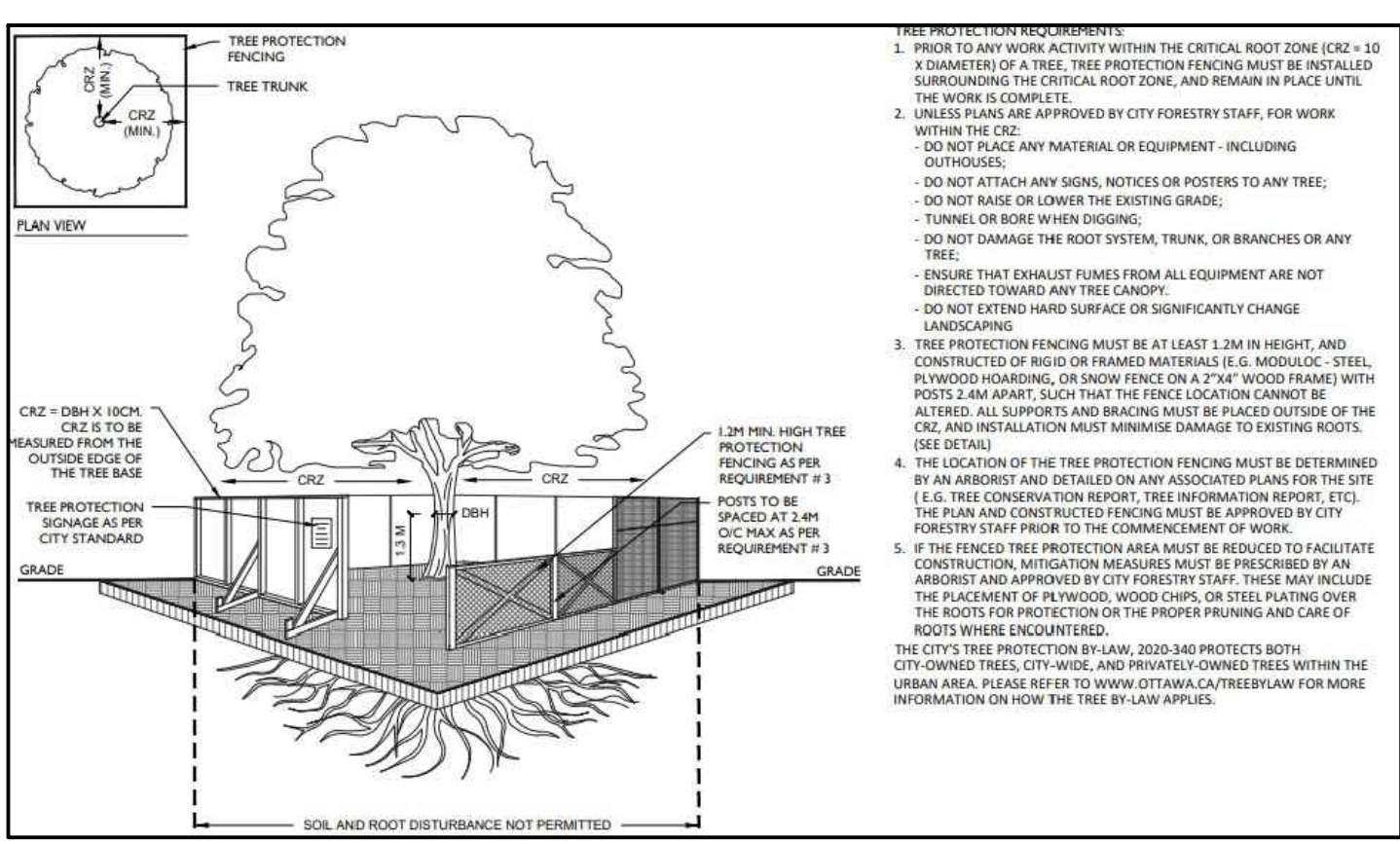




KEY MAP



CITY OF OTTAWA: TREE PROTECTION FENCE DETAIL

CIVIL ENGINEER
CIMA+ Engineering Ltd.
240 Catherine Street, Suite 110
Ottawa, ON, Canada K2P 2G8
Tel: (613) 860-2462
Fax: (613) 860-1870
E-Mail: Eric.Potvin@cima.ca

URBAN PLANNER
Fotenn Consulting
396 Cooper Street
Suite 300
Ottawa, ON K2P 2H7
Tel: 613.612.5959
T: 613.730.5709
E-Mail: bolduc@fotenn.com

PROJECT DEVELOPER
KTS Ontario properties
265 Carling Ave unit 401
Ottawa, ON, K1S 2E1
Tel: 613.612.5959
E-Mail: fadi@katasa.ca

PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	AM(2022) H(28)	SITE AREA	0.166 ha.
			1,659.3 sq. m.
			17,860 sq. ft.
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT - EXISTING TO REMAIN		28.0m	28.0m
FRONT YARD SETBACK - EXISTING TO REMAIN		0	16.4m
CORNER YARD SETBACK - EXISTING TO REMAIN		0	0.5m
REAR YARD SETBACK - ABUTTING RESIDENTIAL ZONE - EXISTING TO REMAIN		7.5	3.4m
REAR YARD SETBACK - EXISTING TO REMAIN		0	0.0m
RESIDENTIAL UNIT COUNT		-	70
COMMERCIAL AREA		-	187.4m ²
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT		29	29
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT		6	6
PARKING - COMMERCIAL ON GROUND FLOOR - NOT REQUIRED		0	0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		35	3
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA		3	3
COMMERCIAL LOADING SPACE		0	0
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH		6.0m / 6.7m	6.0m / 6.7m
AMENITY AREA - TOTAL PER UNIT - 6.0m ²		420.0m ²	450.0m ²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²		210.0m ²	450.0m ²

