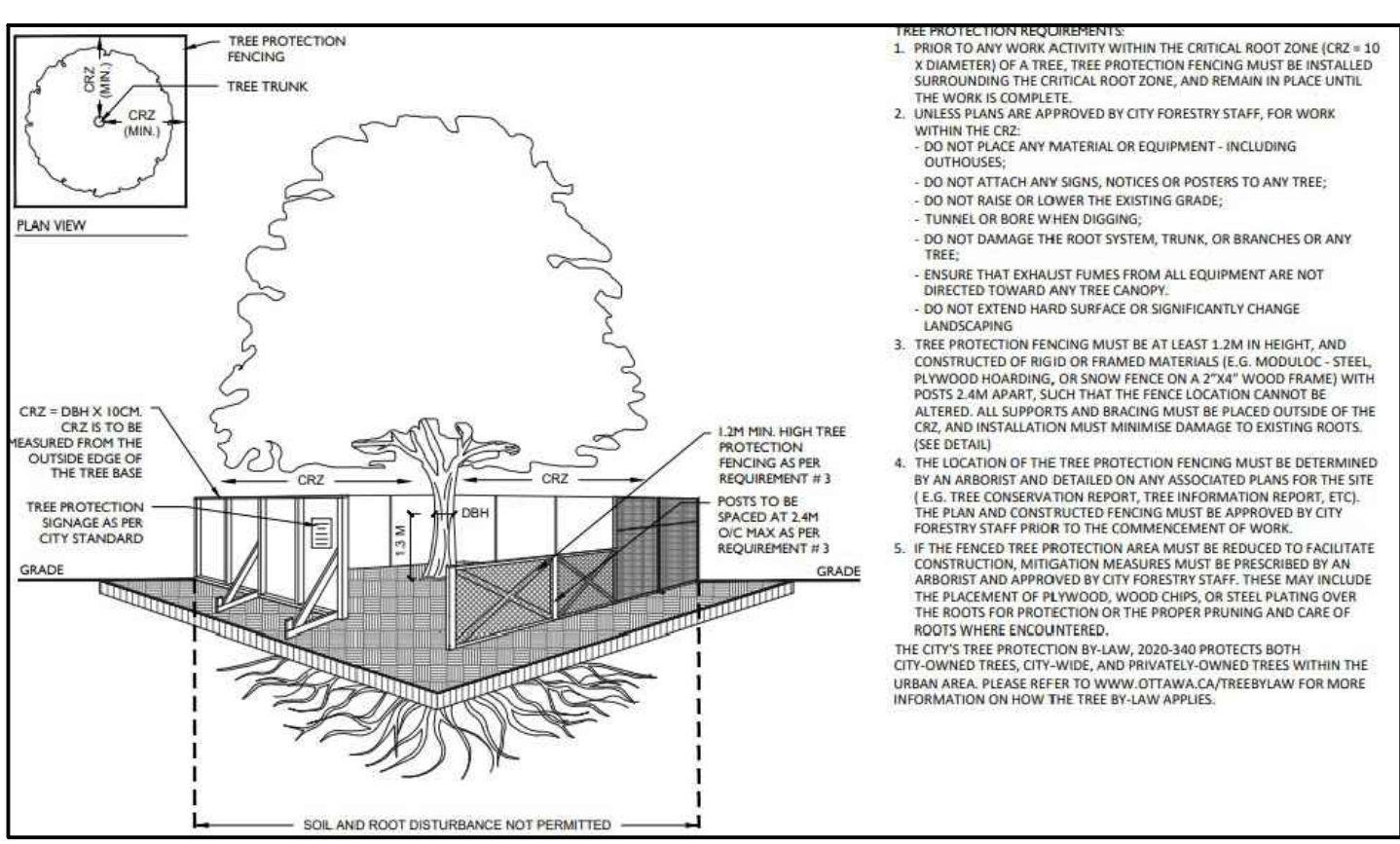


KEY MAP



CITY OF OTTAWA: TREE PROTECTION FENCE DETAIL

CIVIL ENGINEER
CIMA+ Engineering Ltd.
240 Catherine Street, Suite 110
Ottawa, ON, Canada K2P 2G8
Tel: (613) 860-2462
Fax: (613) 860-1870
E-Mail: Eric.Potvin@cima.ca

