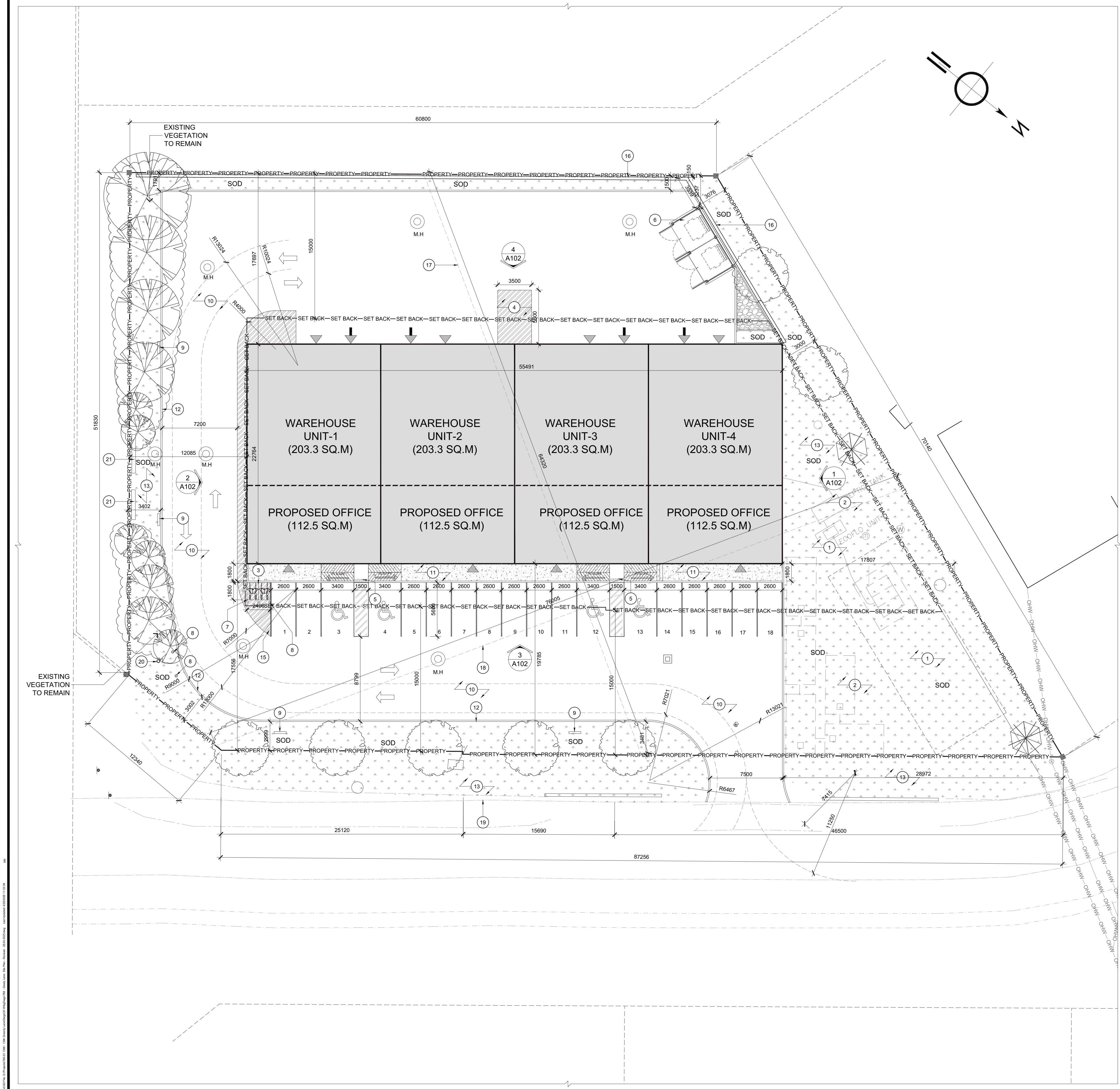




- LEGEND FOR DRAWING A100:**
- PROPERTY LINE
  - SET BACK
  - OVERHEAD UTILITY WIRES
  - FENCE
  - SOD
  - HARD LANDSCAPING
  - ASPHALT PAVING
  - PAINT LINES - ASPHALT
  - ENTRANCE
  - OVERHEAD DOOR ENTRANCE
  - STANDARD IRON BAR
  - IRON BAR
  - LAMP STANDARD
  - MONITORING WELL
  - MANHOLE
  - UTILITY POLE
  - GUY WIRE
  - WELL
  - STREET SIGN / STOP SIGN
  - GAS METER
  - CATCH BASIN
  - VEGETATION/PLANTING/TREES

| PROJECT INFORMATION                        |              |              |
|--------------------------------------------|--------------|--------------|
| ZONING BY-LAW 2008-250                     | RG3          |              |
| SITE AREA                                  | 4679.76 SQ.M |              |
| AVERAGE MEAN GRADE<br>(GEODETIC ELEVATION) |              |              |
| PROJECT STATISTICS                         |              |              |
|                                            | REQUIRED     | PROVIDED     |
| BUILDING HEIGHT                            | 15M MAX.     | 6.8 M        |
| MINIMUM FRONT SETBACK                      | 15 M         | 19.785 M     |
| MINIMUM REAR YARD SETBACK                  | 15 M         | 17.69        |
| MINIMUM CORNER YARD SETBACK                | 12M          | 12.085 M     |
| MINIMUM INTERIOR SIDE YARD SETBACK         | 3M           | 3M           |
| MAXIMUM LOT COVERAGE                       | 50%          | 27%          |
| MINIMUM LOT WIDTH                          | 30M          | 76.00 M      |
| MINIMUM LOT AREA                           | 2000 SQ.M    | 4678.69 SQ.M |

