

BUILDING #2 - FRONT (EAST) ELEVATION
SCALE= 1:150

BUILDING #1 - FRONT (EAST) ELEVATION
SCALE= 1:150



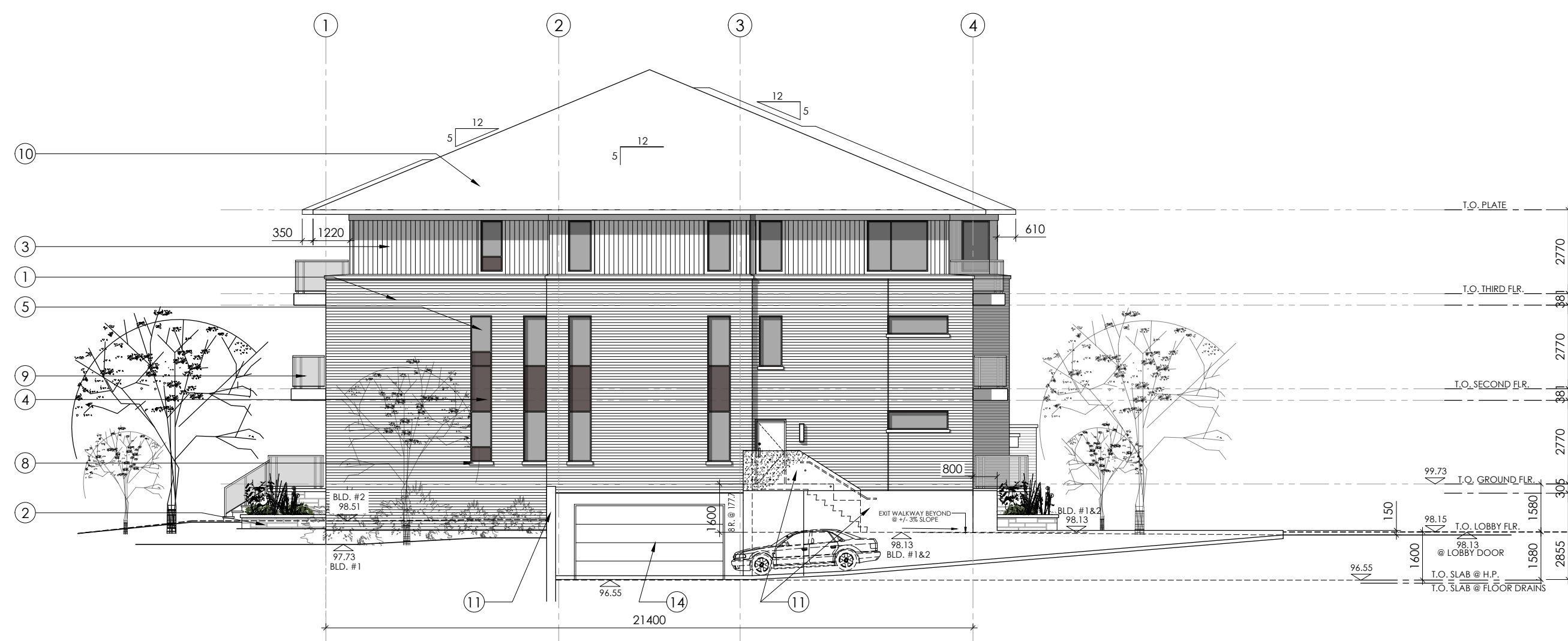
BUILDING #1 - REAR (WEST) ELEVATION
SCALE= 1:150

