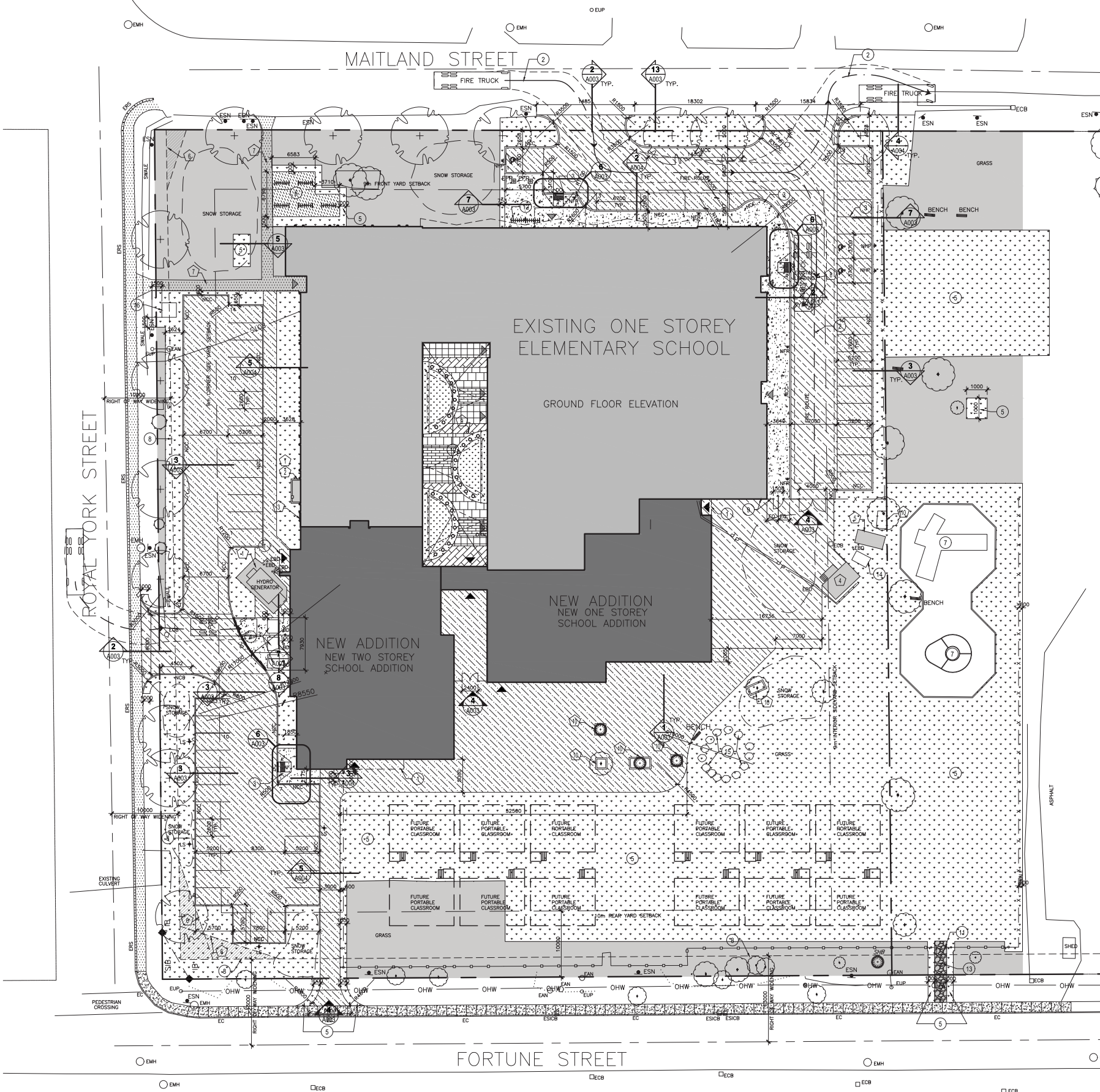




LEGEND

- Barrier Free Parking
- Existing Building Entrance/Exit
- New Building Entrance/Exit
- EBD
- ECB
- EDC
- ERS
- Existing Concrete Curb to Remain
- Existing Depressed Concrete Curb to Remain
- Existing Concrete Rumble Strip to Remain
- Existing Chain Link Fence to Remain
- 1200mm High New Chain Link Fence
- NCC
- DC
- Depressed Curb
- Road Center Line
- Fire Route
- Set Back Line
- Property Lot Line
- SIB
- Iron Bar (Refer to Survey)
- EMH
- Existing Man Hole to Remain (Refer to Civil)
- ECB
- Existing Catch Basin to Remain (Refer to Civil)
- ESCB
- Existing Side Inlet Catch Basin to Remain (Refer to Civil)
- ESN
- Existing Flag Pole to Remain
- EUP
- Existing Utility Post to Remain
- DRN
- Existing Drain to Remain
- EAN
- Existing Utility Pole Anchor to Remain (Refer to Civil)
- ESN
- Existing Sign to Remain
- BENCH
- Existing Bench to Remain
- P
- Existing Underground Hydro Line, Refer to Electrical
- Existing Underground Fibre Optic Line, Refer to Electrical
- Existing Overhead Utility Wires, Refer to Electrical
- NFR
- New Fire Route Sign (Every 25 Metres)
- NHP
- New Handicapped Parking Sign
- LA
- New Loading Area Sign
- ST
- New Stop Sign
- LS
- New Light Standard and/or Reinstated Existing Light Standard, Refer to Electrical
- FH
- New Fire Hydrant (Refer to Civil)
- MH
- New Man Hole (Refer to Civil)
- CB
- New Catch Basin (Refer to Civil)
- BD
- New Bollard

- New Building
- Existing Building
- Existing Area Not in Scope of Work
- Existing Light Duty Asphalt Paving to Remain
- Existing Concrete Walk to Remain
- New Type 1 Asphalt - Heavy Duty (Refer to Spec.)
- New Type 2 Asphalt - Light Duty (Refer to Spec.)
- New Concrete Walk
- New Seeded Grass
- New Sodded Grass (Refer to Landscape)
- New Concrete Paving
- Corner Triangle Requirement by Official Plan
- New Trees (Refer to Landscape)
- Existing Trees to Remain (Refer to Landscape)
- Existing Shrub to Remain (Refer to Landscape)

SITE PLAN NOTES - NEW

- NEW SECOND FLOOR OVERHANG OR CANOPY
- NEW FIRE ROUTE
- NEW CURB RAMP WITH FLARED SIDES AND TACTILE SURFACE WALKING INDICATOR. REFER TO SITE DETAILS AND SPECIFICATIONS
- GARBAGE EARTH BIN, REFER TO DETAILS AND SPECIFICATIONS
- PROVIDE NEW SOD AND TOPSOIL WHERE EXISTING PORTABLE CLASSROOMS AND CRUSHED STONE PATHWAY WERE REMOVED
- NEW BICYCLE PARKING CONCRETE PAD WITH FIVE (5) NEW BICYCLE RACKS
- RELOCATED EXISTING PLAY STRUCTURE
- RIGHT OF WAY WIDENING LINE REQUIRED BY CITY OF OTTAWA
- ALIGN
- COURTYARD DESIGN WITH SAILS, REFER TO LANDSCAPE
- 1200mm WIDE PEDESTRIAN ACCESS GATE INSTALLED DURING CONSTRUCTION PHASE FOR STUDENTS AND PARENTS.
- RELOCATED EXISTING BICYCLE RACK
- COMPACTED GRAVEL PATH INSTALLED DURING CONSTRUCTION PHASE
- RELOCATED EXISTING CONCRETE BUNKER INCLUDING CONCRETE BASE AND/OR SLAB. INSTALL ON 300mm DEEP GRANULAR A PAD
- RELOCATED EXISTING BOULDERS
- NEW TRANSFORMER, REFER TO ELECTRICAL

GENERAL NOTES

- EXTENT OF CONTRACT IS LIMITED TO WITHIN PROPERTY EXCEPT WHERE SHOWN OTHERWISE.
- ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO CITY OF OTTAWA CONSTRUCTION STANDARDS.
- PARKING STALL SIZE: 2600mm x 5200mm
- BARRIER FREE PARKING STALL: 3900mm x 5200mm
- FOR LANDSCAPE/PLANTING DETAILS SEE DRAWING AS PREPARED BY JBLA.
- FOR SITE GRADING INFORMATION SEE GRADING & DRAINAGE DRAWING AS PREPARED BY WSP.
- FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP.
- FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY EXP SERVICES.
- SLOPES OF CONCRETE/PAVING AT DEPRESSED CURBS SHALL NOT EXCEED 5%.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS.
- FOR SITE SURVEY INFORMATION, SEE TOPOLOGICAL SURVEY DRAWING PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

EXISTING SCHOOL + ADDITION

SITE DATA

SITE AREA	14,127.3 m ²
EXISTING SCHOOL FOOTPRINT	2,952.2 m ²
SCHOOL ADDITION FOOTPRINT	1,533.4 m ²
TOTAL FOOTPRINT	4,485.6 m ²
GROSS FLOOR AREA (AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)	2,133.3 m ²
EXISTING SCHOOL GROSS FLOOR AREA	1,503.4 m ²
SCHOOL ADDITION GROSS FLOOR AREA	629.9 m ²
TOTAL GROSS FLOOR AREA	3,636.7 m ²

TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY STANTEC GEOMATICS LTD. (613)722-4420

PROJECT No.: 161614821-111
LEGAL DESCRIPTION:
UNIT 35, INDEX PLAN 4D-18
GEOGRAPHIC TOWNSHIP OF GOULBOURN
CITY OF OTTAWA

CITY OF OTTAWA ZONING

REQUIRED	PROVIDED
RI-RURAL INSTITUTIONAL ZONE RI2H (15)	
LOT AREA	MIN. 4000.0m ²
LOT COVERAGE	MAX. 30%
BUILDING HEIGHT	MAX. 15m
FRONT YARD SETBACK	MIN. 9.0m
REAR YARD SETBACK	MIN. 10.0m
INT. SIDE YARD SETBACK	MIN. 9.0m
CORNER YARD SETBACK	MIN. 9.0m
LANDSCAPING IN PARKING	MIN. 20%

