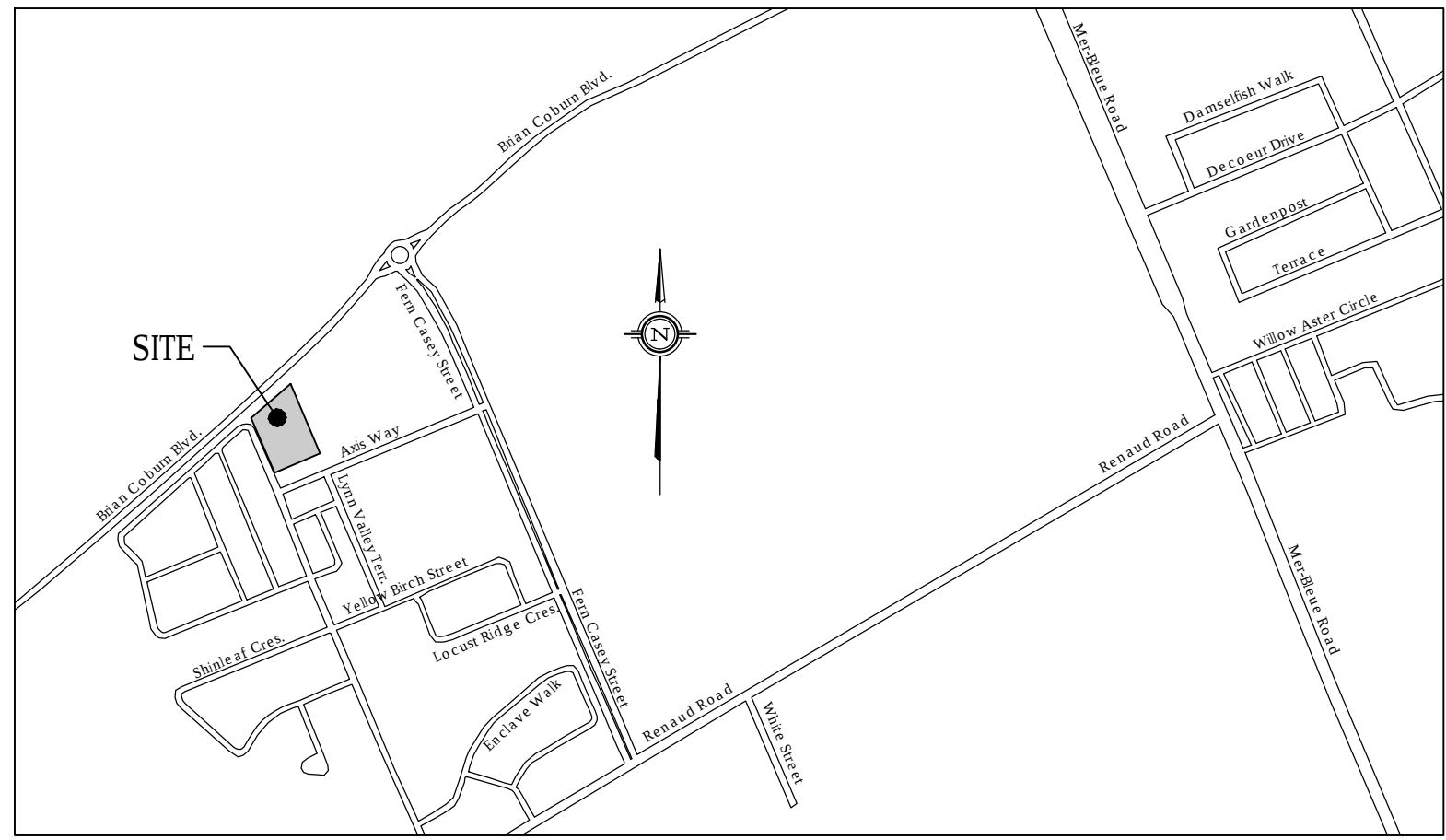