BUILDING #2 - REAR (WEST) ELEVATION
SCALE= 1:150

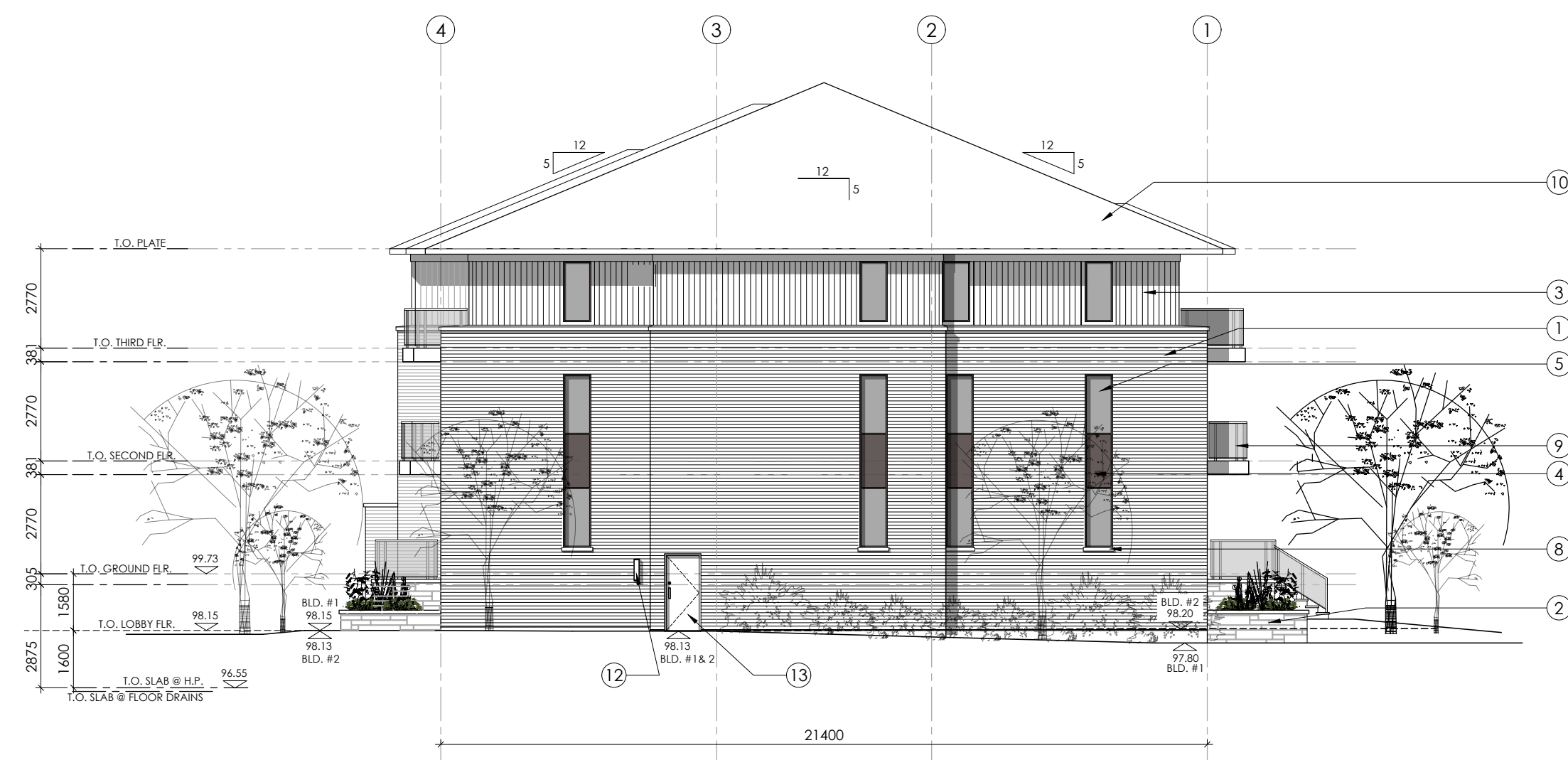
BUILDING #1 AVERAGE GRADE CALCULATION				
ELEVATION	AVERAGE GRADE OF ELEVATION		BUILDING LENGTH	AVG. GRD. x BUILD. LENGTH
EAST	98.13 + 98.13 + 98.13 + 98.00 + 98.15 = 490.54/5=		98.10x	39.65 = 3889.66
WEST	97.80 + (98.51 x 5) + 97.73 = 688.08/7=		98.29 x	39.65 = 3897.19
SOUTH	97.73 + 98.13 = 195.86/2=		97.93 x	21.40 = 2095.70
NORTH	98.15 + 98.13 + 97.80 = 294.08/3=		98.02 x	21.40 = 2097.63
TOTAL			122.10	11980.18
BUILDING #1 AVERAGE GRADE =			11980.18/ 122.10 =	98.11