PARKING CALCULATIONS

REQUIRED			
15 EXISTING CLASSROOMS + 12 NEW CLASSROOMS + 12 FUTURE PORTABLE CLASSROOMS = 39 TOTAL			
USE	No. CLASS	SPACES PER CLASS	SPACES REQ'D
ELEMENTARY SCHOOL	39	1.5/CLASS	59
TOTAL REQUIRED PARKING SPACES			59 SPACES
TOTAL REQUIRED PARKING SPACES FOR PERSONS WITH DISABILITIES			1 SPACES
PROVIDED			
SPACES @ 5.2mD X 2.6mW			56 SPACES
SPACES FOR PERSONS WITH DISABILITIES @ 5.2mD X 3.67mW			3 SPACES
TOTAL SPACES PROVIDED			59 SPACES
BICYCLE PARKING (0.6m X 1.8m)			
USE	GROSS AREA	SPACES PER	SPACES REQ'D
SCHOOL	3,636.7m ²	1 / 100m ²	37 SPACES
TOTAL REQUIRED PARKING SPACES			37 SPACES
PROVIDED			
SCHOOL			45 SPACES
TOTAL SPACES PROVIDED			45 SPACES
LOADING SPACES (3.5m X 7.0m)			
USE	GROSS AREA	TABLE 11.3A	SPACES REQ'D
SCHOOL	3,636.7m ²	COLUMN V	1
TOTAL REQUIRED PARKING SPACES			1 SPACES
PROVIDED			
SCHOOL			1 SPACES

SITE PLAN NOTES - EXISTING

- EXISTING CONCRETE PAD
- EXISTING GAS METER FENCE
- SHEET METAL PROTECTION FOR EXISTING ELECTRICAL CONDUITS
- EXISTING FIRE PUMP HOUSE TO REMAIN, REFER TO ELECTRICAL
- EXISTING METAL STORAGE SHED TO REMAIN
- CORNER TRIANGLE REQUIREMENT BY OFFICIAL PLAN
- EXISTING ASPHALT PAVED SIDEWALK TO REMAIN
- EXISTING LOADING SPACE 3.5m X 7.0m
- EXISTING WATER WELL TO REMAIN
- EXISTING WOOD TREE BOXES TO REMAIN



2	0	2025/05/20	ISSUED FOR SITE PLAN CONTROL APPLICATION
1	0	2025/03/10	ISSUED FOR 1ST REVIEW COMMENTS RESPONSE

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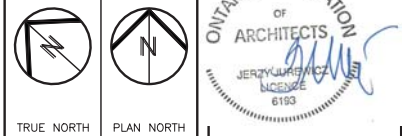
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EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.
171 Slater St., Suite 100, Ottawa, Ontario, K1P 5H7
Fax: (613) 238-1944 Telephone: (613) 238-7135 E-mail: info@ehaci.com

PROJECT TITLE/TITRE DU PROJET
**ST. PHILIP CATHOLIC SCHOOL
ADDITION 2025**
79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

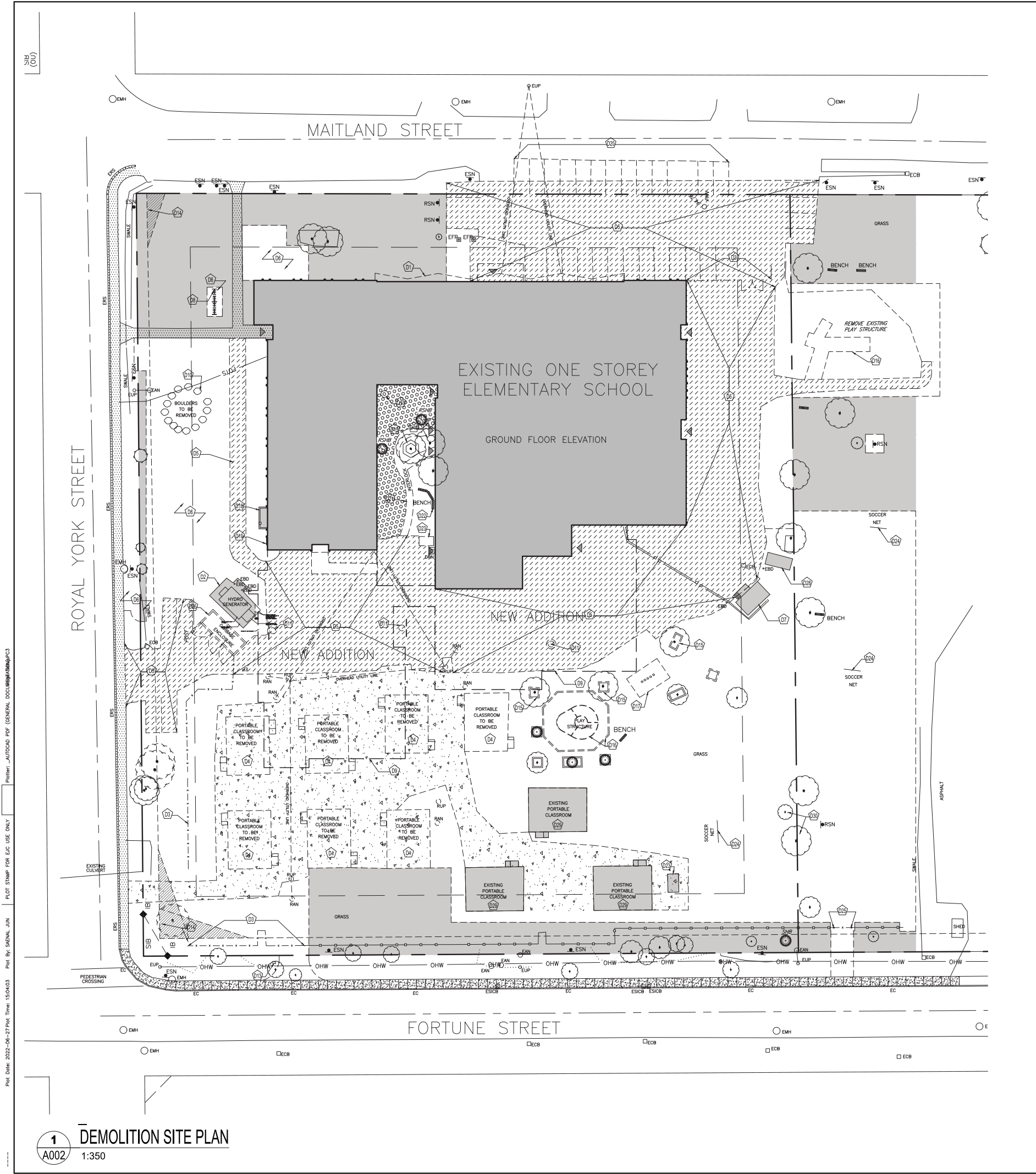
DRAWING TITLE/TITRE DU DESSIN

SITE PLAN

SCALE ÉCHELLE	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	S.J.	DRAWING/DESSIN	
CHECKED BY VÉRIFIÉ PAR	J.J.		
DATE	2025		

A001

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LEGEND	
	EXISTING BUILDING ENTRANCE/EXIT
	EXISTING BOLLARD TO REMAIN
	EXISTING CONCRETE CURB TO REMAIN
	EXISTING DEPRESSED CONCRETE CURB TO REMAIN
	EXISTING CONCRETE RUMBLE STRIP TO REMAIN
	EXISTING CHAIN LINK FENCE TO REMAIN
	TO BE DEMOLISHED / REMOVED
	ROAD CENTER LINE
	SET BACK LINE
	PROPERTY LOT LINE
	OUTLINE OF NEW BUILDING
	IRON BAR (REFER TO SURVEY)
	EXISTING MAN HOLE TO REMAIN (REFER TO CIVIL)
	EXISTING CATCH BASIN TO REMAIN (REFER TO CIVIL)
	EXISTING SIDE INLET CATCH BASIN TO REMAIN (REFER TO CIVIL)
	EXISTING FLAG POLE TO REMAIN
	EXISTING UTILITY POST TO REMAIN
	EXISTING DRAIN TO REMAIN
	EXISTING UTILITY POLE ANCHOR TO REMAIN (REFER TO CIVIL)
	EXISTING SIGN TO REMAIN
	EXISTING BENCH TO REMAIN
	EXISTING UNDERGROUND HYDRO LINE, REFER TO ELECTRICAL
	EXISTING UNDERGROUND FIBRE OPTIC LINE, REFER TO ELECTRICAL
	EXISTING OVERHEAD UTILITY WIRES, REFER TO ELECTRICAL
	REMOVE EXISTING FIRE ROUTE SIGN
	REMOVE EXISTING LIGHT STANDARD
	REMOVE EXISTING MAN HOLE (REFER TO CIVIL)
	REMOVE EXISTING CATCH BASIN (REFER TO CIVIL)
	REMOVE EXISTING UTILITY POST
	REMOVE EXISTING UTILITY POLE ANCHOR (REFER TO CIVIL)
	REMOVE EXISTING SIGN
	REMOVE EXISTING CHAIN LINK FENCE TO NEAREST POST, INCLUDING CONCRETE FOOTINGS, COORDINATE WITH LOCATION OF NEW FENCE
	EXISTING BUILDING
	EXISTING AREA NOT IN SCOPE OF WORK
	EXISTING LIGHT DUTY ASPHALT PAVING TO REMAIN
	EXISTING CONCRETE WALK TO REMAIN
	REMOVE EXISTING ASPHALT PAVING INCLUDING GRANULAR BASE
	REMOVE EXISTING LANDSCAPING ROCKS INCLUDING GRANULAR BASE
	REMOVE CRUSHED STONE PATHWAY
	CORNER TRIANGLE REQUIREMENT BY OFFICIAL PLAN
	REMOVE OR TRANSPLANT EXISTING TREES (REFER TO LANDSCAPE)
	REMOVE EXISTING SHRUB (REFER TO LANDSCAPE)
	REMOVE EXISTING BOULDERS (REFER TO LANDSCAPE)
	EXISTING TREES TO REMAIN (REFER TO LANDSCAPE)
	EXISTING SHRUB TO REMAIN (REFER TO LANDSCAPE)

