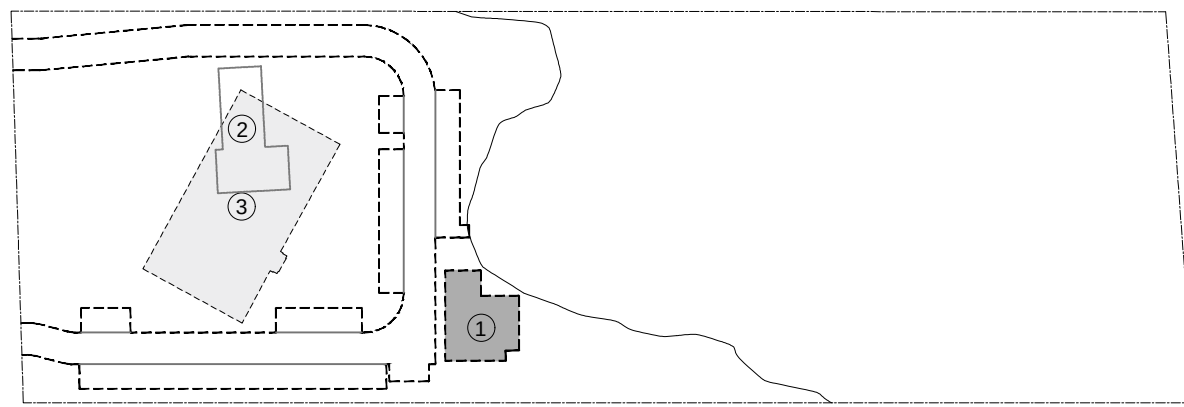


2104 Roger Stevens	R13 [608r]	S. 1A - Area D (Rural)	S. 58 - Floodplain overlay	Official Plan - S. 89	Rural Transect - Village	Temple GFA 2,013 m ² Priest Residence GFA 551 m ² Temple Assembly Area GFA 1,067.74 m ²
General Provisions	Section	Required	Proposed			
Permitted uses*	S. 240 [608r]	School, Place of Worship, or Dwelling unit accessory to these uses	Place of Worship, Dwelling unit			
Min. lot area (sq. m)	Table 224A, (a)	10,000 m ²	20,395 m ²			
Min. lot width (m)	Table 224A, (b)	75 m	82.95 m			
Max. building height (m)	Table 224A, (g)	12 m	8.53 m (Temple), 9.50m (Priest Residence)			
Min. front yard setback (m)	Table 224A, (c)	9 m	26.20 m			
Min. rear yard setback (m)	Table 224A, (d)	10 m	140.88 m			
Min. int. side yard setback (m)	Table 224A, (e)	9 m	16.69 m (east), 9 m (west)			
Max. lot coverage (%)	Table 224A, (h)	30% lot area = 6,118.50 m ²	6% lot area = 1,309.56 m ²			
Min. landscaped area (%)	Table 224A, (i)	20% lot area = 4,079 m ²	94% lot area = 19,085.44 m ²			
* 608r exception						
Parking Provisions	Section	Required	Proposed			
Place of Worship	Table 101, N66	10 spaces / 100 m ² of assembly area GFA = 107 Spaces	60 spaces	MV REQUIRED		
Dwelling unit	Table 101, R4	1 space	1 space			
Parking space size	S. 106, (1)	2.6 m x 5.2 m	2.6 m x 5.2 m			
B/F parking (included in total)	AODA, S. 80.36	4% of the total provided spaces = 2 spaces	3spaces (2 type A, 1 type B)			
Type A Parking space dimensions	AODA, S. 80.34 (1)	3.4 m x 5.2 m (plus 1.5 m aisle)	3.4 m x 5.2 m with 1.5 m shared aisle			
Type B parking space dimensions	AODA, S. 80.34 (2)	2.4 m x 5.2 m (plus 1.5 m aisle)	2.4 m x 5.2 m with 1.5 m shared aisle			
Min. drive aisle width (m)	S. 107, (1) (d)	6.7 m	6.7 m			
Min. driveway width (m)	S. 107, (1) (a)	3 m – single lane; 6 m – double lane	6.7 m			
Min. landscaped area for parking lots (%)	S. 110, (1)	15% (322.32 m ²)	24% (757.31 m ²)			
Min. landscaped buffer for parking lot (m)	Table 110, (1)	3 m abutting street; 1.5 m not abutting street	11.94 abutting a street; 3.02 not abutting street			
Min. setback for outdoor refuse (in-ground container)	S. 110, (3)	9 m from a lot line abutting a public street 3 m from any other lot line	77.71 m from a lot line abutting a public street 4.57 m from any other lot line			
		Screened by soft landscaping 2 m in height	Screened by soft landscaping 1.8 m in height			
Permitted parking lot material	S. 100, (3) (b)	gravel; B/F spaces must be hard and stable	Asphalt, interlock pavers			
Min. number of bike parking spaces	Table 111A, (i)	1 space / 1,500 m ² GFA = 1 Space	3 spaces			
Min. number of loading spaces	Table 113A, (a)	1 space if 2,000 - 4,999 m ² of GFA = 1 Space	0 spaces	MV REQUIRED		