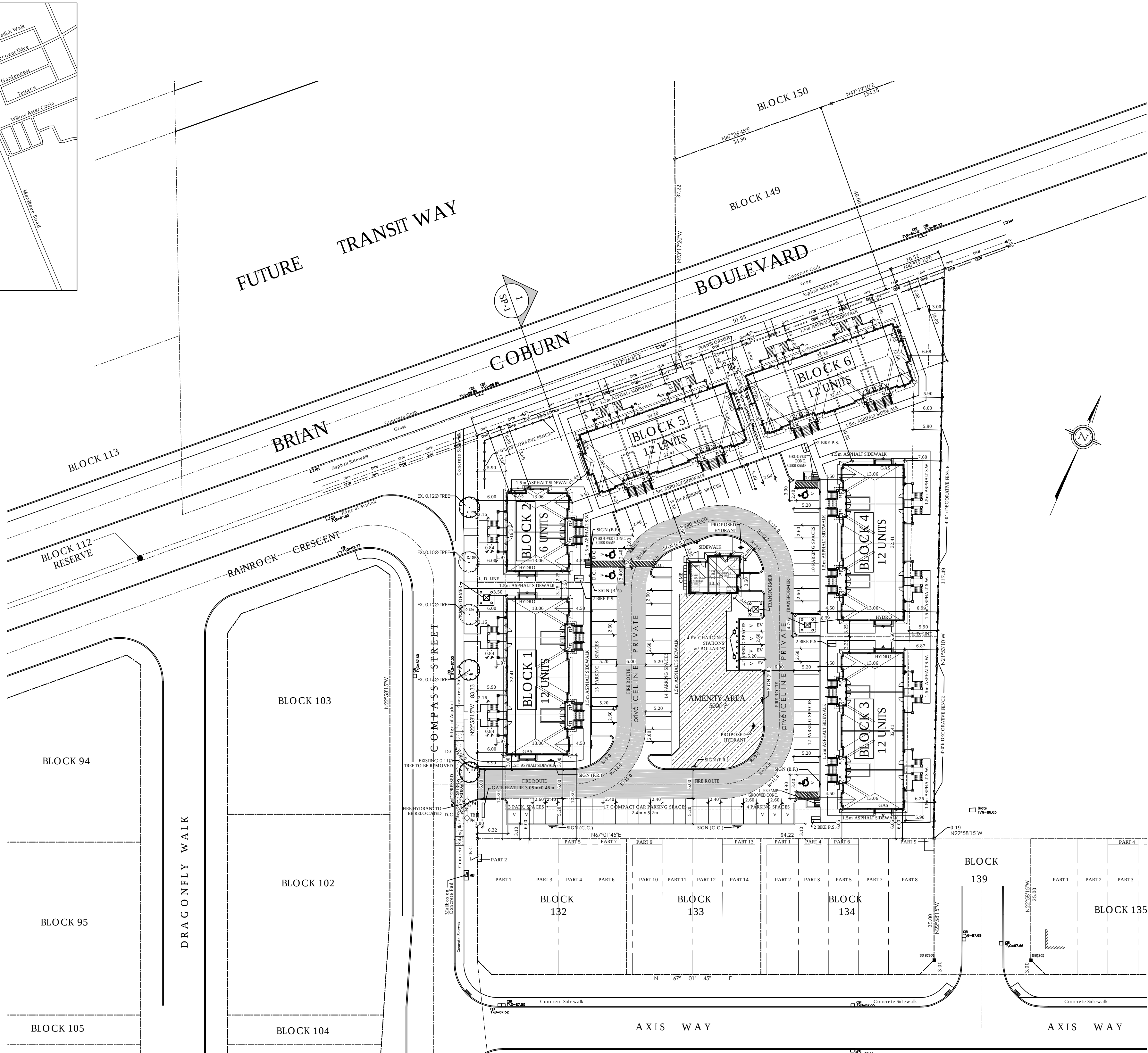