SITE PLAN DRAWING NOTES	
D1	CANOPY OR 2nd FLOOR ABOVE.
D2	EXISTING CONCRETE PAD, SAW-CUT SOUTH-EAST CORNER TO ACCOMMODATE NEW ADDITION BUILDING
D3	REMOVE EXISTING CHAIN LINK FENCE TO NEAREST POST INCLUDING CONCRETE FOOTINGS. PROVIDE NEW BRACE BETWEEN TWO LAST REMAINING POSTS. COORDINATE WORK WITH NEW PARKING LOT
D4	EXISTING PORTABLES WILL BE REMOVED BY OWNER
D5	PRIOR TO CONSTRUCTION REMOVE EXISTING ASPHALT PAVING INCLUDING EXISTING GRANULAR BASE.
D6	REGRADE EXISTING SITE AS REQUIRED FOR NEW GRADING AND TOPSOIL/SOD. REFER TO CIVIL DRAWINGS
D7	EXISTING FIRE PUMP HOUSE TO REMAIN, REFER TO ELECTRICAL AND MECHANICAL
D8	TEMPORARILY REMOVE EXISTING BIKE RACK, STORE IN SAFE PLACE AND REINSTATE AT COMPLETION OF NEW WORK. SEE A001 FOR THE NEW LOCATION
D9	OUTLINE OF NEW BUILDING
D10	REMOVE EXISTING BOULDER
D11	REMOVE EXISTING BASKETBALL/ FUNNEL BALL POSTS INCLUDING CONCRETE BASE. CHIP OUT AND REMOVE EXISTING CONCRETE BASE. STORE BASKETBALL POSTS IN SAFE PLACE AND TURN OVER TO OWNER
D12	NOT USED
D13	EXISTING TERMINAL BOX - BELL
D14	CORNER TRIANGLE REQUIREMENT BY OFFICIAL PLAN
D15	REMOVE EXISTING TREE AND WOOD BENCH AROUND EXISTING TREE
D16	CAREFULLY REMOVE EXISTING PLAY STRUCTURE. DISMANTLE AND STORE IN SAFE PLACE FOR RELOCATION. REMOVE EXISTING TIMBER RETAINING WALL AROUND PLAY STRUCTURE AND WOOD CHIPS. REFER TO CONSTRUCTION PHASING DRAWING A022 FOR DEMOLITION SCHEDULING.
D17	REMOVE EXISTING WOOD TRUNKS AND BED OF WOOD CHIPS AROUND
D18	EXISTING GAS METER FENCE
D19	SHEET METAL PROTECTION FOR EXISTING ELECTRICAL CONDUITS
D20	REMOVE EXISTING PAINTED MARKING ON STREET
D21	REMOVE EXISTING INTERLOCKING PAVEMENT BLOCKS INCLUDING EXISTING GRANULAR BASE
D22	REMOVE EXISTING BENCH INCLUDING CONCRETE BASE
D23	REMOVE EXISTING CONCRETE BUNKER INCLUDING CONCRETE BASE AND/OR SLAB. RELOCATE TO NEW LOCATION AS DIRECTED BY OWNER. INSTALL ON 300mm DEEP GRANULAR A PAD. SEE CONSTRUCTION PHASING DRAWING A022 FOR RELOCATION
D24	REMOVE EXISTING SOCCER NET INCLUDING CONCRETE BASE. CHIP OUT AND REMOVE EXISTING CONCRETE BASE. STORE SOCCER NET POSTS IN SAFE PLACE AND TURN OVER TO OWNER
D25	REMOVE EXISTING CHAIN LINK FENCE TO NEAREST POST INCLUDING CONCRETE FOOTINGS FOR TEMPORARY SITE ENTRANCE DURING CONSTRUCTION PHASE. PROVIDE NEW BRACE BETWEEN TWO LAST REMAINING POSTS. SEE A022.
D26	REMOVE EXISTING GARBAGE ENCLOSURE INCLUDING CONCRETE FOOTINGS
D27	NOT USED
D28	EXISTING METAL STORAGE SHED TO REMAIN
D29	EXISTING PORTABLE CLASSROOMS TO REMAIN FOR THE DURATION OF CONSTRUCTION - TO BE REMOVED AT COMPLETION OF CONSTRUCTION.
D30	REMOVE EXISTING TREE (REFER TO LANDSCAPE)

OTTAWA CATHOLIC SCHOOL BOARD

1	0	2025/03/10	ISSUED FOR 1ST REVIEW COMMENTS RESPONSE
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TRUE NORTH PLAN NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
JERRY CUHACI
LICENSE
6193

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171 Slater St., Suite 100, Ottawa, Ontario, K1P 5H7
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PROJECT TITLE/TITRE DU PROJET
ST. PHILIP CATHOLIC SCHOOL ADDITION 2025
79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

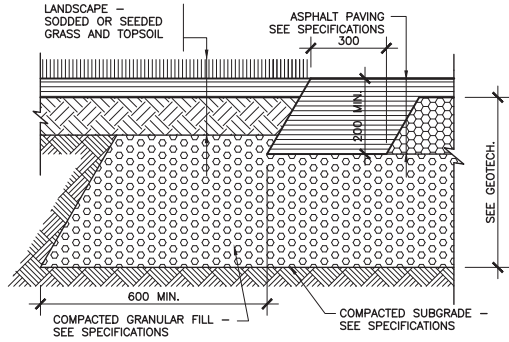
OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN
DEMOLITION SITE PLAN

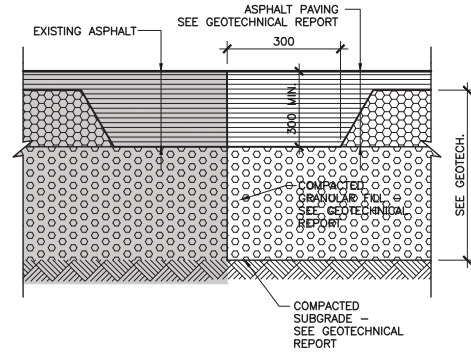
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DRAWN BY DESSINE PAR	S.J.	DRAWING/DESSIN	A002
CHECKED BY VERIFIE PAR	J.J.		
DATE	2025		

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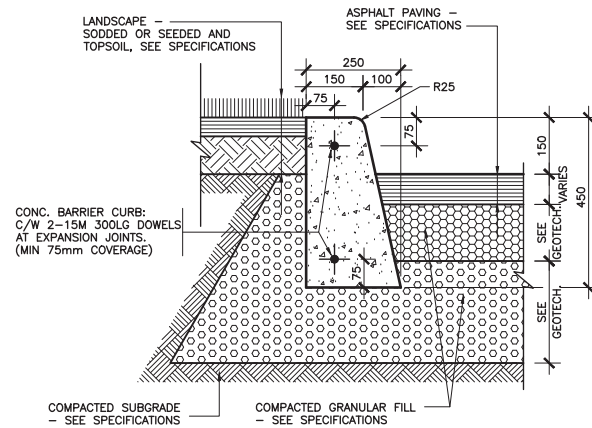
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Plot Stamp For E&C Use Only
Printer: AUTOCAD PDF (GENERAL DOCUMENT) 1/24/23



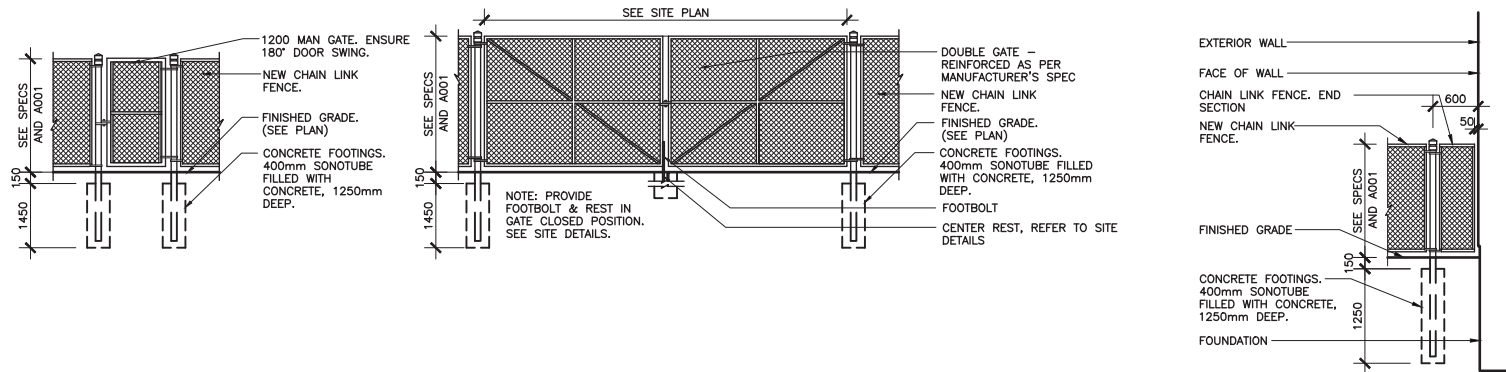
SECTION DETAIL
1 ASPHALT @ GRASS
A003 1:10