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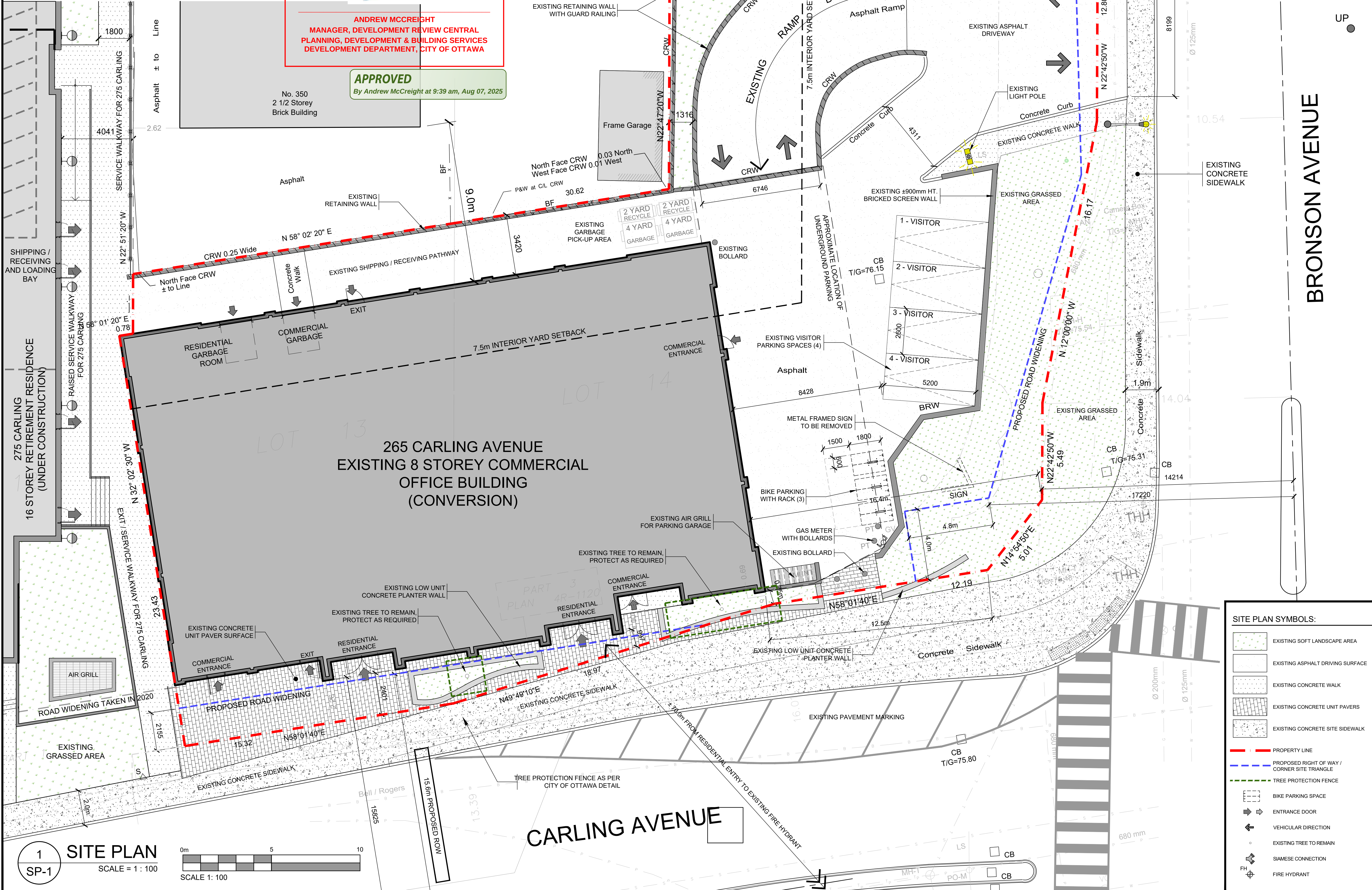
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- DETAIL NUMBER
- TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

APPROVED
By Andrew McCreight at 9:39 am, Aug 07, 2025

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, DEVELOPMENT & BUILDING SERVICES
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



BUILDING STATISTICS	
GROSS BUILDING AREA (CITY OF OTTAWA'S DEFINITION)	
PARKING LEVEL - STAGE #1	0.0 sq. m.
GROUND FLOOR - COMMERCIAL STAGE #2	187.4 sq. m.
2nd to 5th FLOOR - STAGE #1	2,017 sq. ft.
6th to 8th FLOOR - STAGE #2	2,504 sq. ft.
6th to 8th FLOOR - STAGE #2	1,498.5 sq. ft.
6th to 8th FLOOR - STAGE #2	16,128 sq. ft.
TOTAL AREA	3,683.9 sq. m.
	39,649 sq. ft.

UNIT STATISTICS	
STUDIO UNIT	
1 BEDROOM UNIT	2
2 BEDROOM UNIT	2
TOTAL	10
RESIDENTIAL UNIT AREA	
COMMERCIAL RETAIL / PSB / OFFICE	3,498.5 sq. m.
	37,632 sq. ft.
	187.4 sq. m.
	2,017 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT AFTER 12
VISITOR	-0.1 PER UNIT AFTER 12
1st FL. COMMERCIAL	-NOT REQUIRED
TOTAL	35
PROVIDED	
265 CARLING - OFFICE	-1.0 PER 100m ² OF G.F.A.
265 CARLING - RETAIL	-1.0 PER 100m ² OF G.F.A.
265 CARLING - MEDICAL	-2.0 PER 100m ² OF G.F.A.
265 CARLING - RESIDENCE	-0.5 PER UNIT AFTER 12
265 CARLING - VISITOR	-0.1 PER UNIT AFTER 12
TOTAL	35

LOCATION OF PARKING	
265 CARLING - AT GRADE	4
265 CARLING - P1 LEVEL	14
275 CARLING - P1 LEVEL	17
TOTAL	35
BICYCLE PARKING	
REQUIRED	
DWELLING UNIT	-0.5 PER UNIT (70 UNITS)
COMMERCIAL - OFFICE	-1.0 PER 250m ² OF G.F.A.
COMMERCIAL - RETAIL PSB	-1.0 PER 250m ² OF G.F.A.
TOTAL	37
PROVIDED	
UNDERGROUND	37
EXTERIOR AT GRADE	6
TOTAL	43

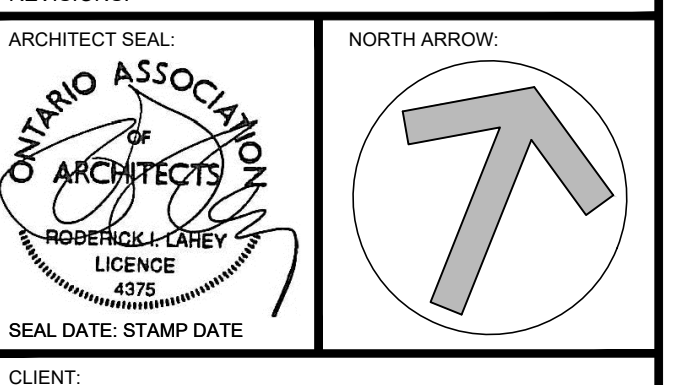
AMENITY SPACE	
STAGE 1: 40 UNITS - REQUIRED 6.0m ² PER = 240.0 sq. m.	
STAGE 2: 30 UNITS - REQUIRED 6.0m ² PER = 180.0 sq. m.	
EAST ROOF COMMUNAL TERRACE (STAGE 1) = 150.0 sq. m.	
WEST ROOF COMMUNAL TERRACE (STAGE 1) = 140.0 sq. m.	
1st FLOOR AMENITY ROOM (STAGE 2) = 160.0 sq. m.	
TOTAL (ALL COMMUNAL) = 450.0 sq. m.	
REQUIRED - 6.0m ² PER UNIT (70) = 420.0 sq. m.	
REQUIRED COMMUNAL @ 50% = 210.0 sq. m.	