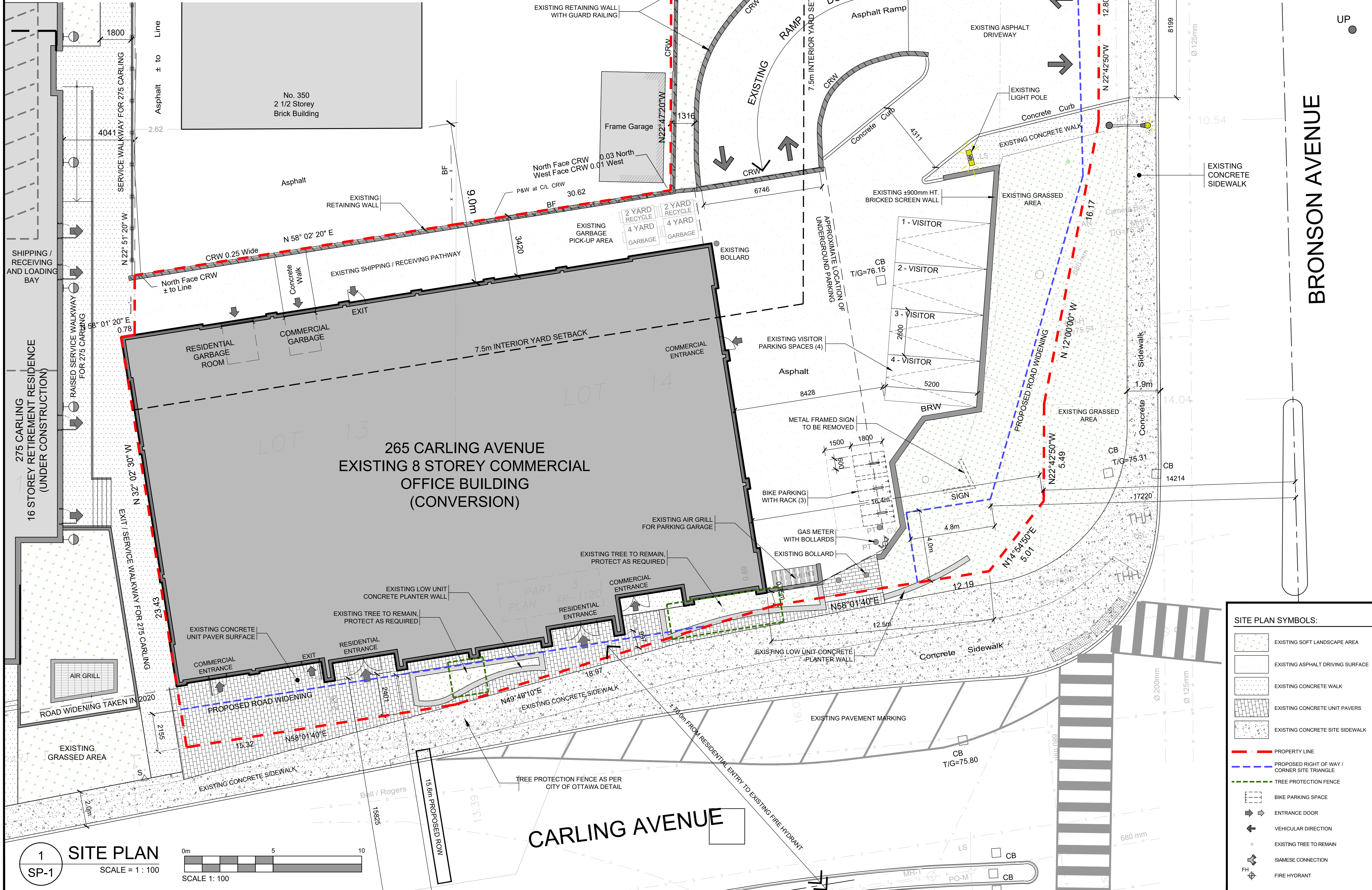
URBAN PLANNER
Fotenn Consulting
396 Cooper Street
Suite 300
Ottawa, ON K2P 2H7
Tel: (613) 612-5959
E-Mail: bolduc@fotenn.com

PROJECT DEVELOPER
KTS Ontario properties
265 Carling Ave unit 401
Ottawa, ON, K1S 2E1
Tel: 613 612-5959
E-Mail: fadi@katasa.ca

PROJECT INFORMATION
Zoning By-law 2008-250 Consolidation AM(2022) H(28)
SITE AREA 0.166 ha.
1,659.3 sq. m.
17,860 sq. ft.