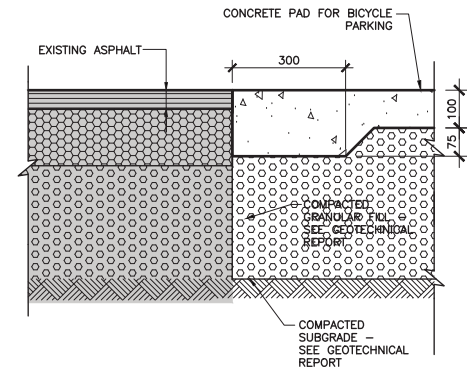
SECTION DETAIL
2 NEW ASPHALT PAVING @ EXISTING
A003 1:10



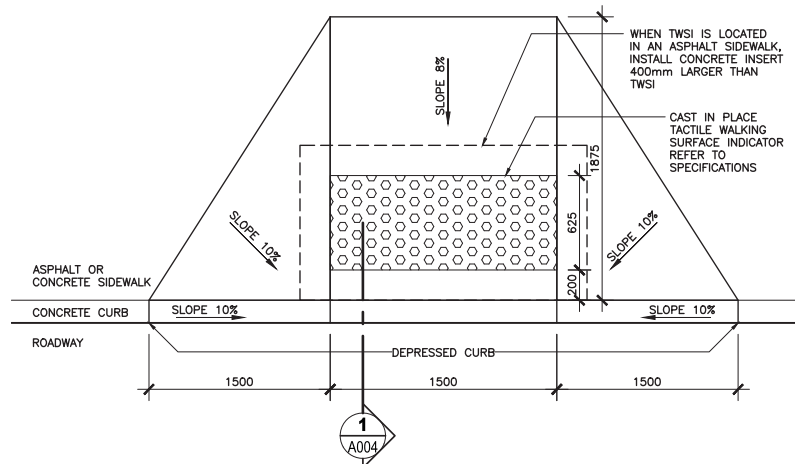
SECTION DETAIL
3 GRASS - CONCRETE CURB - ASPHALT
A003 1:10



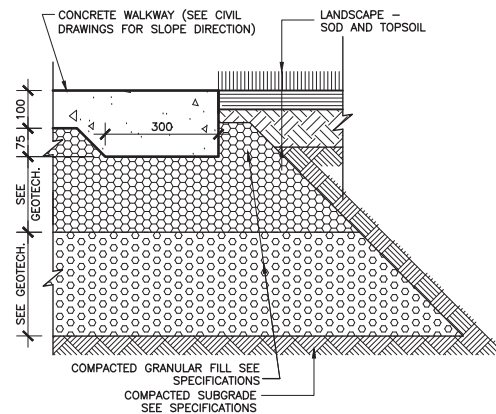
ELEVATION
4 FENCE AND GATE DETAILS
A003 1:50



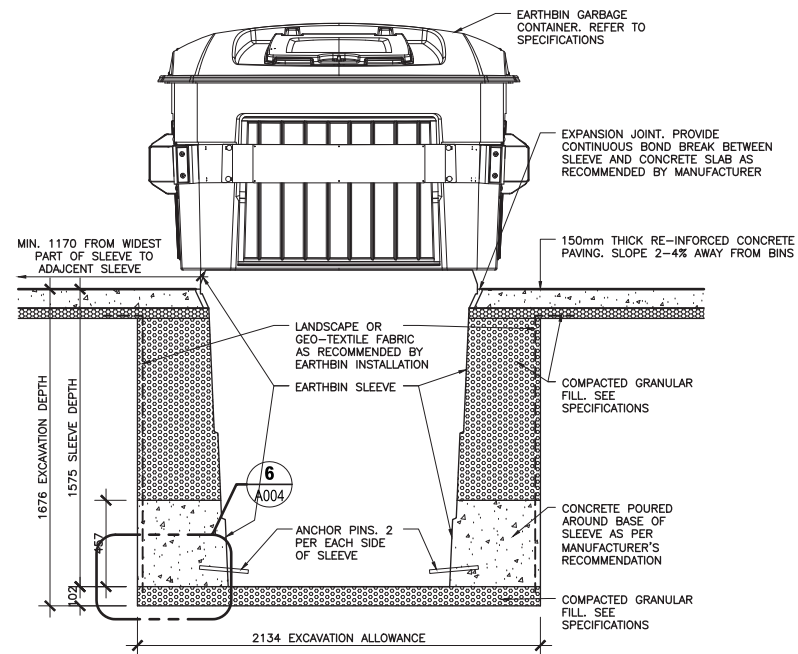
SECTION DETAIL
5 CONCRETE PAD @ EXISTING ASPHALT
A003 1:10



PLAN DETAIL
6 TACTILE WALKING SURFACE INDICATOR (TWSI)
A003 1:25



SECTION DETAIL
7 CONC. SIDE WALK @ SOD
A003 1:10



SECTION DETAIL
8 EARTHBIN GARBAGE SECTION
A003 1:20



OTTAWA
CATHOLIC
SCHOOL BOARD

ISSUE NO.	REV. NO.	DATE	ISSUE
1	0	2025/03/10	ISSUED FOR 1ST REVIEW COMMENTS RESPONSE

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS



TRUE NORTH



PLAN NORTH



EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.
171 Slater St, Suite 100, Ottawa, Ontario, K1P 5H7
Fax: (613) 238-1944 Telephone: (613) 238-7135 E-mail: info@juhaci.com

PROJECT TITLE/TITRE DU PROJET
ST. PHILIP CATHOLIC SCHOOL ADDITION 2025
79 MATLAND STREET S, RICHMOND, ON, K0A 2Z0

OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN

SITE DETAILS

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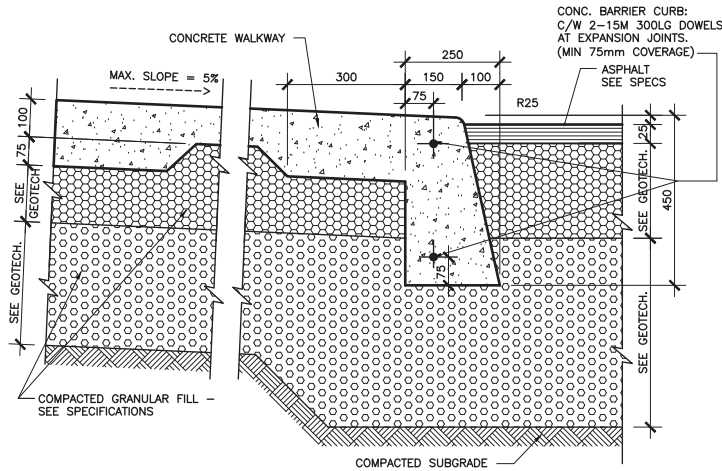
CHECKED BY	VERIFIÉ PAR
J.J.	

DATE
2025

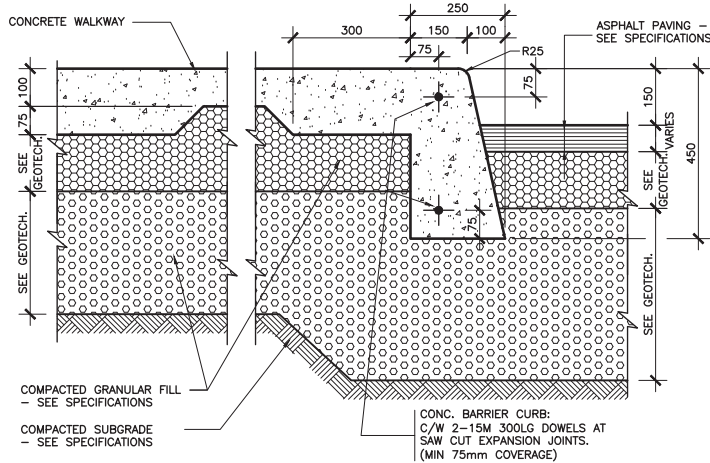
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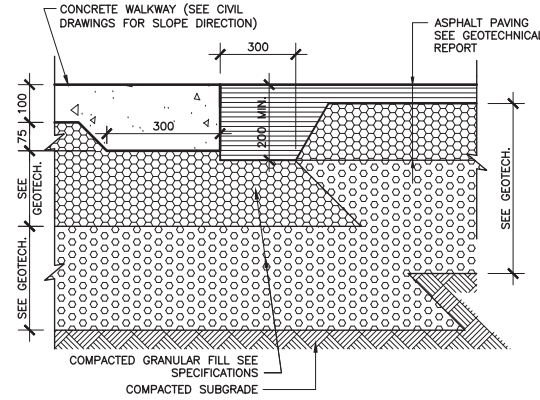
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Project: A000404 PDF (GENERAL DOCUMENT) 2024-03-13



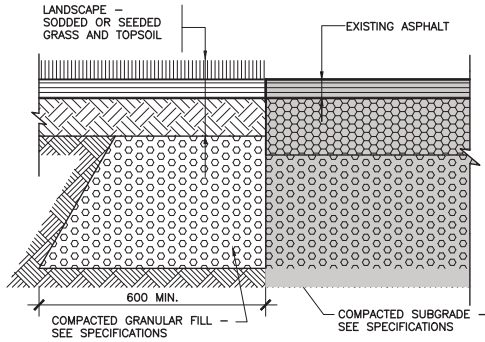
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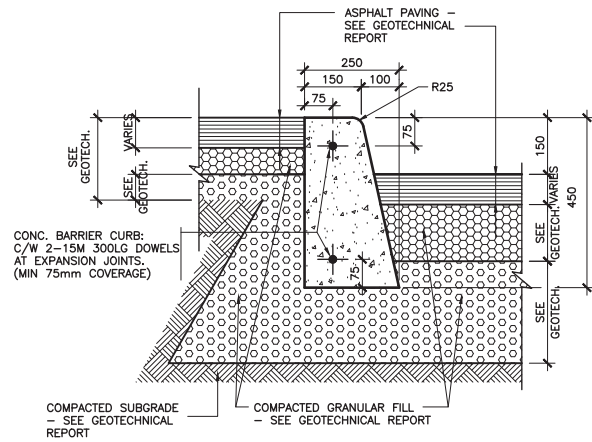
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A004 1:10



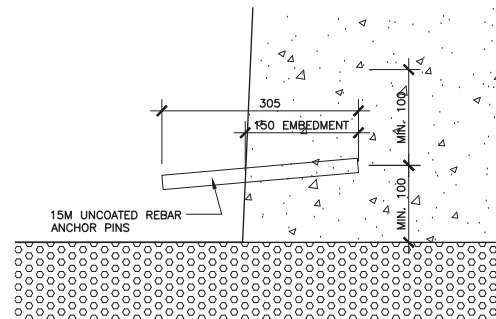
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3 CONC. WALK - ASPHALT
A004 1:10