WASTE REQUIREMENT	
(70 UNITS)	
GARBAGE	-0.11 PER UNIT 8 YARDS
RECYCLING GMP	-0.018 PER UNIT 2 YARDS
RECYCLING FIBER	-0.038 PER UNIT 3 YARDS
COMPOST	-240L PER 50 UNITS 2

SITE AREA	
EXISTING BUILDING = 671.0 sq. m. 40.5%	
EXISTING SURFACE = 655.2 sq. m. 39.5%	
EX. LANDSCAPE OPENED SPACE = 333.1 sq. m. 20.0%	
TOTAL = 1,659.3 sq. m. 100.0%	

SITE PLAN SYMBOLS:	
EXISTING SOFT LANDSCAPE AREA	EXISTING ASPHALT DRIVING SURFACE
EXISTING CONCRETE WALK	EXISTING CONCRETE UNIT PAVERS
EXISTING CONCRETE SITE SIDEWALK	PROPERTY LINE
PROPOSED RIGHT OF WAY / CORNER SITE TRIANGLE	TREE PROTECTION FENCE
BIKE PARKING SPACE	ENTRANCE DOOR
VEHICULAR DIRECTION	EXISTING TREE TO REMAIN
SIAMSESE CONNECTION	FIRE HYDRANT

REVISIONS:	
No.	DESCRIPTION
1	ISSUED FOR SPC COMMENT RESPONSE 4
2	ISSUED FOR SPC COMMENT RESPONSE 3
3	ISSUED FOR ROUND 2 COMMENT RESPONSE
4	ISSUED FOR ROUND 1 COMMENT RESPONSE
5	REVISED AS PER CITY COMMENTS
6	ISSUED FOR PHASE 3 PRE-CONSULTATION
7	ADDED ROW PROTECTION
8	REVISED FOR FULL CONVERSION
9	ISSUED FOR CONSULTANT / OWNER REVIEW
10	ISSUED FOR PRE CONSULTATION
No.	DESCRIPTION
DATE	

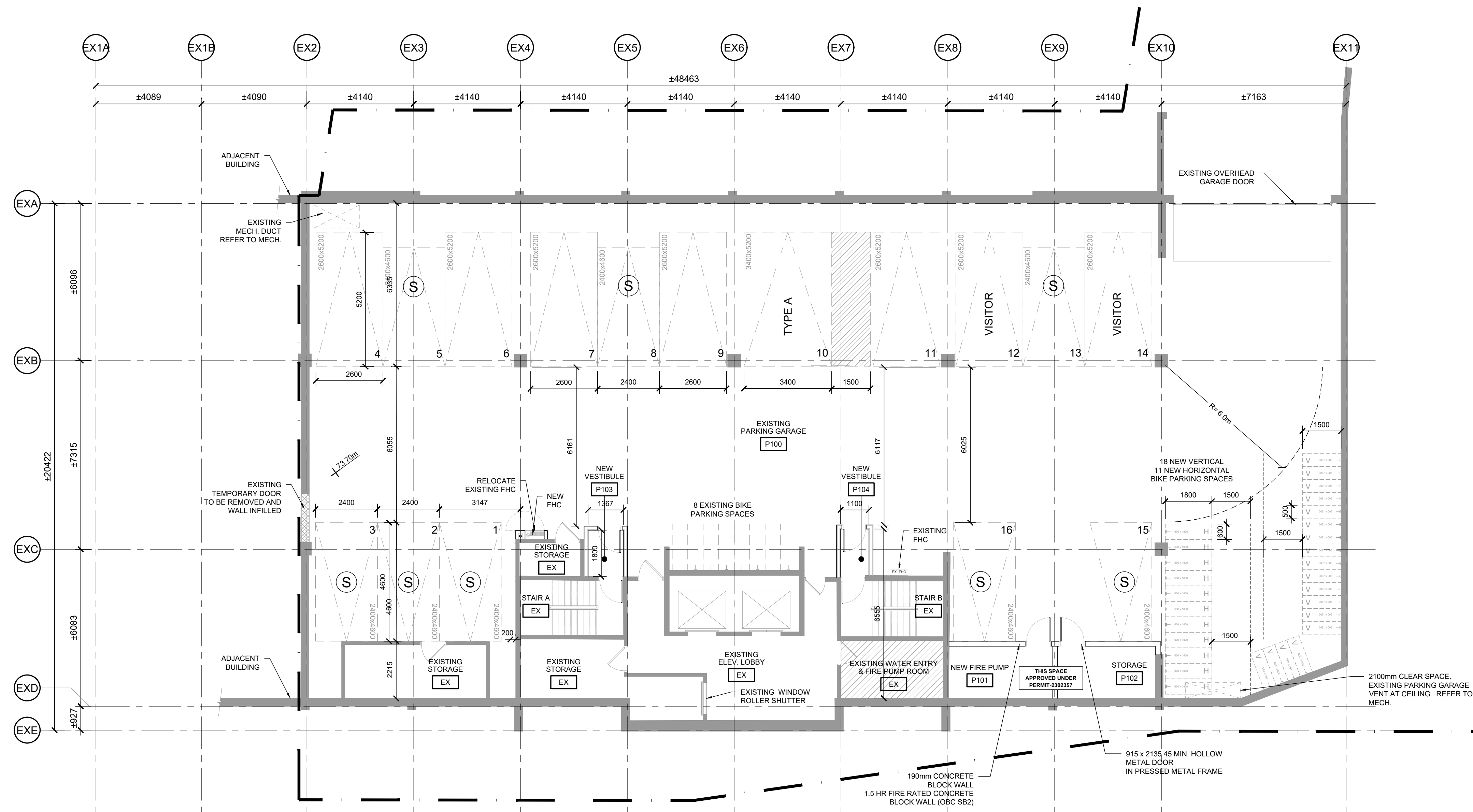


PROJECT TITLE:
265 CARLING AVENUE

OTTAWA **ONTARIO**

SHEET TITLE:
SITE PLAN

DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:150	SHEET No. SP-1
PROJECT No. 2316	