KEY PLAN
NOT TO SCALE



SITE INFORMATION :			
PROPOSED ZONING :		R4Z [_____] - PERMITTED USES :	- PLANNED UNIT DEVELOPMENT (SECTION 131)
			- STACKED DWELLING
SITE AREA :		9,559.35 m²	
TOTAL BUILDING AREA :		2,259.4 m²	
PROPOSED ZONING:		R4Z[_____] PROVIDED:	
LOT AREA (MIN.):		1,400.0 m²	9,559.35 m² (.95 ha)
LOT WIDTH (MIN.):		18.0 m	COMPASS STREET 83.33 m
FRONT YARD (MIN.):		5.9 m	6.00 m
CORNER SIDE YARD (MIN.):		6.0 m	6.90 m
INTERIOR SIDE YARD (MIN.):		6.0 m	6.05 m
REAR YARD (MIN.):		5.9 m	6.00 m
BUILDING SPACING :			
BETWEEN BUILDING & PRIVATE WAY		1.8 m	3.00 m (Block 1)
BETWEEN BUILDINGS		1.2 m	4.00 m
MINIMUM LANDSCAPED AREA :		30.0%	45.6 % (5,197.7m²)
PARKING LOT AREA :			2,573.4 m²
LANDSCAPED BUFFER AREA :			1,154.7 m²
PARKING LOT LANDSCAPING AREA			
- STACKED DWELLING		15.0%	44.8 %
BUILDING HEIGHT (STACKED TERRACE UNITS) (MAX.):		15.0 m	9.38 m
PORCH STAIR TO LOT LINE (SECTION 65)		0.60 m	2.16 m

TOTAL AMENITY AREA REQUIRED :			
(PERIMETER & INTERIOR) :		6.0m ² x 66 = 396.0 m ²	- PRIVATE AMENITY AREA -
			(BALCONIES & PATIOS) 6.5m ² x 66 = 429.0 m ²
COMMUNAL AMENITY AREA REQ'D. (MIN.):		50% of 396 m ² = 198.0 m ²	- COMMUNAL AMENITY AREA -
			TOTAL AMENITY AREA PROVIDED : 929.0 m ²

ACCESSORY BUILDING		SECTION 131	PROVIDED:
BUILDING HEIGHT (MAX.):		4.5 m	4.02 m
FLOOR AREA (MAX.):		200.0 m ²	77.50 m ²

TERRACE FLATS PARKING :			
PARKING REQUIRED :		1.2 Spaces / (66) d.u. + 0.2 / (66) d.u. (Visitor)	= 79 + 13 = 92 Spaces
PARKING PROVIDED :		80 Spaces + 13 Visitor Spaces	= 93 Spaces
2.6m x 5.2m Spaces =		63 Spaces	
2.4m x 5.2m Spaces (Compact Cars)=		17 Spaces (18%)	
2.6m x 5.2m Visitor Spaces =		5 Spaces	
2.6m x 5.2m E.V. Visitor Spaces =		4 Spaces	
3.9m x 5.2m H.C. Visitor Spaces =		93 Spaces	

BICYCLE PARKING REQUIRED :		66 (0.5 / (66) d.u.) = 33 Spaces	
BICYCLE PARKING PROVIDED :		30 Interior Spaces + 8 Exterior Spaces	= 38 Spaces