SECTION DETAIL
4 GRASS @ EXISTING ASPHALT
A004 1:10



SECTION DETAIL
5 ASPHALT - CONC. CURB - ASPHALT
A004 1:10



SECTION DETAIL
6 ANCHOR PIN DETAIL
A004 1:5



**OTTAWA
CATHOLIC
SCHOOL BOARD**

ISSUE NO.	REV. NO.	DATE	ISSUE
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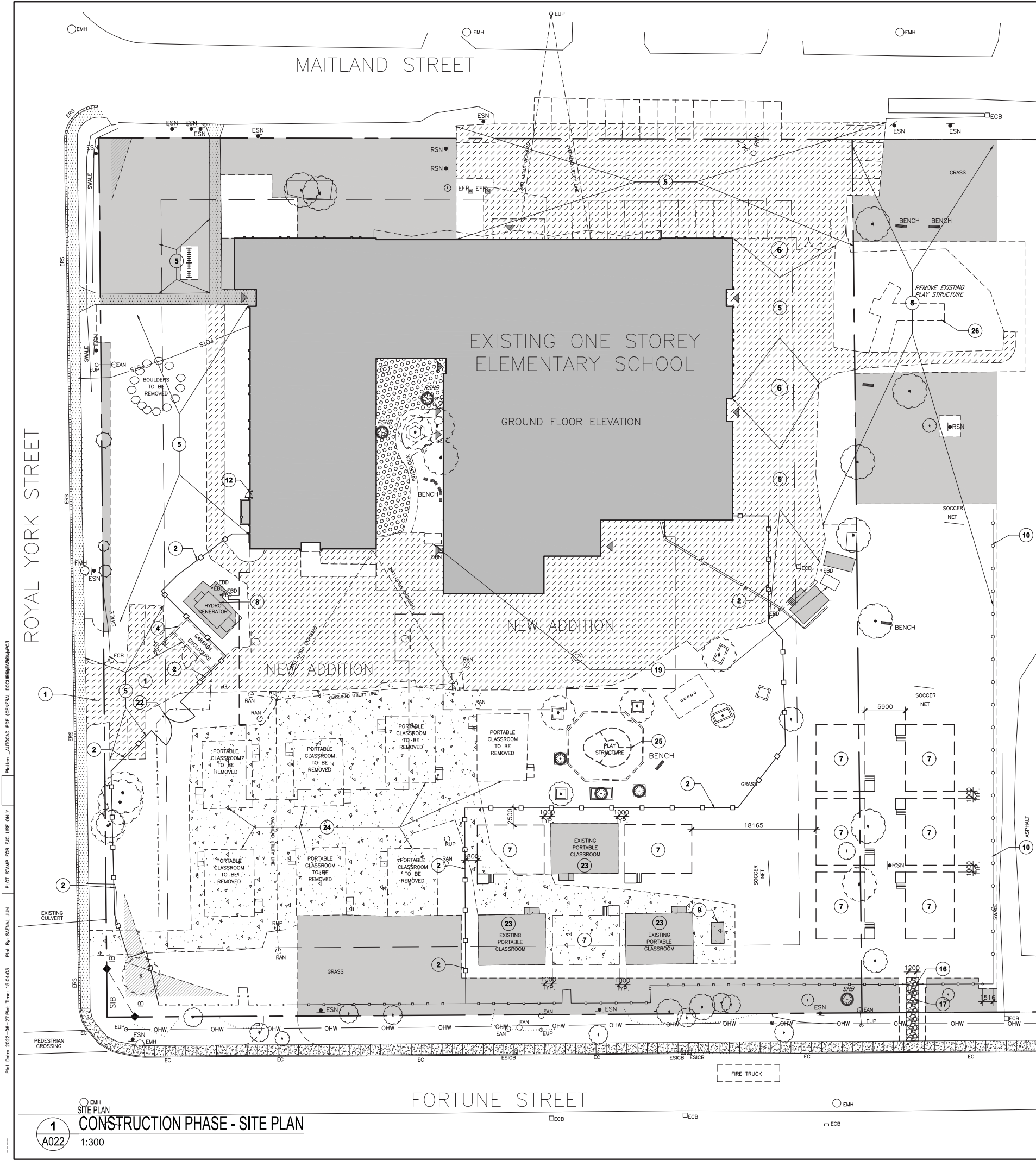
PROJECT TITLE/TITRE DU PROJET
**ST. PHILIP CATHOLIC SCHOOL
ADDITION 2025**
79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
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DRAWING TITLE/TITRE DU DESSIN

SITE DETAILS

SCALE ÉCHELLE	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	S.J.	DRAWING/DESSIN	
CHECKED BY VÉRIFIÉ PAR	J.J.	A004	
DATE	2025	FICHIER ACAD FILE: 2501-A004 SPC.dwg	



LEGEND

EXISTING BUILDING ENTRANCE/EXIT	EXISTING BUILDING
EXISTING BOLLARD TO REMAIN	EXISTING AREA NOT IN SCOPE OF WORK
EXISTING CONCRETE CURB TO REMAIN	EXISTING LIGHT DUTY ASPHALT PAVING TO REMAIN
EXISTING DEPRESSED CONCRETE CURB TO REMAIN	EXISTING CONCRETE WALK TO REMAIN
EXISTING CONCRETE RUMBLE STRIP TO REMAIN	REMOVE EXISTING ASPHALT PAVING INCLUDING GRANULAR BASE
EXISTING CHAIN LINK FENCE TO REMAIN	REMOVE EXISTING LANDSCAPING ROCKS INCLUDING GRANULAR BASE
TO BE DEMOLISHED / REMOVED	REMOVE CRUSHED STONE PATHWAY
ROAD CENTER LINE	CORNER TRIANGLE REQUIREMENT BY OFFICIAL PLAN
SET BACK LINE	REMOVE OR TRANSPLANT EXISTING TREES (REFER TO LANDSCAPE)
PROPERTY LOT LINE	REMOVE EXISTING SHRUB (REFER TO LANDSCAPE)
OUTLINE OF NEW BUILDING	REMOVE EXISTING BOULDERS (REFER TO LANDSCAPE)
IRON BAR (REFER TO SURVEY)	EXISTING TREES TO REMAIN (REFER TO LANDSCAPE)
EXISTING MAN HOLE TO REMAIN (REFER TO CIVIL)	EXISTING SHRUB TO REMAIN (REFER TO LANDSCAPE)
EXISTING CATCH BASIN TO REMAIN (REFER TO CIVIL)	
EXISTING SIDE INLET CATCH BASIN TO REMAIN (REFER TO CIVIL)	
EXISTING FLAG POLE TO REMAIN	
EXISTING UTILITY POST TO REMAIN	
EXISTING DRAIN TO REMAIN	
EXISTING UTILITY POLE ANCHOR TO REMAIN (REFER TO CIVIL)	
EXISTING SIGN TO REMAIN	
EXISTING BENCH TO REMAIN	
EXISTING UNDERGROUND HYDRO LINE, REFER TO ELECTRICAL	
EXISTING UNDERGROUND FIBRE OPTIC LINE, REFER TO ELECTRICAL	
EXISTING OVERHEAD UTILITY WIRES, REFER TO ELECTRICAL	
REMOVE EXISTING FIRE ROUTE SIGN	
REMOVE EXISTING LIGHT STANDARD	
REMOVE EXISTING MAN HOLE (REFER TO CIVIL)	
REMOVE EXISTING CATCH BASIN (REFER TO CIVIL)	
REMOVE EXISTING UTILITY POST	
REMOVE EXISTING UTILITY POLE ANCHOR (REFER TO CIVIL)	
REMOVE EXISTING SIGN	
REMOVE EXISTING CHAIN LINK FENCE TO NEAREST POST, INCLUDING CONCRETE FOOTINGS, COORDINATE WITH LOCATION OF NEW FENCE	

CONSTRUCTION PHASE NOTES

- USE EXISTING DRIVEWAY AS CONSTRUCTION SITE ENTRANCE
- CONSTRUCTION FENCE 1800mm HIGH WITH FULL HEIGHT WINDSCREEN PRIVACY BLACK MESH
- REMOVE EXISTING FENCE AND GATE
- GARBAGE ENCLOSURE TO BE UTILIZED BY SCHOOL STAFF DURING CONSTRUCTION. REMOVE EXISTING GARBAGE ENCLOSURE INCLUDING CONCRETE FOOTINGS.
- ALL SITE WORK OUTSIDE OF CONSTRUCTION ZONE TO BE COMPLETED DURING SUMMER 2026
- EXISTING FIRE ROUTE SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION
- RELOCATED EXISTING PORTABLES UTILIZED DURING CONSTRUCTION. - TO BE INSTALLED BY OWNER AND REMOVED AT COMPLETION OF CONSTRUCTION. (N.I.C.)
- EXISTING EMERGENCY GENERATOR TO REMAIN. PROVIDE OVERHEAD AND SIDE PROTECTION ON ALL SIDES DURING CONSTRUCTION.
- EXISTING TRANSFORMER CONCRETE BUNKER FOR THE PORTABLES. REMOVE AT COMPLETION OF BUILDING ADDITION. PROVIDE PROTECTION DURING CONSTRUCTION.
- 1200mm HIGH NEW CHAIN LINK FENCE. PERMANENT INSTALLATION -SEE A001
- BLOCK EXISTING DOOR AND REMOVE EXISTING EXIT SIGN ABOVE DOOR. PLACE "NO EXIT" SIGN DURING CONSTRUCTION
- REMOVE EXISTING WINDOW AND PROVIDE EMERGENCY EXIT DOOR DURING CONSTRUCTION. SEE ARCHITECTURAL DETAILS.
- BLOCK EXISTING DOOR. PLACE "NO EXIT" SIGN DURING CONSTRUCTION
- PROVIDE TEMPORARY HOARDING COMPLETE WITH 3/4" HR FIRE-RATED HOLLOW METAL DOOR AND FRAME UNTIL OCCUPANCY ACHIEVED. PROVIDE SELF-CLOSING DEVICE AND PANIC HARDWARE. WALL IS TO EXTEND TO UNDERSIDE OF ROOF DECK.
1-HR FIRE RATED WALL ASSEMBLY:
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 - 92 STUD FRAMING
 - FILL STUD CAVITIES WITH SOUND ATTENUATION BATT. FILL GAP BETWEEN TOP STUD AND EXISTING CEILING WITH SOUND ATTENUATION BATT AND FIRE STOPPING.
- PROVIDE TEMPORARY DIRECTIONAL EXIT SIGN TO ROOM 196.
- 1200mm WIDE PEDESTRIAN ACCESS GATE DURING CONSTRUCTION FOR STUDENTS AND PARENTS.
- COMPACTED GRAVEL PATH
- TEMPORARY CONSTRUCTION PHASE EXIT PATH OF TRAVEL
- REMOVE AND RELOCATE EXISTING CONCRETE BUNKER INCLUDING CONCRETE BASE AND/OR SLAB. RELOCATE FROM EXISTING COURTYARD TO OUTSIDE OF CONSTRUCTION FENCE. INSTALL ON 300mm DEEP GRANULAR A PAD.
- PROTECT EXISTING WINDOWS WITH 2-16 GYPSUM BOARD ON 64 STUDS. FILL CAVITY WITH SEMI-RIGID INSULATION FOR SOUND ATTENUATION.
- NOT USED
- 6000mm CONSTRUCTION ACCESS GATE
- EXISTING PORTABLE CLASSROOMS FOR THE DURATION OF CONSTRUCTION. - TO BE REMOVED AT COMPLETION OF CONSTRUCTION.