REQUIRED
BUILDING HEIGHT - EXISTING TO REMAIN 28.0m
FRONT YARD SETBACK - EXISTING TO REMAIN 0
CORNER YARD SETBACK - EXISTING TO REMAIN 0
REAR YARD SETBACK - EXISTING TO REMAIN 7.5
RESIDENTIAL UNIT COUNT 0
COMMERCIAL AREA 187.4m²
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT 29
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT 6
PARKING - COMMERCIAL ON GROUND FLOOR - NOT REQUIRED 0
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT 35
BICYCLE PARKING - COMMERCIAL - 1 PER 250m² GFA 3
COMMERCIAL LOADING SPACE 0
AISLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH 6.0m / 6.7m
AMENITY AREA - TOTAL PER UNIT - 6.0m² 420.0m²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m² 210.0m²

NOTATION SYMBOLS:
INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.
INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
DETAIL NUMBER
TITLE
DETAIL REFERENCE PAGE
DETAIL CROSS REFERENCE PAGE



BUILDING STATISTICS
(CITY OF OTTAWA'S DEFINITION)

GROSS BUILDING AREA	0.0 sq. m.
PARKING LEVEL: STAGE #1	800 sq. m.
GROUND FLOOR - COMMERCIAL STAGE #2	187.4 sq. m.
2nd to 5th FLOOR: STAGE #1	2,017 sq. ft.
4 x 496.5 sq. m.	1,986.0 sq. m.
4 x 5,376 sq. ft.	21,504 sq. ft.
6th to 8th FLOOR: STAGE #2	1,498.5 sq. m.
3 x 496.5 sq. m.	16,128 sq. ft.
3 x 5,376 sq. ft.	
TOTAL AREA	3,683.9 sq. m.
	39,649 sq. ft.

UNIT STATISTICS

UNIT	STAGE 1	STAGE 2	TOTAL
STUDIO UNIT	8	24	18
1 BEDROOM UNIT	2	8	10
2 BEDROOM UNIT	2	8	10
TOTAL	10	30	40

RESIDENTIAL UNIT AREA

3,496.5 sq. m.
37,632 sq. ft.

COMMERCIAL RETAIL / PSB / OFFICE

187.4 sq. m.
2,017 sq. ft.

CAR PARKING ZONING AREA "Y"

REQUIRED	PROVIDED
RESIDENCE - 0.5 PER UNIT AFTER 12	29
VISITOR - 0.1 PER UNIT AFTER 12	6
1st FL. COMMERCIAL - NOT REQUIRED	0
TOTAL	35

PROVIDED

265 CARLING - OFFICE - 1.0 PER 100m ² OF G.F.A.	0
265 CARLING - RETAIL - 1.0 PER 100m ² OF G.F.A.	0
265 CARLING - MEDICAL - 2.0 PER 100m ² OF G.F.A.	0
265 CARLING - RESIDENCE - 0.5 PER UNIT AFTER 12	29
265 CARLING - VISITOR - 0.1 PER UNIT AFTER 12	6
TOTAL	35

LOCATION OF PARKING

265 CARLING - AT GRADE	4
265 CARLING - P1 LEVEL	14
275 CARLING - P1 LEVEL	17
TOTAL	35

BICYCLE PARKING

REQUIRED	PROVIDED
DWELLING UNIT - 0.5 PER UNIT (70 UNITS)	35
COMMERCIAL - OFFICE - 1.0 PER 250m ² OF G.F.A.	1
COMMERCIAL - RETAIL PSB - 1.0 PER 250m ² OF G.F.A.	1
TOTAL	37

PROVIDED

UNDERGROUND	37
EXTERIOR AT GRADE	0
TOTAL	37

AMENITY SPACE

STAGE 1: 40 UNITS - REQUIRED 6.0m ² PER = 240.0 sq. m.	
STAGE 2: 30 UNITS - REQUIRED 6.0m ² PER = 180.0 sq. m.	
EAST ROOF COMMUNAL TERRACE (STAGE 1) = 150.0 sq. m.	
WEST ROOF COMMUNAL TERRACE (STAGE 1) = 140.0 sq. m.	
1st FLOOR AMENITY ROOM (STAGE 2) = 160.0 sq. m.	
TOTAL (ALL COMMUNAL) = 450.0 sq. m.	
REQUIRED - 6.0m ² PER UNIT (70) = 420.0 sq. m.	
REQUIRED COMMUNAL @ 50% = 210.0 sq. m.	