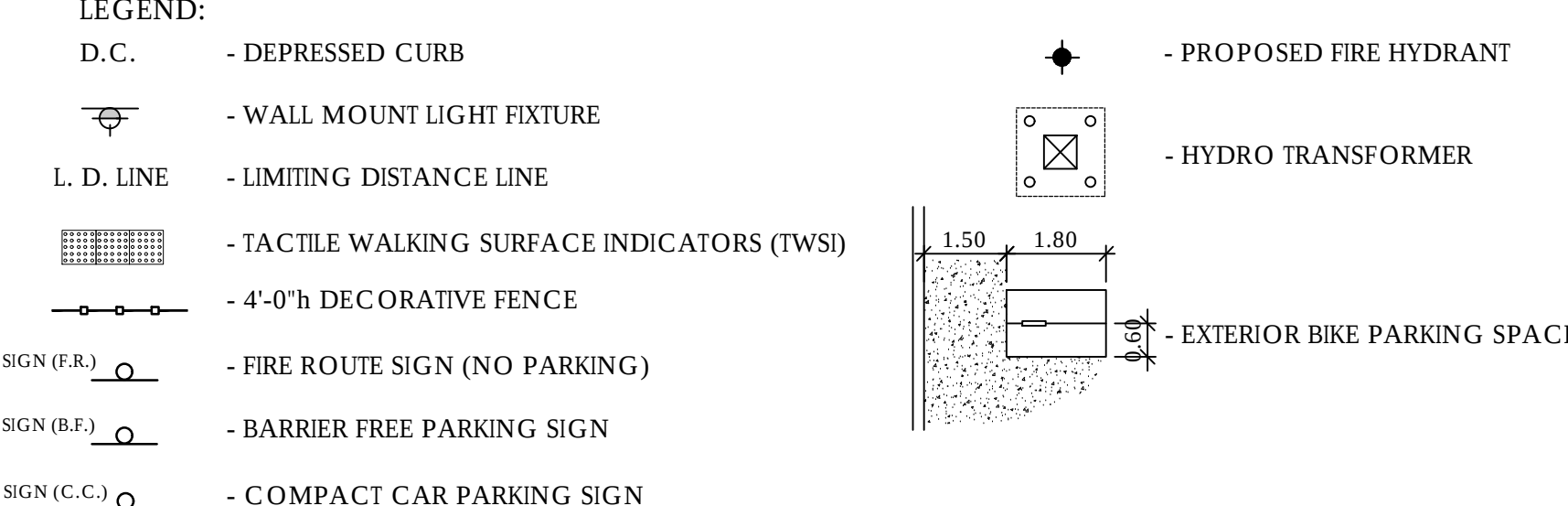
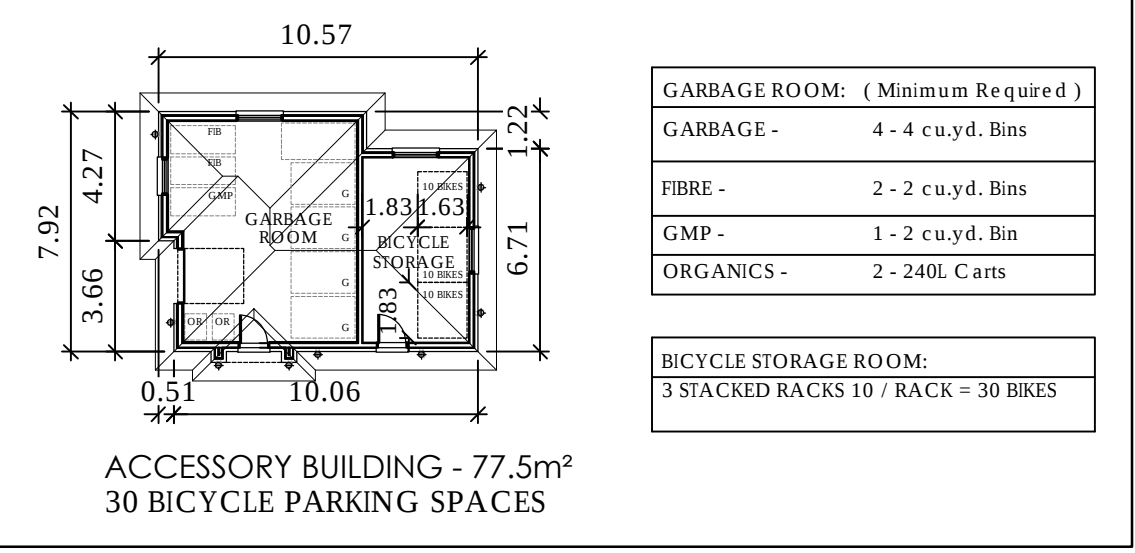
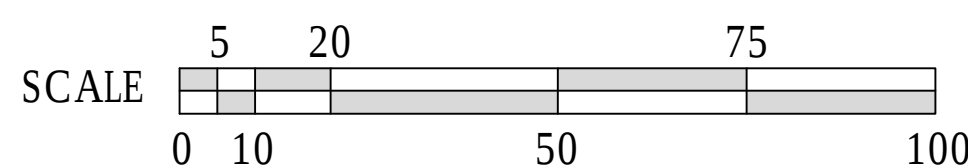
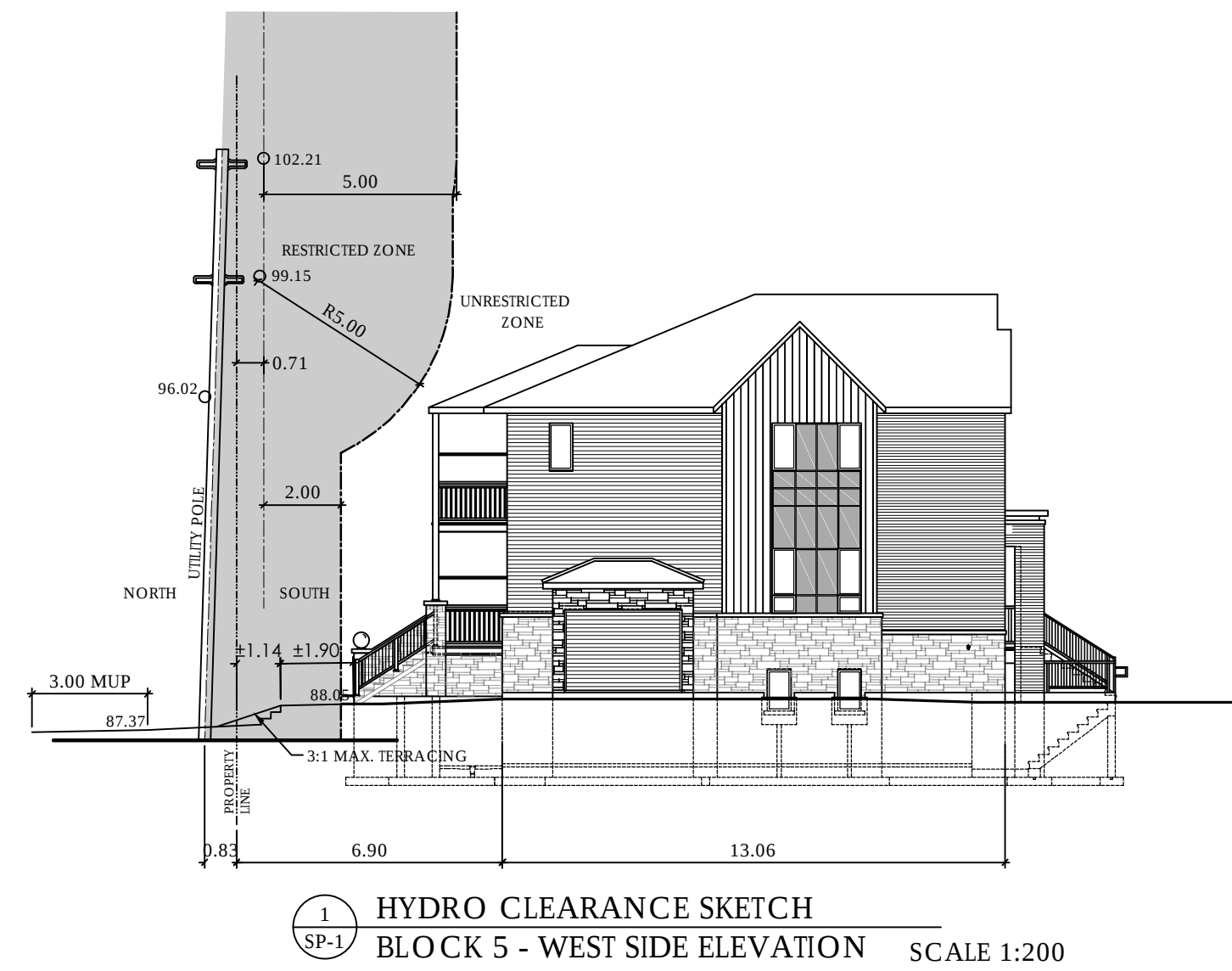
TERRACE FLATS :			
BLOCK No. :	BUILDING AREA:	GROSS FLOOR AREA:	No. UNITS:
BLOCK 1 = TERRACE FLATS	412.0 m ²	1,240.0 m ²	12 UNITS
BLOCK 2 = TERRACE FLATS	212.0 m ²	630.0 m ²	6 UNITS
BLOCK 3 = TERRACE FLATS	412.0 m ²	1,240.0 m ²	12 UNITS
BLOCK 4 = TERRACE FLATS	412.0 m ²	1,240.0 m ²	12 UNITS
BLOCK 5 = TERRACE FLATS	415.0 m ²	1,250.0 m ²	12 UNITS
BLOCK 6 = TERRACE FLATS	415.0 m ²	1,250.0 m ²	12 UNITS
BICYCLE / GARBAGE =	77.5 m ²		
TOTAL =	2,355.5 m ²	6,850.0 m ²	66 UNITS