PHASING DIAGRAM:



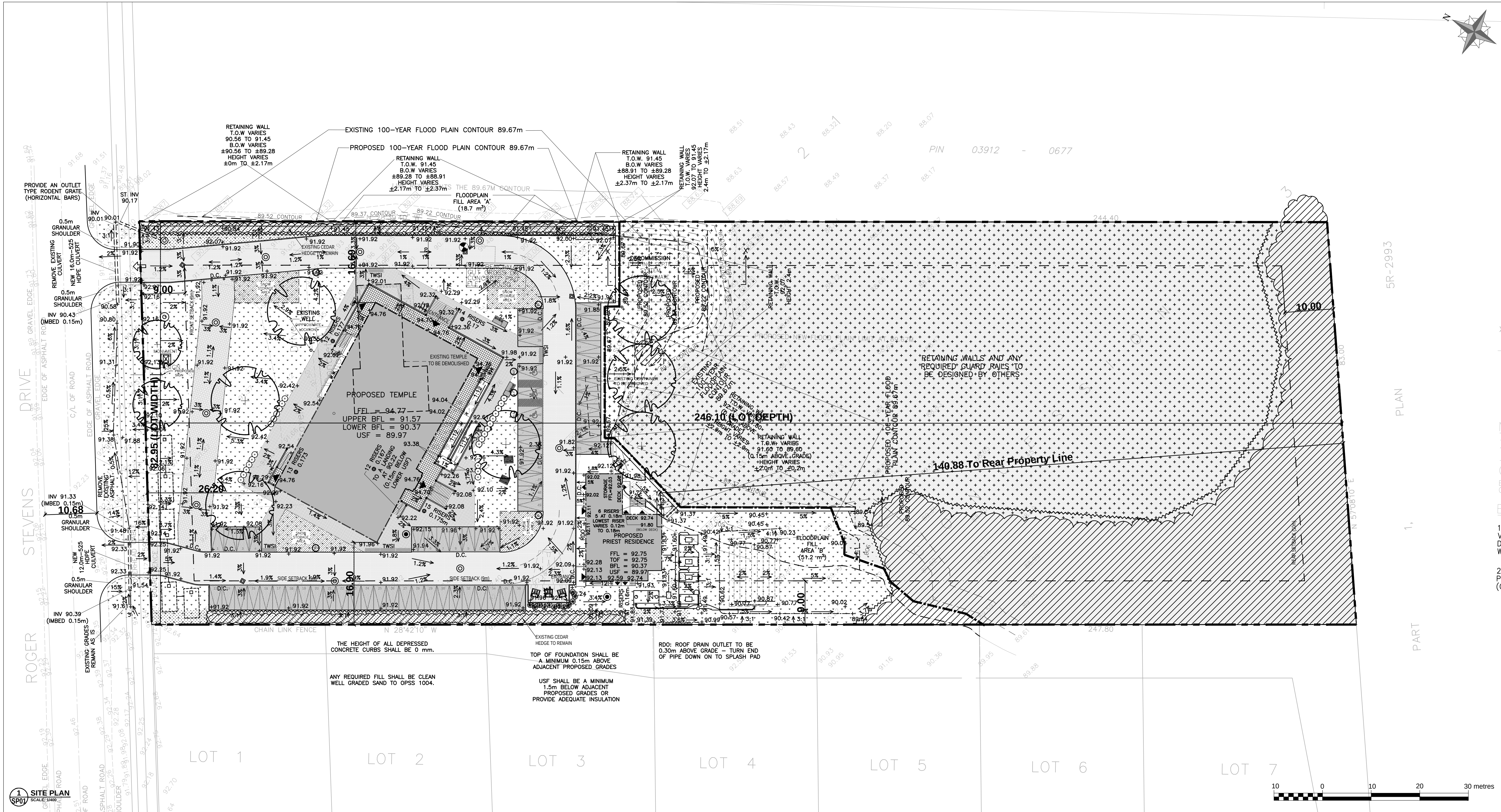
- PHASE 1 - CONSTRUCTION OF A TWO STOREY BUILDING (TEMPORARY TEMPLE / PRIEST RESIDENCE) DRIVEWAY / PARKING
- PHASE 2 - DEMOLITION OF THE OF EXISTING BUILDING
- PHASE 3 - CONSTRUCTION OF A ONE STOREY BUILDING - TEMPLE