WASTE REQUIREMENT (70 UNITS)

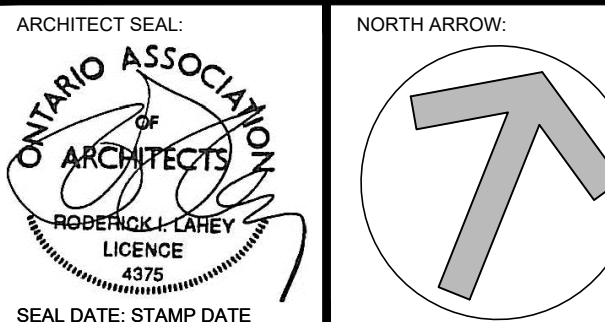
GARBAGE - 0.11 PER UNIT	8 YARDS
RECYCLING GMP - 0.018 PER UNIT	2 YARDS
RECYCLING FIBER - 0.038 PER UNIT	3 YARDS
COMPOST - 240L PER 50 UNITS	2

SITE AREA

EXISTING BUILDING = 671.0 sq. m.	40.5%
EXISTING SURFACE = 655.2 sq. m.	39.5%
EX LANDSCAPE OPENED SPACE = 333.1 sq. m.	20.0%
TOTAL = 1,659.3 sq. m.	100.0%

REVISIONS:

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR ROUND 2 COMMENT RESPONSE	June 11, 25
4	ISSUED FOR ROUND 1 COMMENT RESPONSE	Apr. 07, 25
5	REVISED AS PER CITY COMMENTS	Nov 26, 24
6	ISSUED FOR PHASE 3 PRE-CONSULTATION	May 22, 24
7	ADDED ROW PROTECTION	Apr. 10, 24
8	REVISED FOR FULL CONVERSION	Mar. 14, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Feb. 16, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23



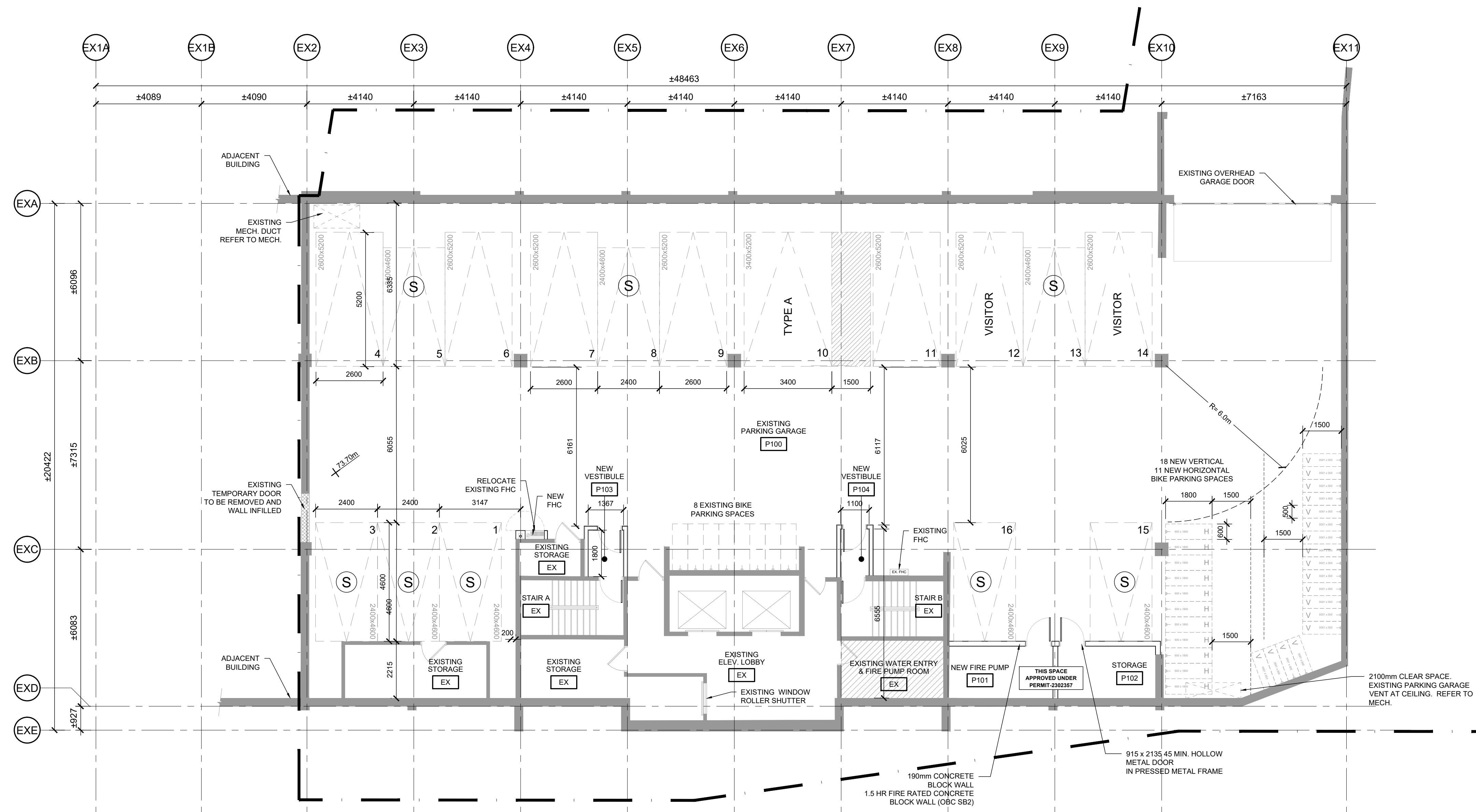
ARCHITECT:
rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
265 CARLING AVENUE