BUILDING #2 AVERAGE GRADE CALCULATION				
ELEVATION	AVERAGE GRADE OF ELEVATION		BUILDING LENGTH	AVG. GRD. x BUILD. LENGTH
EAST	$97.93 + 97.90 + 97.80 + 98.13 + 98.13 = 588.02/6 =$		98.00 x	39.65 = 3885.70
WEST	$(98.51 \times 6) + 98.20 = 689.26/7 =$		98.46 x	39.65 = 3903.93
NORTH	$98.51 + 98.13 = 196.64/2 =$		98.32 x	21.40 = 2104.05
SOUTH	$98.13 + 98.13 + 98.20 = 294.46/3 =$		98.15 x	21.40 = 2100.41
TOTAL			122.10	11994.09
BUILDING #2 AVERAGE GRADE =			$11994.09 / 122.10 =$	98.23

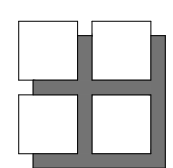
- LIST OF MATERIALS:
- 1- BRICK VENEER
 - 2- LANDSCAPE STONE PATIOS/PLANTERS
 - 3- VERTICAL METAL SIDING
 - 4- METAL PANEL
 - 5- WINDOW - FRAME
 - 6- PATIO DOOR
 - 7- CANOPY
 - 8- PRECAST SILL
 - 9- ALUMINUM/ GLASS GUARD & RAILING
 - 10- ASPHALT SHINGLES
 - 11- CONCRETE WALL - SMOOTH FINISH
 - 12-LIGHT FIXTURE
 - 13- METAL DOOR - PAINTED
 - 14- METAL OVERHEAD GARAGE DOOR



INTERIOR SIDE ELEVATION (NORTH & SOUTH)
SCALE= 1:150
(BUILDING #1 SOUTH ELEVATION SHOWN)
(BUILDING #2 NORTH ELEVATION SHOWN IN REVERSE)



EXTERIOR SIDE (SOUTH or NORTH) ELEVATION
SCALE= 1:150
(BUILDING #1 NORTH ELEVATION SHOWN)
(BUILDING #2 SOUTH ELEVATION SHOWN IN REVERSE)



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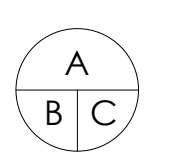
GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, & BYLAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS DRAWING SHALL NOT BE USED OR COPIED WITHOUT THE AUTHORIZATION OF THE ARCHITECT.
6. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.

SEAL

NO.	DATE	DESCRIPTION	REVISIONS
12.			
11.			
10.			
9.			
8.			
7.			
6.			
5.			
4.			
3.	03/07/25	AVERAGE GRADE CALC'S / FOR SITE PLAN APPLICATION	JB
2.	26/06/25	FOR SITE PLAN APPLICATION	JB
1.	20/05/25	FOR REVIEW	JB

NO.	DATE	DESCRIPTION	REVISIONS
24.			
23.			
22.			
21.			
20.			
19.			
18.			
17.			
16.			
15.			
14.			
13.			



A - DETAIL NUMBER
B - SHEET NUMBER
(DETAIL REQUIRED)
C - SHEET NUMBER
(DETAIL LOCATION)

PROJECT: 26 UNIT - 3 STOREY APARTMENT
815 ROGER GRIFFITHS AVE.
BLOCK 1 MAPLETON
OTTAWA, ONT.

RICHCRAFT

DRAWING TITLE: BUILDING ELEVATIONS

DATE: APRIL 2025
DRAWN BY: JB

SCALE: 1:150
CHECKED: MDB

SHEET NO.: A5