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00—DETAIL NUMBER

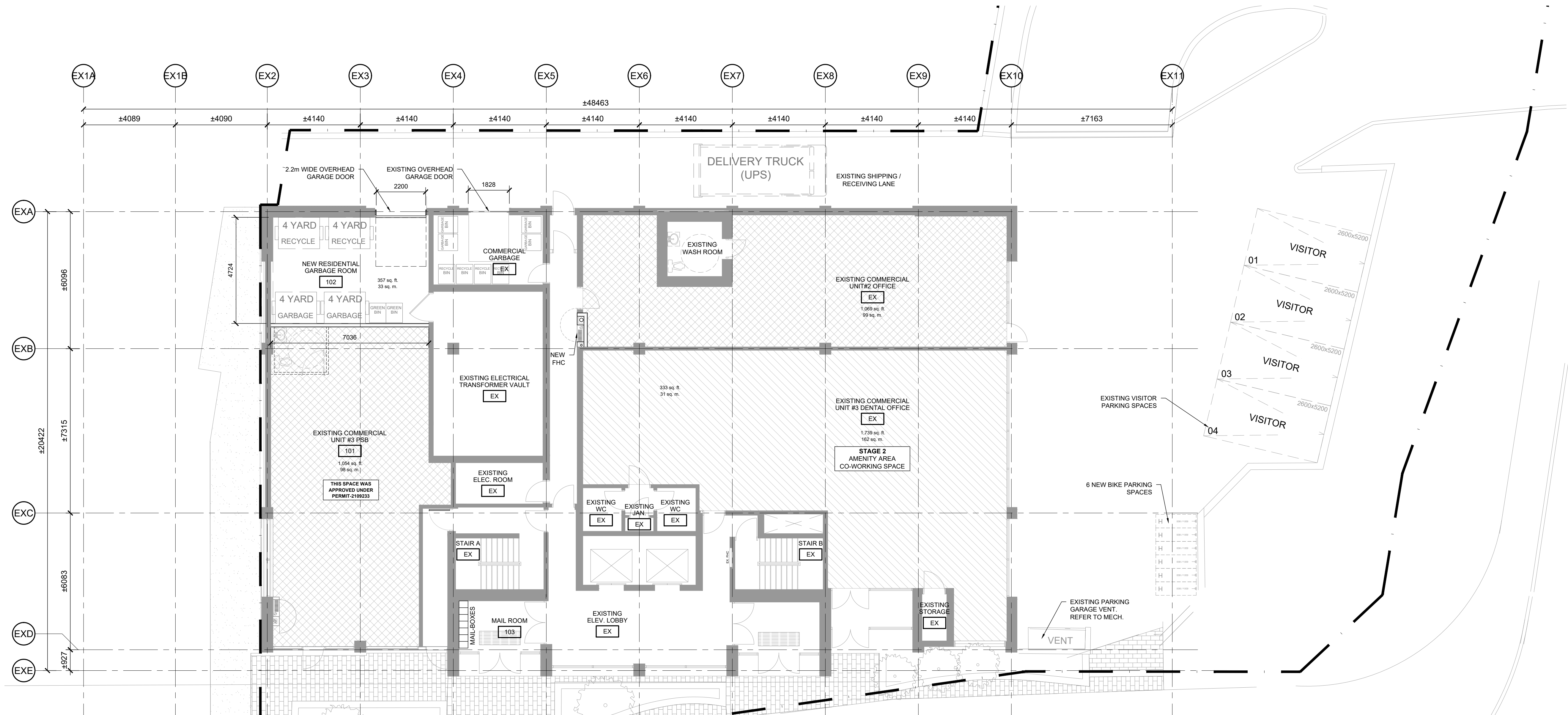
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SCALE

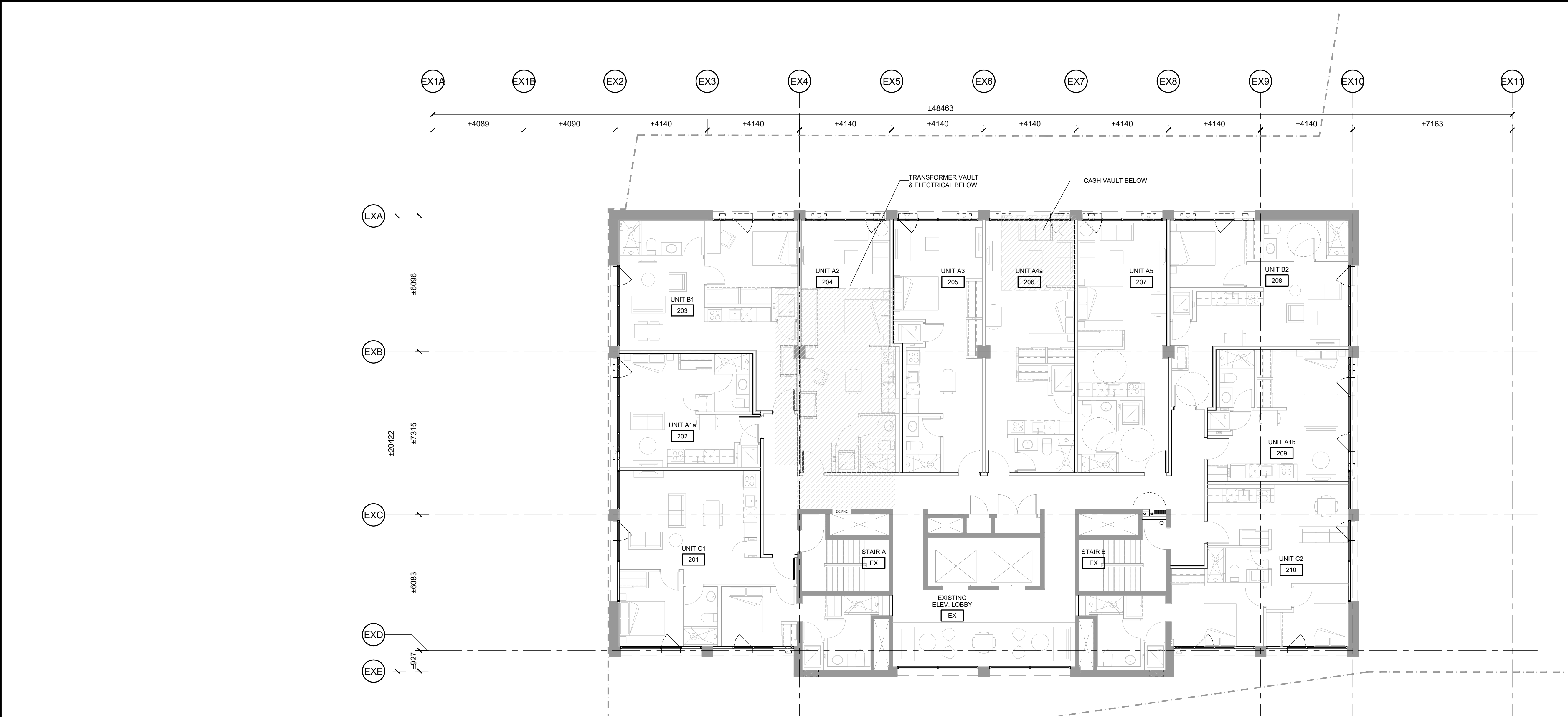
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—DETAIL CROSS REFERENCE PAGE