OTTAWA CATHOLIC SCHOOL BOARD

2	0	2025/05/20	ISSUED FOR SITE PLAN CONTROL APPLICATION
1	0	2025/03/10	ISSUED FOR 1ST REVIEW COMMENTS RESPONSE

ISSUE NO.	REV. NO.	DATE	ISSUE

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TRUE NORTH PLAN NORTH

ONTARIO ASSOCIATION OF ARCHITECTS
JERRY CUHACI
LICENSE
6193

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PROJECT TITLE/TITRE DU PROJET
ST. PHILIP CATHOLIC SCHOOL ADDITION 2025
79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN
CONSTRUCTION PHASE SITE PLAN

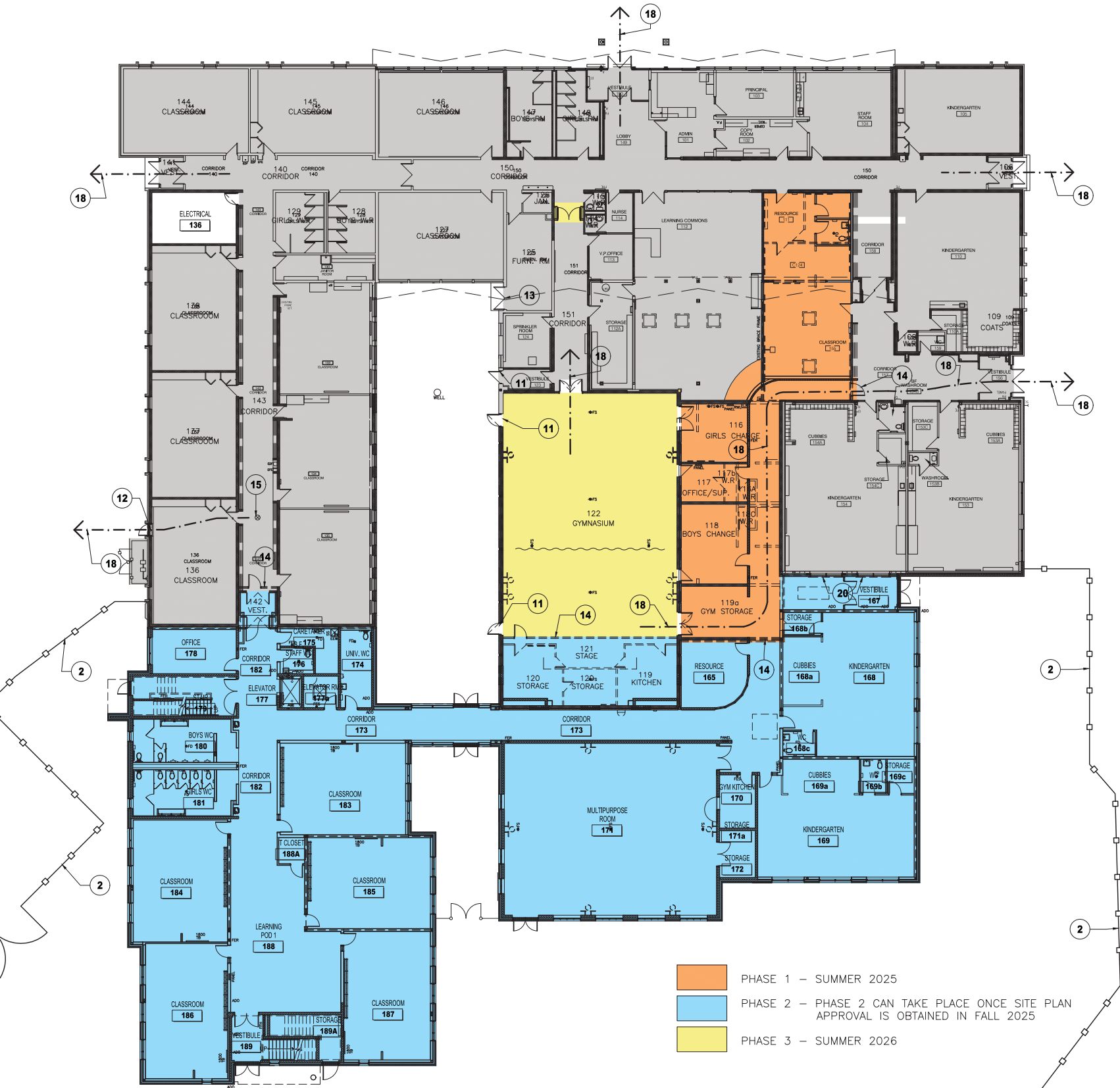
SCALE	PROJ. No	ISSUE No	REV. No
ECHELLE	2501	1	0

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CHECKED BY VÉRIFIÉ PAR	J.J.	
DATE	2025	

A022

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Plot Date: 2022-06-27 Plot Time: 15:04:03 Plot By: SGNAL JUN Plot Stamp For EAC Use Only



FLOOR PLAN
1
A023
CONSTRUCTION PHASE - LIFE SAFETY PLAN AND PHASING OF CONSTRUCTION
1:200

LEGEND

	EXISTING BUILDING ENTRANCE/EXIT		EXISTING BUILDING
	EXISTING BOLLARD TO REMAIN		EXISTING AREA NOT IN SCOPE OF WORK
	EXISTING CONCRETE CURB TO REMAIN		EXISTING LIGHT DUTY ASPHALT PAVING TO REMAIN
	EXISTING DEPRESSED CONCRETE CURB TO REMAIN		EXISTING CONCRETE WALK TO REMAIN
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OTTAWA
CATHOLIC
SCHOOL BOARD

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TRUE NORTH



PLAN NORTH



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PROJECT TITLE/TITRE DU PROJET
**ST. PHILIP CATHOLIC SCHOOL
ADDITION 2025**
79 MATLAND STREET S, RICHMOND, ON, K0A 2Z0

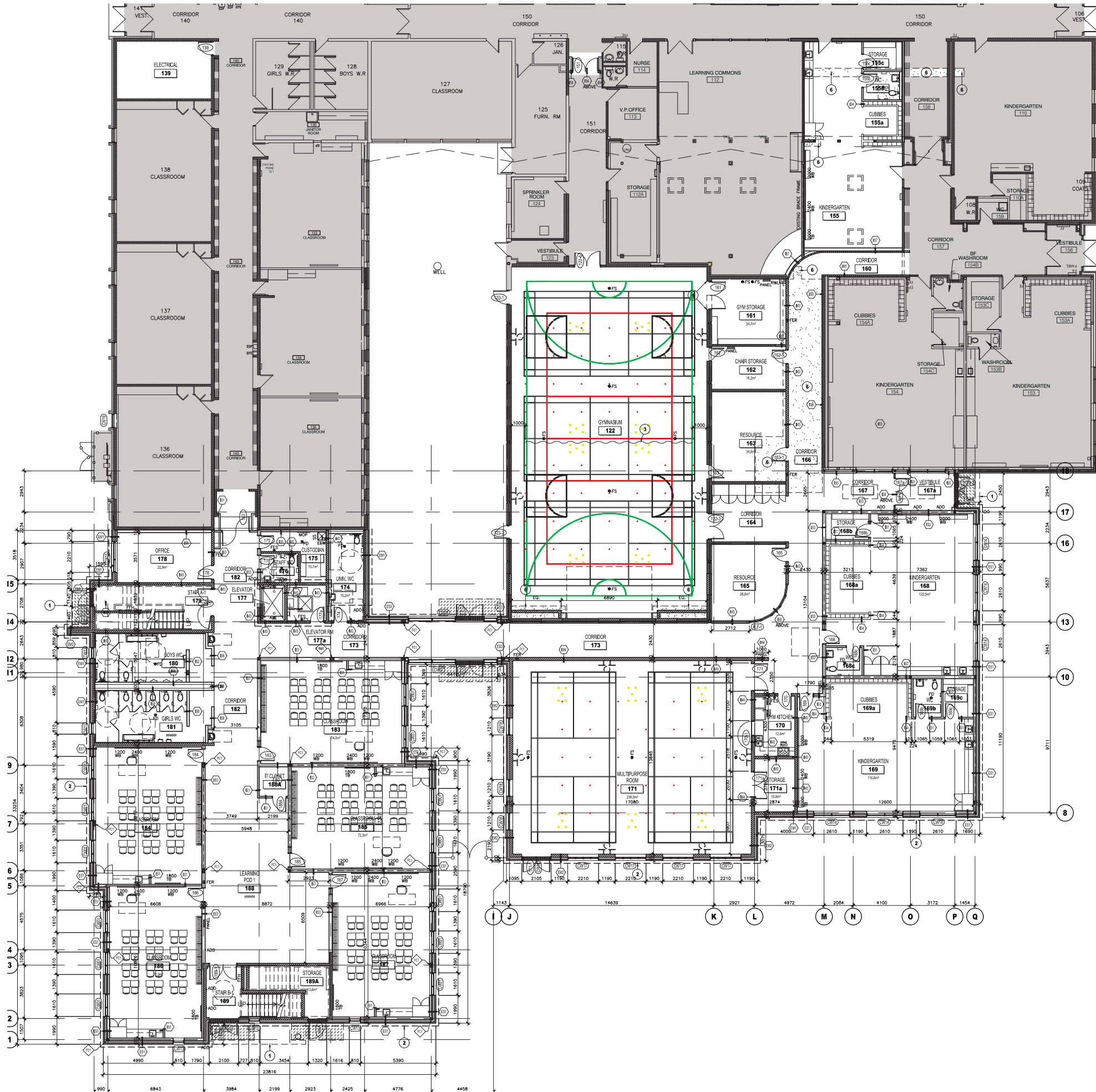
OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN

**CONSTRUCTION PHASE
LIFE SAFETY PLAN AND
PHASING OF CONSTRUCTION**

SCALE Echelle	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINE PAR S.J.	DRAWING/DESSIN	A023	
CHECKED BY VERIFIE PAR J.J.			
DATE 2025			

FICHIER ACAD FILE: 2501-A023 SPC.dwg



1
A100
NEW GROUND FLOOR PLAN
1:150

LEGEND

- 100mm RIGID INSULATION BELOW ASPHALT PAVING AT ENTRANCES, EXTEND MINIMUM 1220mm FROM FACE OF FOUNDATION WALL BELOW. PROVIDE 100mm OF COMPACTED GRANULAR A BETWEEN INSULATION AND ASPHALT.
- CONCRETE SLAB ON GRADE TO BE REPLACED IN EXISTING BUILDING. SEE STRUCTURAL AND MECHANICAL.
- AREA OF NEW MODIFIED BITUMEN ROOFING SYSTEM TO MATCH ADJACENT EXISTING ROOFING TYPE. REFER TO STRUCTURAL AND MECHANICAL.
- EXISTING BUILDING TO REMAIN
- FLOOR DRAIN
- FLOOR SOCKET
- AUTO DOOR OPERATOR ACTUATOR BUTTON



OTTAWA
CATHOLIC
SCHOOL BOARD

1 0 2025/03/10 ISSUED FOR 1ST REVIEW COMMENTS RESPONSE

ISSUE NO. REV. NO. DATE ISSUE

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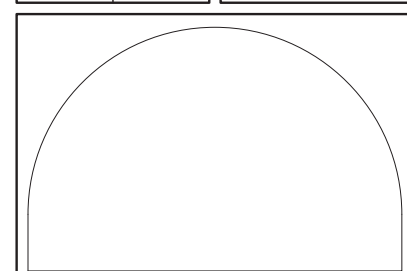
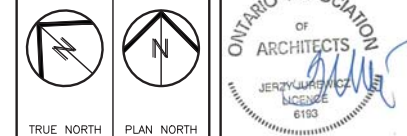
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79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

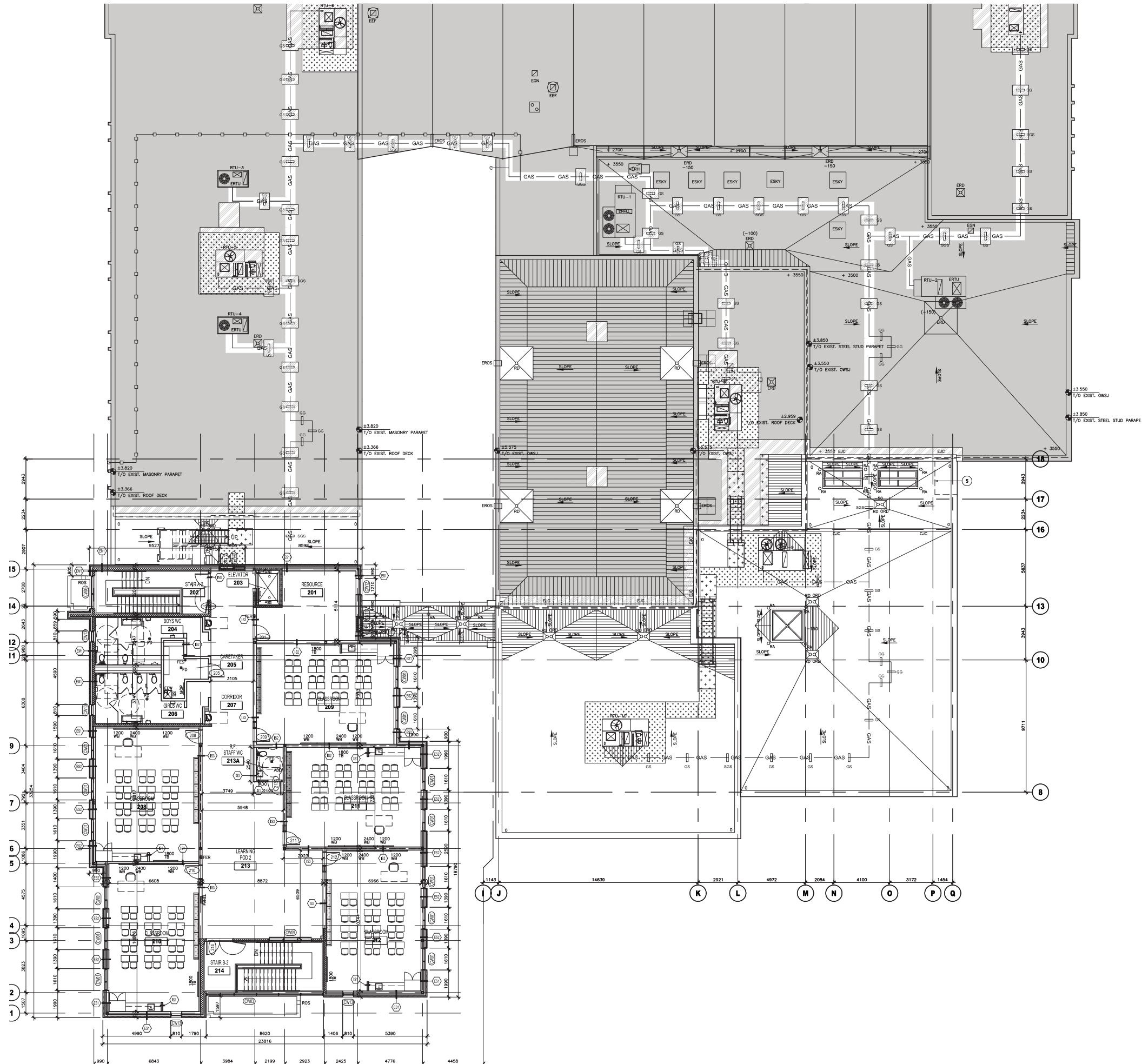
OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN
GROUND FLOOR PLAN

SCALE ÉCHELLE	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	S.J.	DRAWING/DESSIN	
CHECKED BY VÉRIFIÉ PAR	J.J.		
DATE	2025		

A100

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1
A101
NEW SECOND FLOOR PLAN
1:150



**OTTAWA
CATHOLIC
SCHOOL BOARD**

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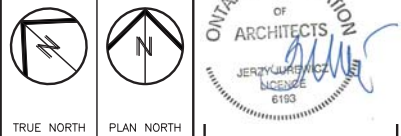
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79 MAITLAND STREET S, RICHMOND, ON, K0A 2Z0

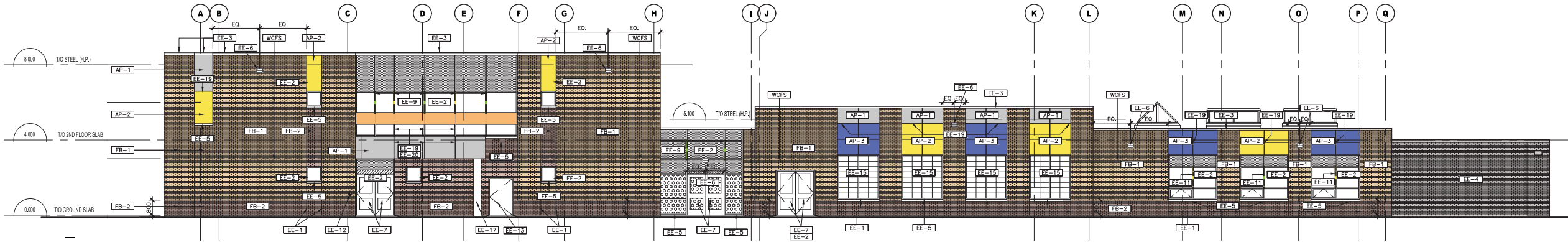
OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN
SECOND FLOOR PLAN

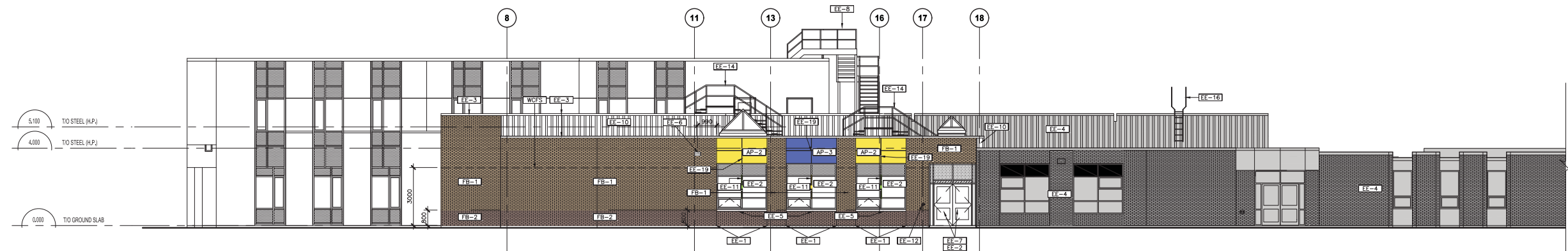
SCALE ÉCHELLE	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	S.J.	DRAWING/DESSIN	
CHECKED BY VÉRIFIÉ PAR	J.J.		
DATE	2025		