LEGEND:

INTERNAL ROAD / FIRE ROUTE	
S.O.D.	
SNOW STORAGE AREA	
PERMEABLE PARKING AREA	
TERRACES	
PROPOSED BUILDING	
PROPOSED WALKWAY	
LIMIT OF SITE DEVELOPMENT	
SETBACK LINE	
PROPERTY LINE	
150mm BARRIER CURB	
DEPRESSED CURB	

SANITARY MANHOLE	
STORM / CATCH BASIN MANHOLE	
CATCH BASIN	
BARRIER FREE CAR PARKING SPACES TYPE A (3.4 x 5.2 m) TYPE B (2.4 x 5.2 m) ACCESS AISLE (1.5 x 5.2 m)	
CAR PARKING SPACES	
BIKES PARKING SPACE	
MOLOK BIN (REFER TO SP05 FOR MORE INFORMATION)	

SHRUB / BUSHES	
EXISTING VEGETATION	
PROPOSED TREES	
EXISTING TREE TO REMAIN	
EXISTING STATUE	
ACCESSIBLE BENCH WITH CONCRETE PAD	
PROPOSED PICNIC TABLE	
BARRIER FREE CAR PARKING SIGN (REFER TO SP05 FOR MORE INFORMATION)	
FIRE LANE SIGN (REFER TO SP05 FOR MORE INFORMATION)	
TEMPORARY BOLLARD IN-PLACE IN NON-FESTIVAL TIME	



OWNER NAME & ADDRESS
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Vaithyanathan Swamy Koli Inc.
Kugendran Sabarnam
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PROJECT TEAM (ENGINEERS)
PATERSON GROUP
CIMAX
D.B. Gray Engineering Inc.

LANDSCAPE ARCHITECTS
J.D. BARNES LIMITED
2000 HURONTARIO ST. SUITE 203
OTTAWA, ONTARIO, K1G 0E1

PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM
J.D. BARNES LIMITED
62 STACIE DRIVE, SUITE 103,
KANATA, ON K2K 2A9
(613) 731-7244

TOPOGRAPHIC PLAN OF
PART OF LOT 21
CONCESSION 3
GEOGRAPHIC TOWNSHIP OF NORTH GOWER
NOW IN THE
CITY OF OTTAWA

BENCHMARK NOTE

1. IT IS THE RESPONSIBILITY OF THE USER OF THIS INFORMATION TO VERIFY THAT THE SITE BENCHMARK HAVE NOT BEEN ALTERED OR DISTURBED AND THAT ITS RELATIVE ELEVATION AND DESCRIPTION AGREES WITH THE INFORMATION SHOWN ON THIS DRAWING.

2. ELEVATIONS ARE GEODETIC AND REFERRED TO PUBLISHED CONTROL POINT 01019791716 HAVING A PUBLISHED ELEVATION OF 91.214 METRES (CGVD28-78 DATUM)

No.	REVISIONS	DATE
10	ISSUED FOR SITE PLAN CONTROL SUBMISSION	2025-06-20
09	ISSUED FOR COORDINATION	2025-05-13
08	ISSUED FOR REVIEW	2025-04-09
07	ISSUED FOR REVIEW	2025-04-03
06	ISSUED FOR COORDINATION	2025-03-06
05	ISSUED FOR COORDINATION	2024-10-04
04	ISSUED FOR COORDINATION	2024-09-26
04	ISSUED FOR COORDINATION	2024-08-08
03	ISSUED FOR CIVIL COORDINATION	2024-05-21
02	ISSUED FOR CLIENT REVIEW	2024-04-09
01	ISSUED FOR PHASE 1 PRE-CONSULT	2024-03-01

NOT AUTHENTIC UNLESS SIGNED AND DATED

P² Concepts
2000 HURONTARIO ST. SUITE 203
OTTAWA, ONTARIO, K1G 0E1

DESIGNED BY: S.A. DRAWN BY: P.S. APPROVED BY: P.R.

PROJECT

NEW OTTAWA SIVAN TEMPLE

DRAWING TITLE

SITE PLAN

PROJECT NO.
0399

DATE
JUNE, 20, 2025

SP01

PLAN NO. #19282

D07-12-25-0049