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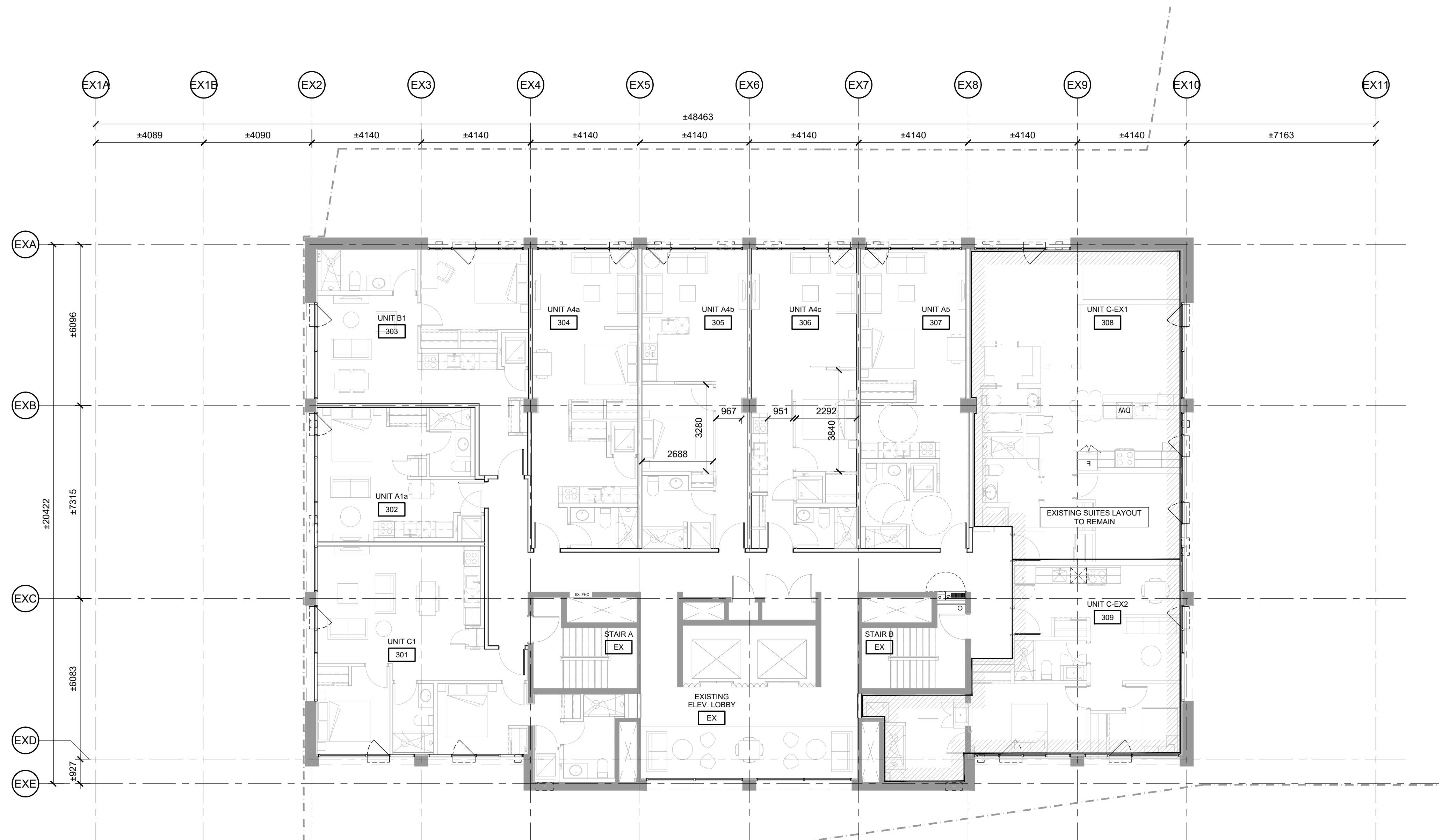


SCALE = 1 : 100



1 2ND FLOOR PLAN - STAGE 1
A101

SCALE = 1:100



2 3RD FLOOR PLAN - STAGE 1
A101

SCALE = 1:100

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LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
4	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

ARCHITECT: 
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

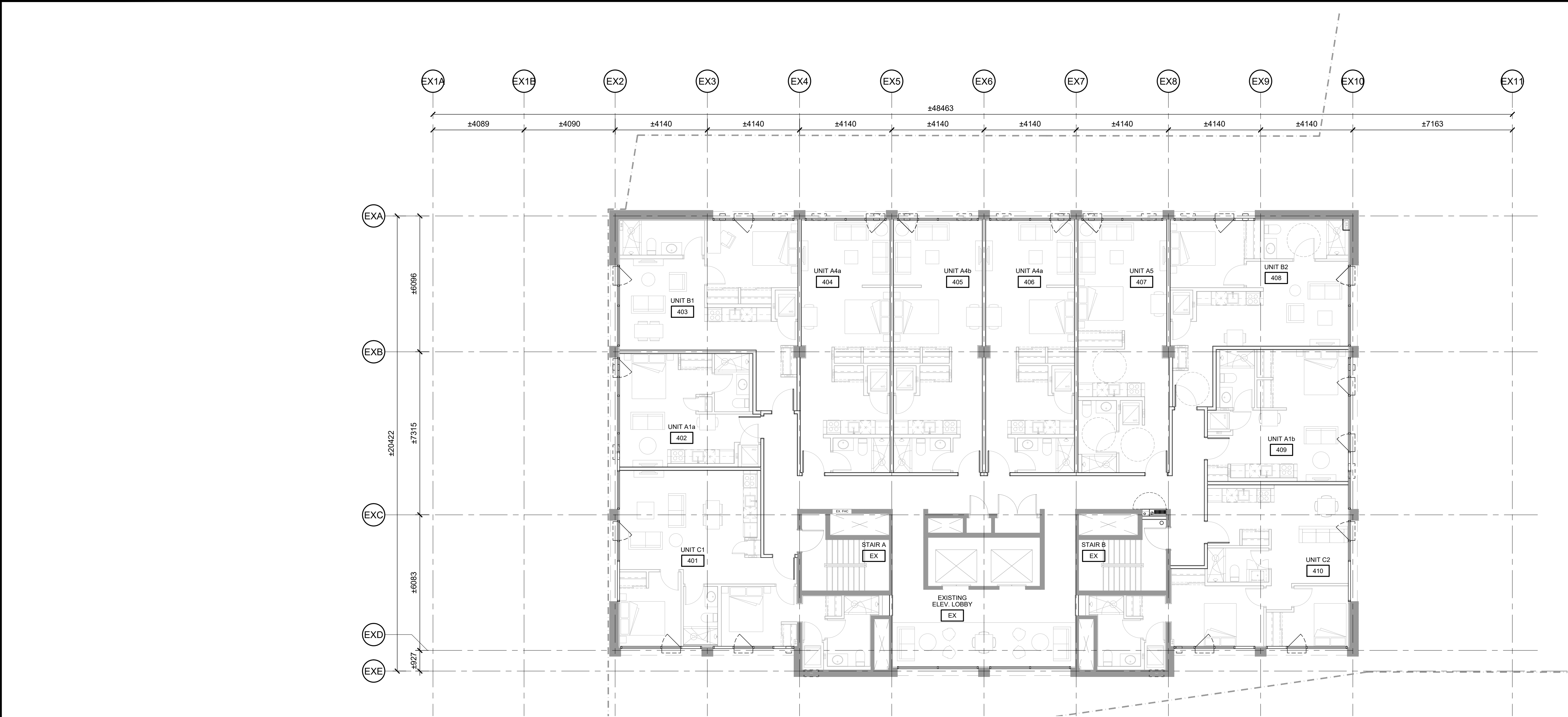
PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
2ND & 3RD FLOOR PLANS