| GROSS FLOOR AREA                   |              |
|------------------------------------|--------------|
| TOTAL BUILDING AREA (SUM OF BELOW) | 1263.20 SQ.M |
| WAREHOUSE UNIT- 1                  | 203.3 SQ.M   |
| WAREHOUSE UNIT- 2                  | 203.3 SQ.M   |
| WAREHOUSE UNIT- 3                  | 203.3 SQ.M   |
| WAREHOUSE UNIT- 4                  | 203.3 SQ.M   |
| OFFICE AUXILIARY TO WAREHOUSE-1    | 112.5 SQ.M   |
| OFFICE AUXILIARY TO WAREHOUSE-2    | 112.5 SQ.M   |
| OFFICE AUXILIARY TO WAREHOUSE-3    | 112.5 SQ.M   |
| OFFICE AUXILIARY TO WAREHOUSE-4    | 112.5 SQ.M   |

| PARKING REQUIREMENT |                                                                                               |         |
|---------------------|-----------------------------------------------------------------------------------------------|---------|
|                     | REQUIRED                                                                                      | PROVIDE |
| WAREHOUSE / OFFICE  | 17.3<br>(0.8 per 100 SQM) 0.8 x (813.21/100) = 6.5 / (2.4 per 100 SQM) 2.4 x (450/100) = 10.8 | 18      |
| BICYCLE             | 1<br>(1 per 2000 SQ.M)                                                                        | 4       |
| LOADING SPACE       | 1                                                                                             | 1       |

**LEGAL DESCRIPTION:**  
PART OF BLOCK 3, REGISTERED FAIRHALL, MOFFATT & WOODLAND LTD  
TOWNSHIP OF OSSAGO, CITY OF OTTAWA BEING PARTS 4 & 5, PLAN 4R-5327 AS IN ALL OF PIN 04319-0701 & PIN 04319-0702 RESPECTIVELY.

**SURVEYOR:**  
FAIRHALL, MOFFATT & WOODLAND LTD  
Ontario Land Surveyors  
100-600 Terry Fox Drive, Kanata, Ottawa, ON, K2L 4B6  
Tel: 613-591-2580

**LANDSCAPE ARCHITECT:**  
LEVSTEX CONSULTANTS INC.  
5871 HUGH CRESCENT, OTTAWA, ON, K0A 2W0  
TEL: (613) 826 0518

**CIVIL ENGINEER**  
D.B GRAY ENGINEERING INC.  
700 Long Point Circle, Ottawa, ON, K1T 4E9  
TEL: (613) 435 - 8044 ; EMAIL: D.GRAY@DBREYENGINEERING.COM

**PROJECT DEVELOPER**  
CASSIDY CONSTRUCTION  
1011 Thomas Spratt Place, Ottawa, ON, K1G 5L5  
TEL: (613) 728-2112; EMAIL: chris@cassidyconstruction.com

CELEBRATING  
CASSIDY  
CONSTRUCTION  
OF EXCELLENCE

40  
YEARS

N

CONSTRUCTION NORTH

N

TRUE NORTH

NOTES FOR DRAWING A101:

1. LOCATION FOR SEPTIC.

2. STORAGE TANKS FOR FIRE FIGHTING.

3. PRE MANUFACTURE BICYCLE RACK, SECURED TO CONCRETE PAD.

4. LOCATION FOR LOADING.

5. TACTILE WARNING STRIP.

6. GARBAGE BIN ENCLOSURE.

7. CONCRETE PAD.

8. BOLLARD.

9. FIRE ROUTE NO PARKING SIGN.

10. ASPHALT DRIVEWAY.

11. CONCRETE SIDEWALK.

12. CONCRETE CURB.

13. SOFT CAPPING.

14. PAINTED PARKING LINE

15. PAINTED AREA

16. RETAINING WALL (REFER TO STRUCTURAL)

17. LOT DEPTH

18. LOT WIDTH

19. RIGHT OF WAY

20. WELL LOCATION

21. HEADWALL

1

2

29.04.25

1

10.01.25

No

ISSUE/REVISION

DATE

Nº

ÉMISSION/RÉVISION

DD/MM/YY

BRYDEN GIBSON  
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1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3  
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

PROJECT NAME

NOM DU PROJET

1386-1394  
GREELY LANE

1386-1394 Greely Ln, Greely, ON K4P 1A1

DRAWING TITLE

TITRE DU DESSIN

SITE PLAN

JOB No

Nº DE PROJET

DATE

DATE

SCALE

ECHELLE

PRINTING SCALE/

ÉCHELLE D'IMPRESSION

CONCEPTION BY

CONÇUS PAR

IF THIS BAR IS NOT  
25mm LONG, ADJUST  
YOUR PRINTING SCALE.

DRAWN BY

DESSINÉ PAR

SI CETTE LIGNE NE MESURE  
PAS 25mm, AJUSTEZ VOTRE  
ÉCHELLE D'IMPRESSION.

CHECKED BY

VÉRIFIÉ PAR

ARCHITECT'S STAMP

DRAWING No

DESSIN N°

SCAUE D'ARCHITECTE

REVISION No

REVISION N°

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

Suzanne Gibson  
LUCENCE  
8808

A101

D07-12-25-0004