A101
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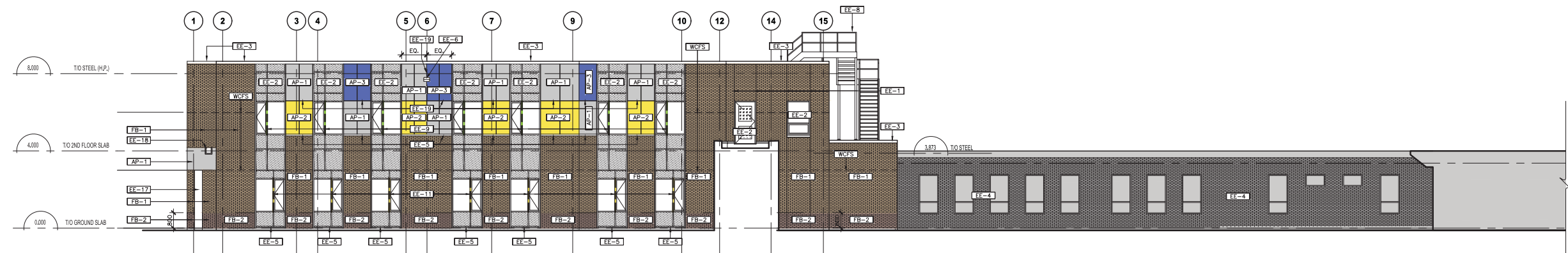
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1 SOUTH ELEVATION
A200 1:125

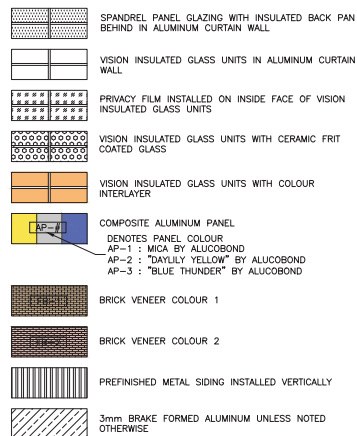


2 EAST ELEVATION
A200 1:125



3 EAST ELEVATION @ 2-STOREY ADDITION
A200 1:125

ELEVATION LEGEND



ELEVATION NOTES

WCFS	WALL CAVITY FIRE STOP
EE-1	MASONRY CONTROL JOINT
EE-2	CURTAIN WALL SYSTEM, REFER TO WINDOW SCHEDULE
EE-3	PRE-FINISHED METAL CAP FLASHING
EE-4	EXISTING BUILDING
EE-5	TYPICAL 2MM BRAKE FORMED ALUMINUM SILL FLASHING
EE-6	EXTERIOR WALL MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL
EE-7	ALUMINUM SWING DOOR
EE-8	ROOF ACCESS STAIR, HOT DIP GALVANIZED
EE-9	75mm DEEP EXTRUDED ALUMINUM EXTENSION CURTAIN WALL CAP. CUSTOM COLOURS
EE-10	PRE-FINISHED METAL SIDING - VERTICAL INSTALLATION
EE-11	32mm DEEP EXTRUDED ALUMINUM CURTAIN WALL CAP. CUSTOM COLOURS
EE-12	AUTOMATIC DOOR OPERATOR (ADO)
EE-13	PRESSED HOLLOW METAL DOOR AND FRAME
EE-14	ROOF CROSSOVER STAIR, HOT DIP GALVANIZED
EE-15	KALWALL PANEL SYSTEM, REFER TO SPECIFICATIONS
EE-16	EXISTING ROOF ACCESS LADDER TO REMAIN
EE-17	CONCRETE COLUMN, SMOOTH FINISH
EE-18	ROOF OVERFLOW SCUPPER
EE-19	COMPOSITE ALUMINUM PANEL REVEAL
EE-20	ALIGN COMPOSITE ALUMINUM PANEL REVEAL TO CENTER OF CURTAIN WALL MULLION



**OTTAWA
CATHOLIC
SCHOOL BOARD**

2	0	2025/05/20	ISSUED FOR SITE PLAN CONTROL APPLICATION
1	0	2025/03/10	ISSUED FOR 1ST REVIEW COMMENTS RESPONSE

ISSUE NO.	REV. NO.	DATE	ISSUE
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ADDITION 2025**
79 MATLAND STREET S, RICHMOND, ON, K0A 2Z0

OTTAWA CATHOLIC SCHOOL BOARD
570 WEST HUNT CLUB ROAD
OTTAWA, ONTARIO, K2G 3R4

DRAWING TITLE/TITRE DU DESSIN

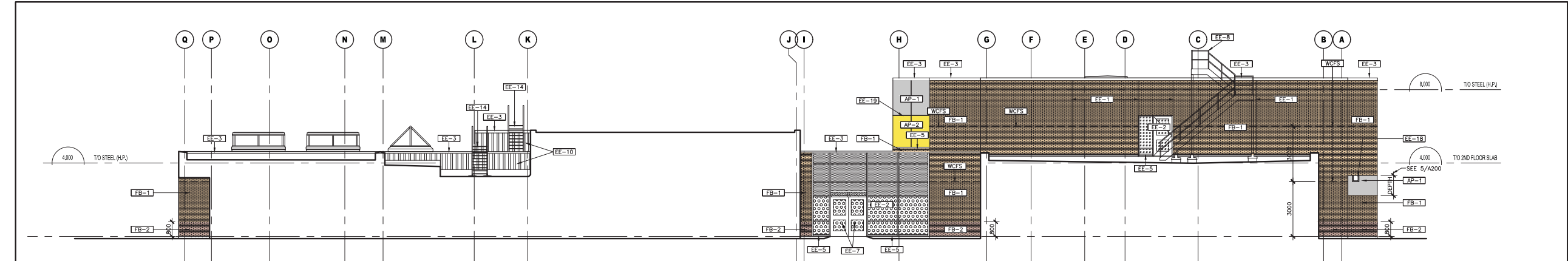
BUILDING ELEVATIONS

SCALE ÉCHELLE	PROJ. No 2501	ISSUE No 1	REV. No 0
DRAWN BY DESSINÉ PAR	S.J.	DRAWING/DESSIN	
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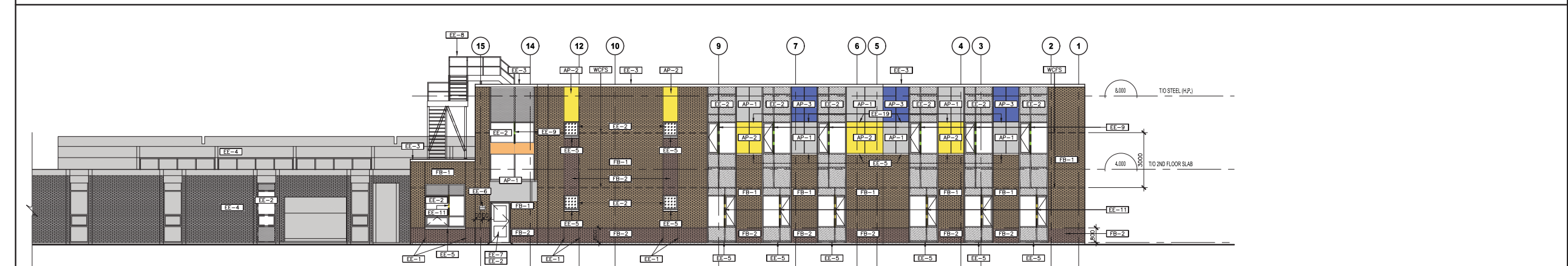
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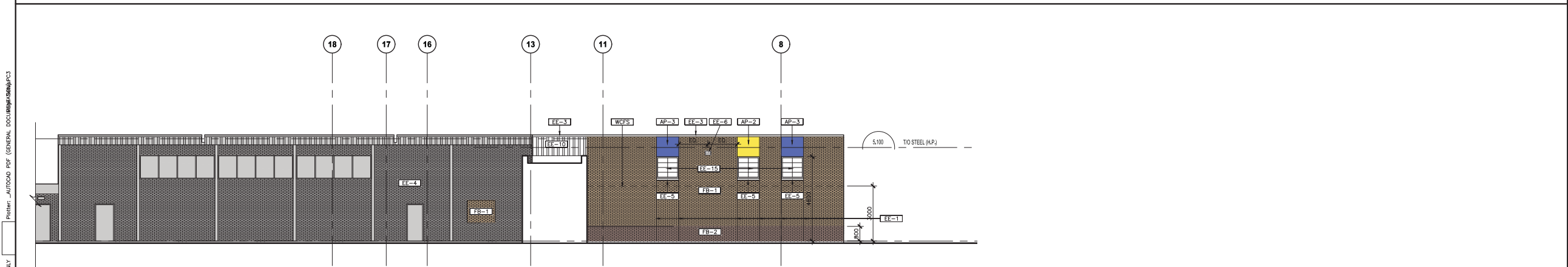
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1 NORTH ELEVATION @ 2-STOREY ADDITION
A201 1:125



2 WEST ELEVATION
A201 1:125



3 WEST ELEVATION @ MULTI PURPOSE ROOM
A201 1:125

ELEVATION LEGEND

	SPANDREL PANEL GLAZING WITH INSULATED BACK PAN BEHIND IN ALUMINUM CURTAIN WALL
	VISION INSULATED GLASS UNITS IN ALUMINUM CURTAIN WALL
	PRIVACY FILM INSTALLED ON INSIDE FACE OF VISION INSULATED GLASS UNITS
	VISION INSULATED GLASS UNITS WITH CERAMIC FRIT COATED GLASS
	VISION INSULATED GLASS UNITS WITH COLOUR INTERLAYER
	COMPOSITE ALUMINUM PANEL DENOTES PANEL COLOUR AP-1 : MICA BY ALUCOBOND AP-2 : "DAYLILY YELLOW" BY ALUCOBOND AP-3 : "BLUE THUNDER" BY ALUCOBOND
	BRICK VENEER COLOUR 1
	BRICK VENEER COLOUR 2
	PREFINISHED METAL SIDING INSTALLED VERTICALLY
	3mm BRAKE FORMED ALUMINUM UNLESS NOTED OTHERWISE

ELEVATION NOTES

WCFS	WALL CAVITY FIRE STOP
EE-1	MASONRY CONTROL JOINT
EE-2	CURTAIN WALL SYSTEM, REFER TO WINDOW SCHEDULE
EE-3	PRE-FINISHED METAL CAP FLASHING
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BUILDING ELEVATIONS

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CHECKED BY VÉRIFIÉ PAR	J.J.	A201	
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