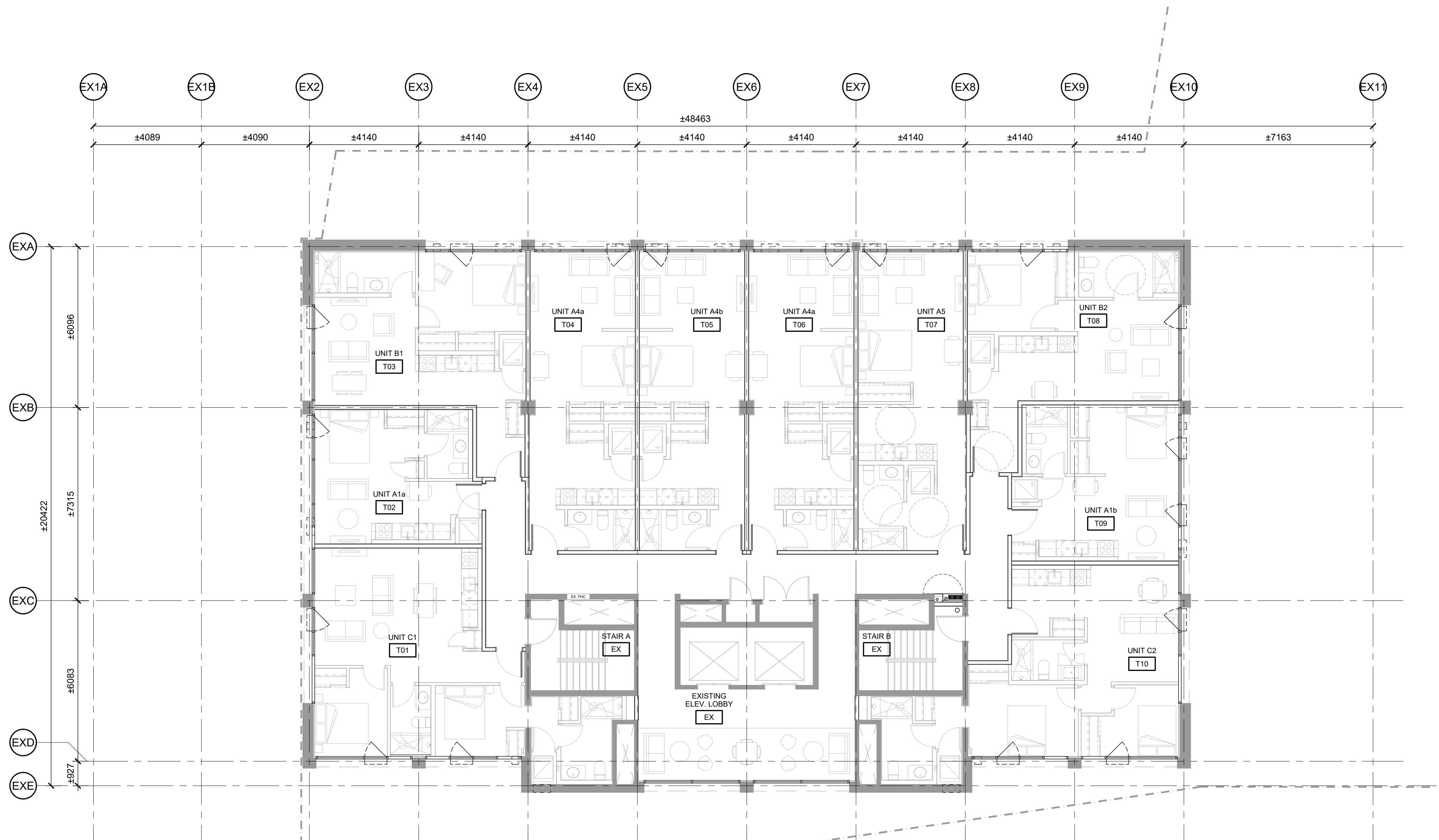
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PROJECT No: 2316
CHECKED: RD
SHEET No: **A101**

D07-12-25-0015



1 4TH TO 5TH FLOOR PLAN - STAGE 1

SCALE = 1 : 100



2 6TH TO 7TH FLOOR PLAN - STAGE 2

SCALE = 1 : 100

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LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

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ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

ARCHITECT:
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

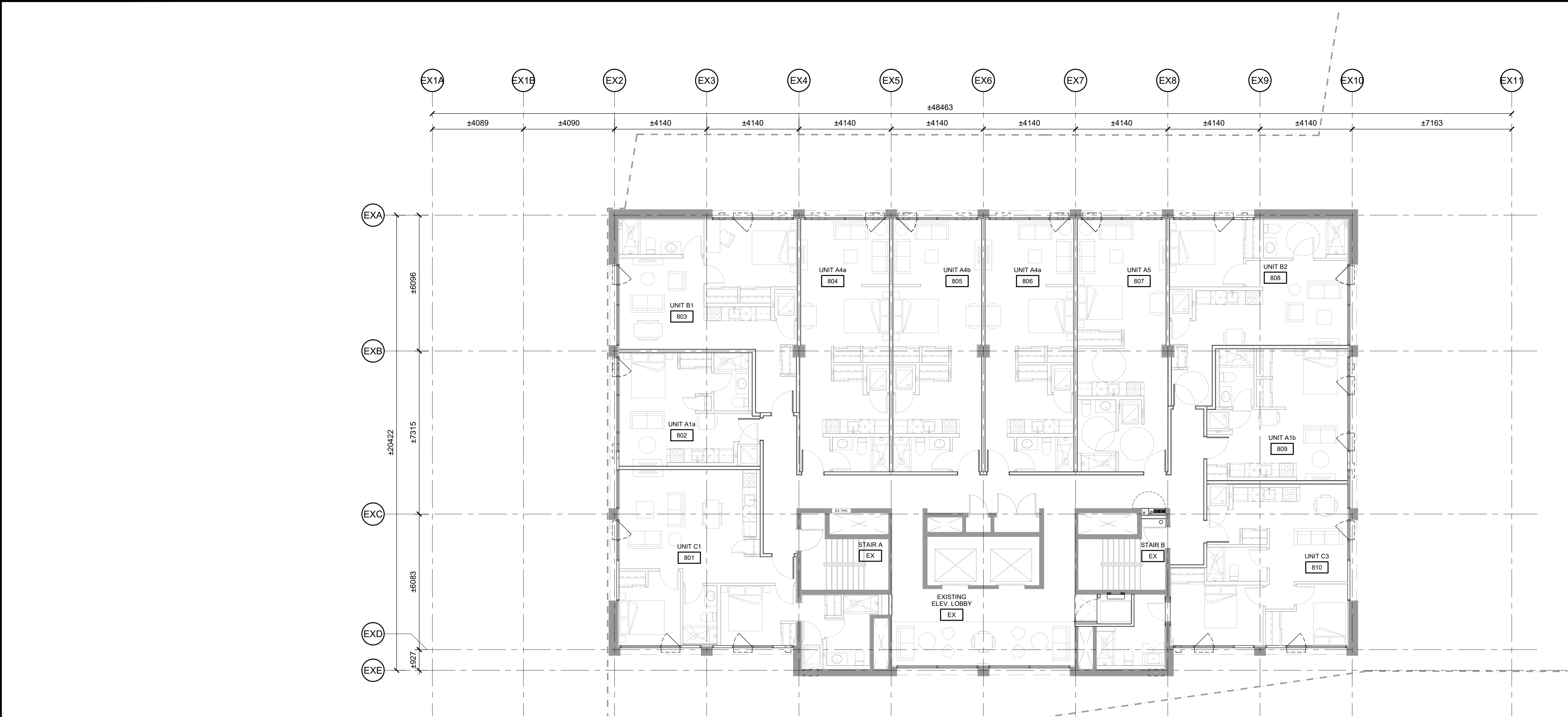
PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
4TH TO 7TH FLOOR PLANS