SNOW STORAGE : SNOW STORAGE WILL BE OFF SITE.

NOTE:

SITE PLAN TO BE READ IN CONJUNCTION WITH :

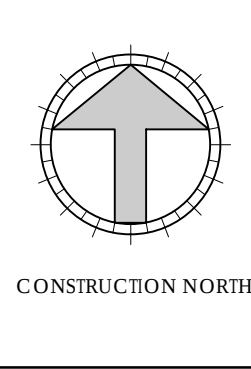
- SITE SERVICING PLAN PREPARED BY: STANTEC CONSULTING LTD.- 400-1330 CLYDE AVE., OTTAWA, ONT.
- LANDSCAPING PLAN PREPARED BY: NAK DESIGN STRATEGIES - 1285 WELLINGTON ST., OTTAWA, ONT.
- BOUNDARIES DERIVED FROM : BLOCK 140 ON PLAN 4M-1544, PART 1 ON PLAN 4R-35191 CITY OF OTTAWA PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD- 14 CONCOURSE GATE, SUITE 500 NEPEAN, ONT.



M. David Blakely
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2200 Prince of Wales Dr. - Suite 101
Ottawa, Ontario K2E 6Z9
Phone (613) 226-8811 Fax (613) 226-7942

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS. ANY DISCREPANCY MUST BE REPORTED TO M. DAVID BLAKELY ARCHITECT INC.
2. ALL WORK AND MATERIALS TO BE IN COMPLIANCE WITH ALL CODES, REGULATIONS, AND BY-LAWS.
3. ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST THE PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME MEANING AND INTENT AS IF THEY WERE INCLUDED WITH THE PLANS IN CONTRACT DOCUMENTS.
4. DO NOT SCALE DRAWINGS.
5. THIS DRAWING SHALL NOT BE USED FOR PERMIT OR CONSTRUCTION UNLESS THE DRAWING BEARS THE ARCHITECT'S SEAL AND SIGNATURE.
6. THIS REPRODUCTION SHALL NOT BE ALTERED.



SEAL

10.	03/10/24	REVISED SIDEWALK WIDTHS	SM	20.					
9.	24/09/24	REVISED BLOCKS 3&4, SIDEWALKS	SM	19.	25/07/25	REVISED PER HYDRO	SM		
8.	19/09/24	REVISED HYDRO CLEARANCE SKETCH	SM	18.	05/06/25	REVISED HYDRO CLEARANCE SKETCH	SM		
7.	20/08/24	REVISED BLOCKS 1, 2, 5 & 6	SM	17.	27/05/25	ADDED STEPS AT BRIAN COBURN BLVD	SM		
6.	04/06/24	REVISED LAYOUT	SM	16.	28/04/25	REVISED SETBACK LINE DIMENSIONS	SM		
5.	29/05/24	REVISED LAYOUT	SM	15.	09/04/25	PORCH STAIRS DIMENSIONED	SM		
4.	08/04/24	REVISED UNIT TYPES & LAYOUT	SM	14.	02/04/25	PER CITY COMMENTS	SM		
3.	11/03/24	REVISED UNIT TYPES & LAYOUT	SM	13.	18/12/24	REV. DEPRESSED CURB/FENCE & TWSI'S	SM		
2.	28/02/24	REVISED BLOCK LAYOUT	SM	12.	29/10/24	REV. DEPRESSED CURB/FENCE & TWSI'S	SM		
1.	15/03/22	FOR REVIEW	SM	11.	09/10/24	REV. AS PER EX. TREES ON COMPASS	SM		
No.	DATE	DESCRIPTION	INT.	No.	DATE	DESCRIPTION	INT.		
REVISIONS				REVISIONS					

PROJECT		DRAWING TITLE	
66 UNIT TERRACE FLATS 640 COMPASS STREET - BLOCK 140 OTTAWA, ONT.		SITE PLAN	
CLIENT		SHEET No.	
RICHCRAFT 2280 ST. LAURENT BLVD. - SUITE 201 OTTAWA, ONTARIO, K1G 4K1		SP-1	
DATE		SCALE	
MAR., 2022.		1:500	
DRAWN BY:		CHECKED	
SBM		MDB	