OTTAWA **ONTARIO**

SHEET TITLE:
SITE PLAN

DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:150	SHEET No. SP-1
PROJECT No. 2316	



00 INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

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00 INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.

000 INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.

00—DETAIL NUMBER

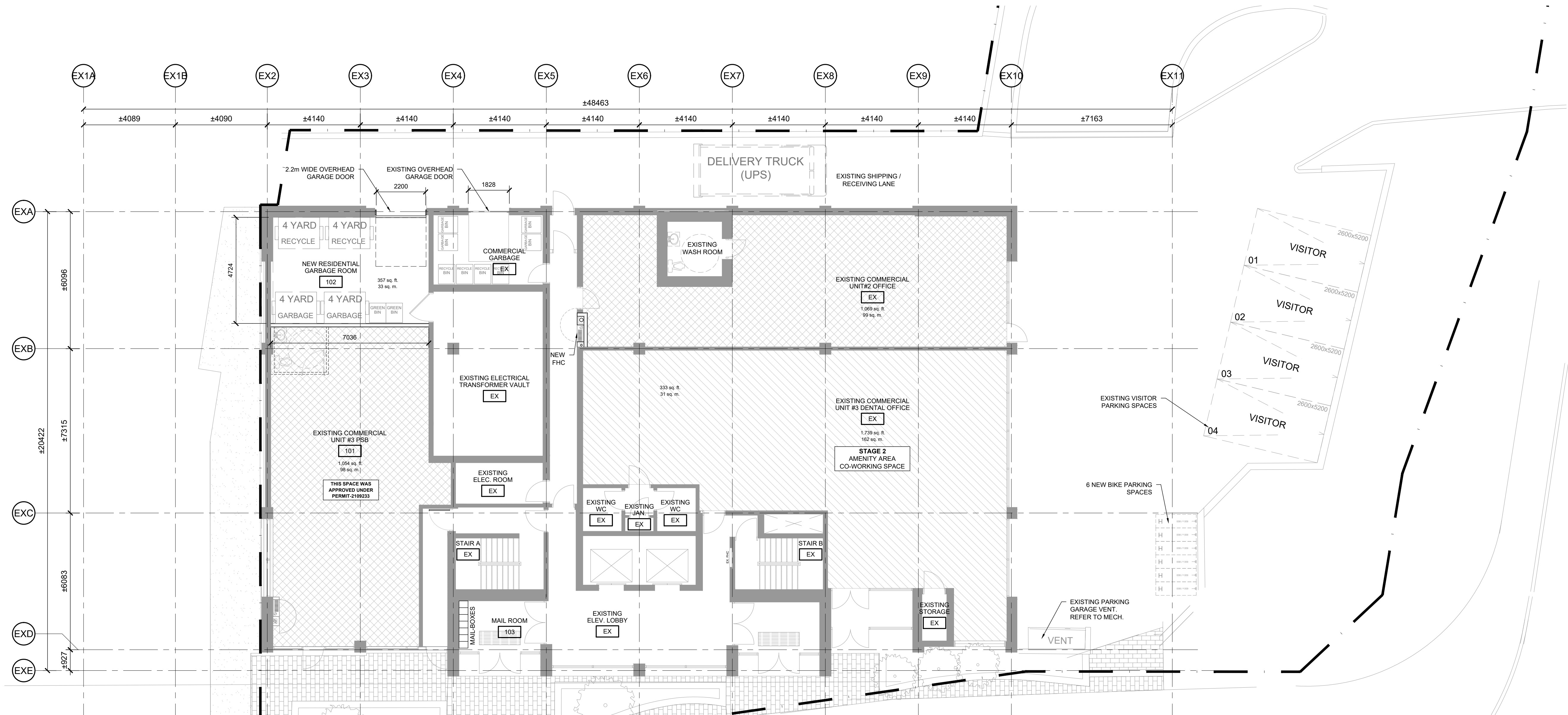
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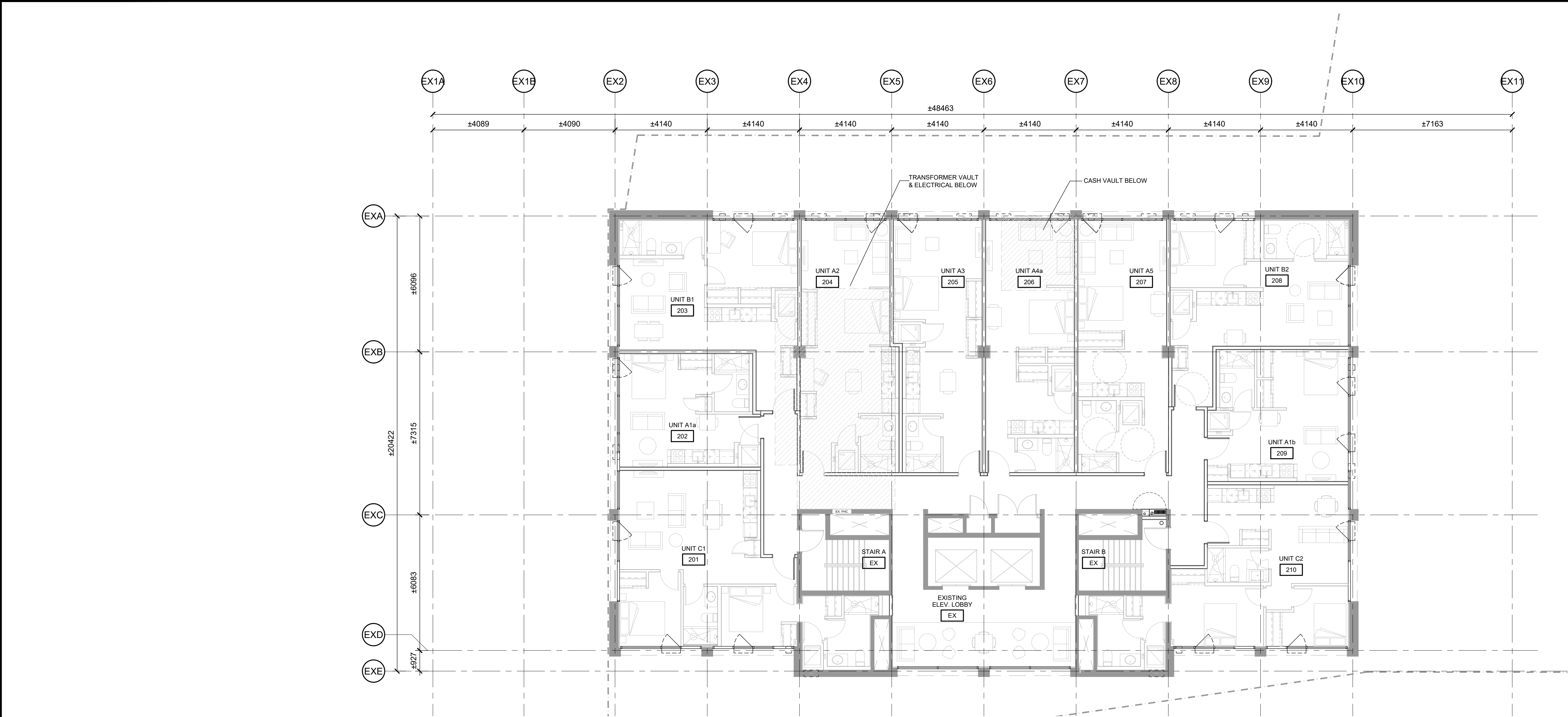
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—DETAIL CROSS REFERENCE PAGE