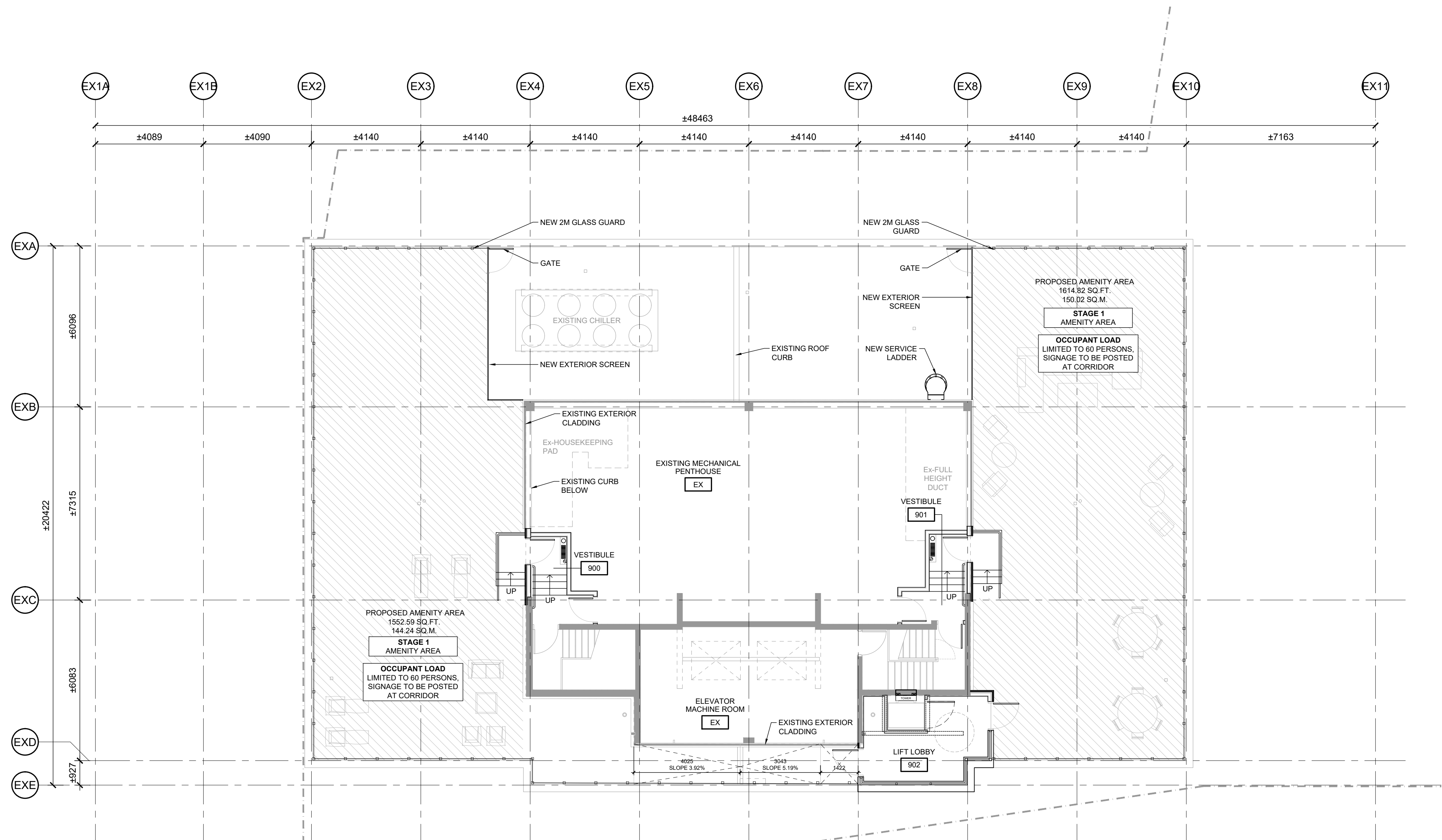
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SCALE: 1:100	SHEET No. A102
PROJECT No. 2316	

D07-12-25-0015



1 8TH FLOOR PLAN - STAGE 2

SCALE = 1:100



2 ROOF & MPH PLAN - STAGE 1

SCALE = 1:100

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- TITLE
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LEGEND

- UNIT A# STUDIO BEDROOM UNIT
- UNIT B# 1 BEDROOM UNIT
- UNIT C# 2 BEDROOM UNIT

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ARCHITECT SEAL:

NORTH ARROW:

CLIENT:

ARCHITECT:
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
8TH, ROOF AND MPH FLOOR PLANS

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SCALE: 1:100	SHEET No. A103
PROJECT No. 2316	

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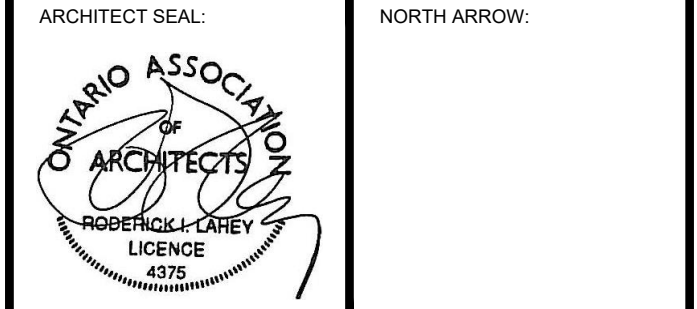
NOTATION SYMBOLS:

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1	ISSUED FOR PRE CONSULTATION	Oct. 16, 23	
No.	DESCRIPTION		DATE

REVISIONS:



CLIENT:



ARCHITECT:

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

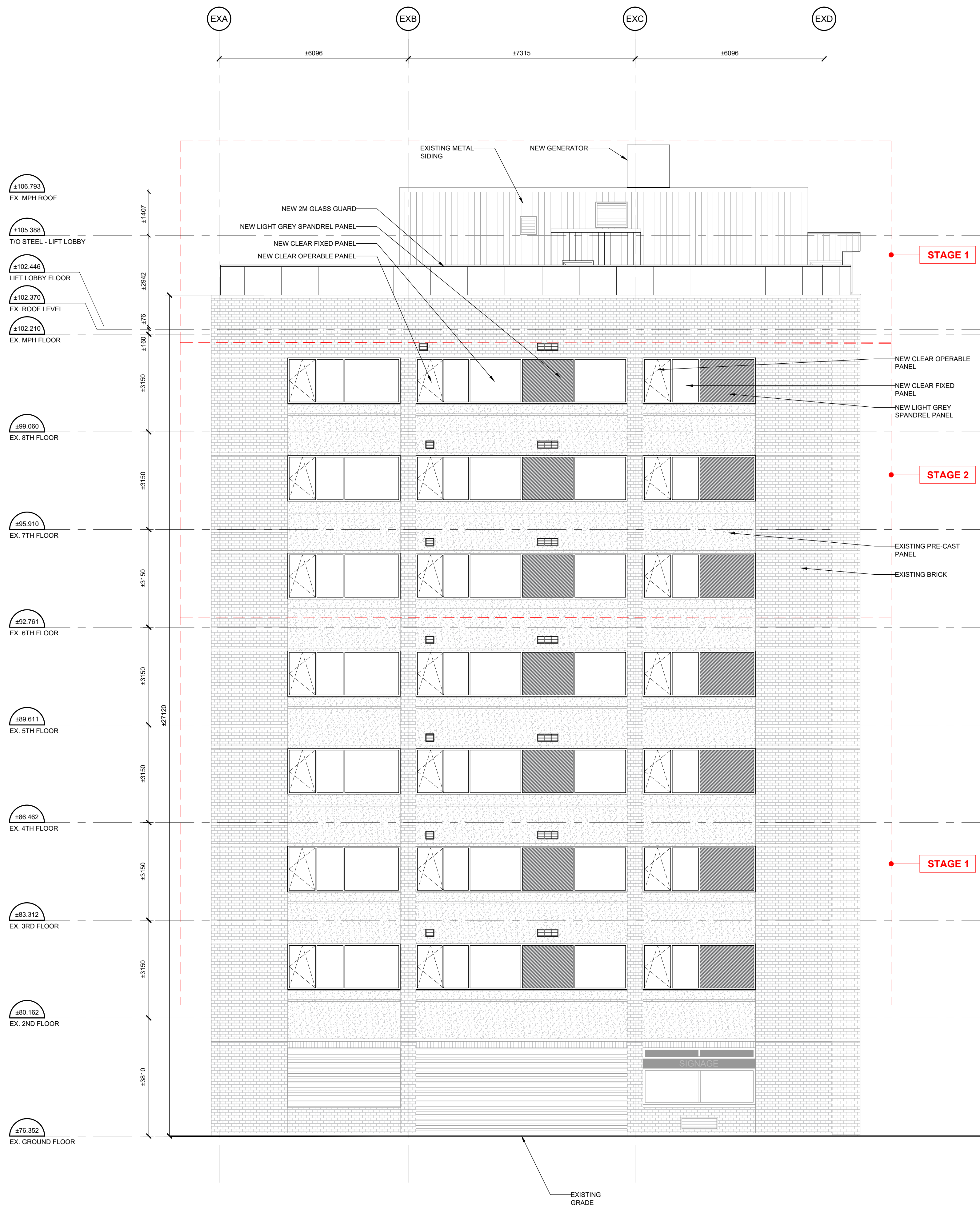
SOUTH
ELEVATION

DRAWN:	CHECKED:
OT	RD
SCALE:	SHEET No.
1:75	A200
PROJECT No.	
2316	

1 SOUTH ELEVATION

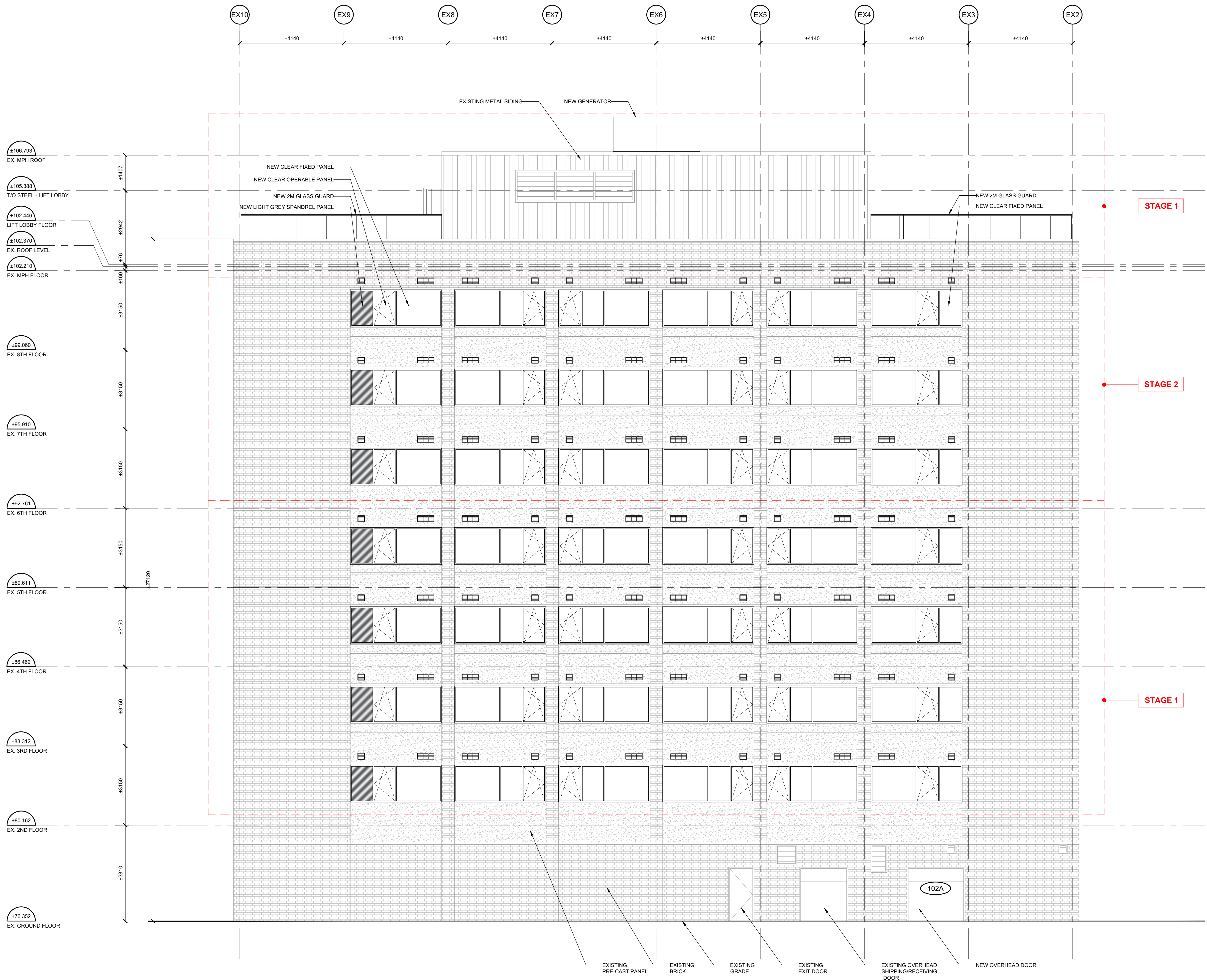
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 —DETAIL NUMBER
 —TITLE —SCALE
 —DETAIL REFERENCE PAGE
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DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A201
PROJECT No. 2316	

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ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

KIS PROPERTIES

ARCHITECT:

rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

NORTH ELEVATION

DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A202
PROJECT No. 2316	

SCALE = 1:75