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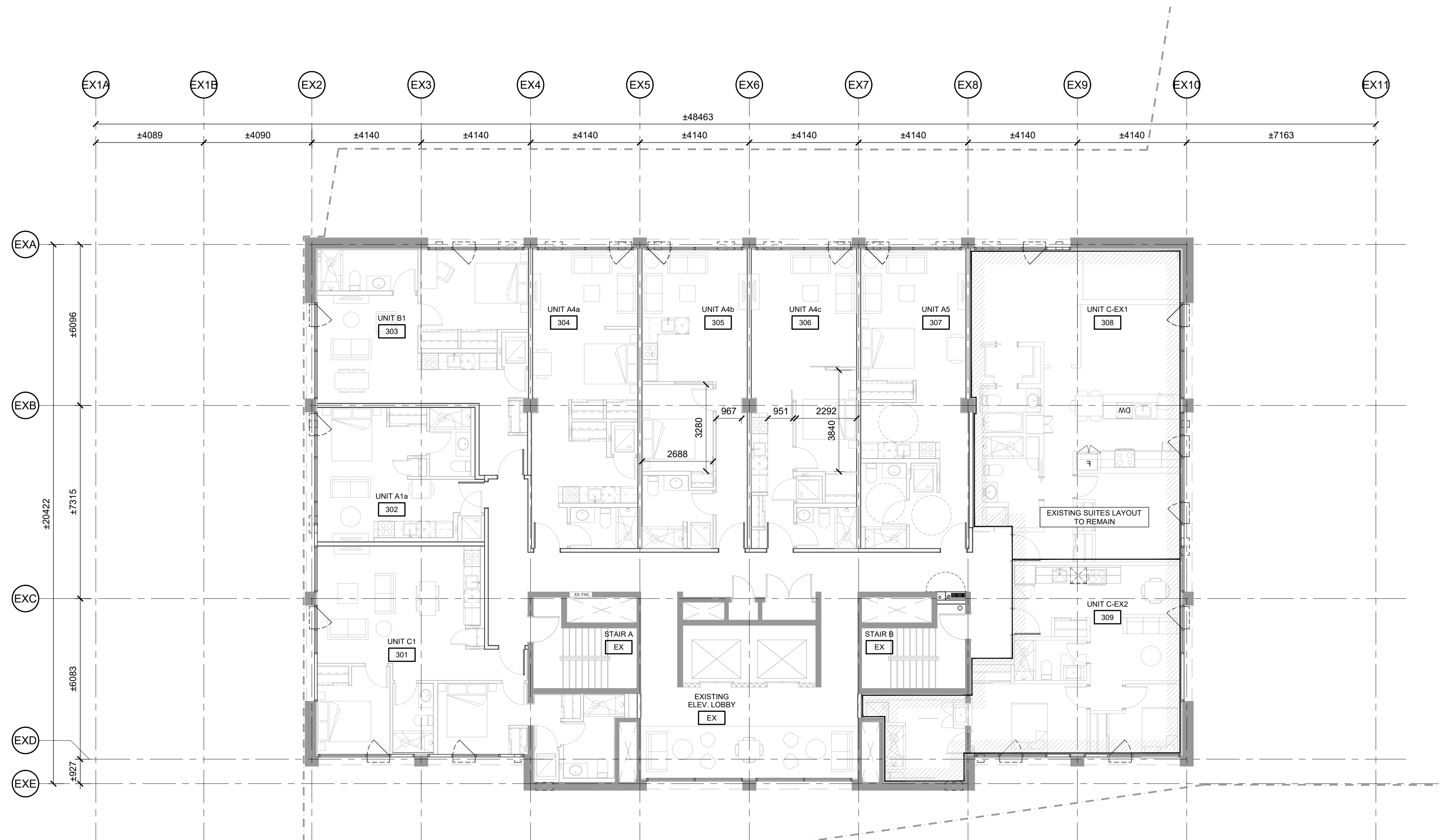


SCALE = 1 : 100



1 2ND FLOOR PLAN - STAGE 1
A101

SCALE = 1:100



2 3RD FLOOR PLAN - STAGE 1
A101

SCALE = 1:100

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	DETAIL NUMBER
	TITLE
	DETAIL REFERENCE PAGE
	DETAIL CROSS REFERENCE PAGE

LEGEND	
UNIT A#	STUDIO BEDROOM UNIT
UNIT B#	1 BEDROOM UNIT
UNIT C#	2 BEDROOM UNIT

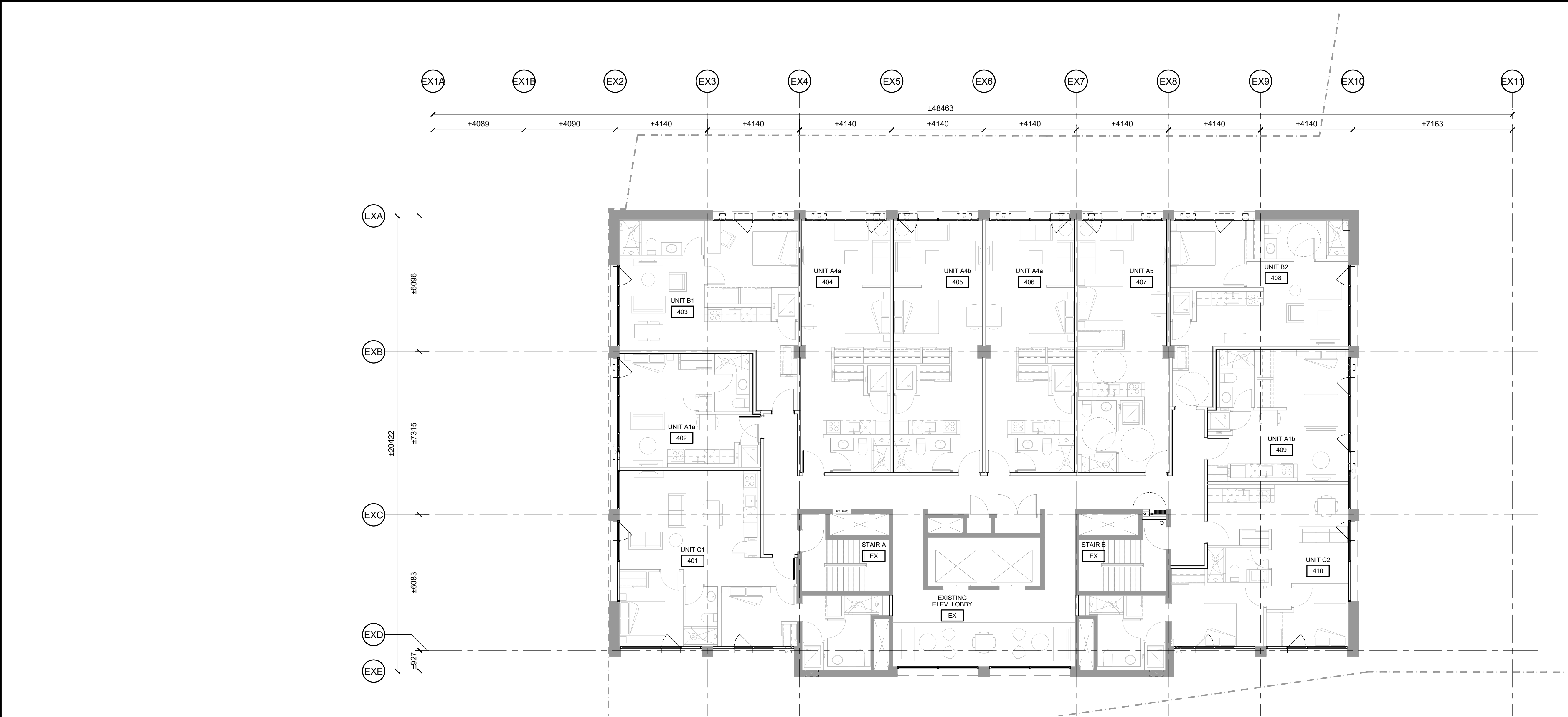
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1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
4	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:
ARCHITECT:
 roderick lahey architect inc. 56 beech street, ottawa, ontario K1S 3J6 t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

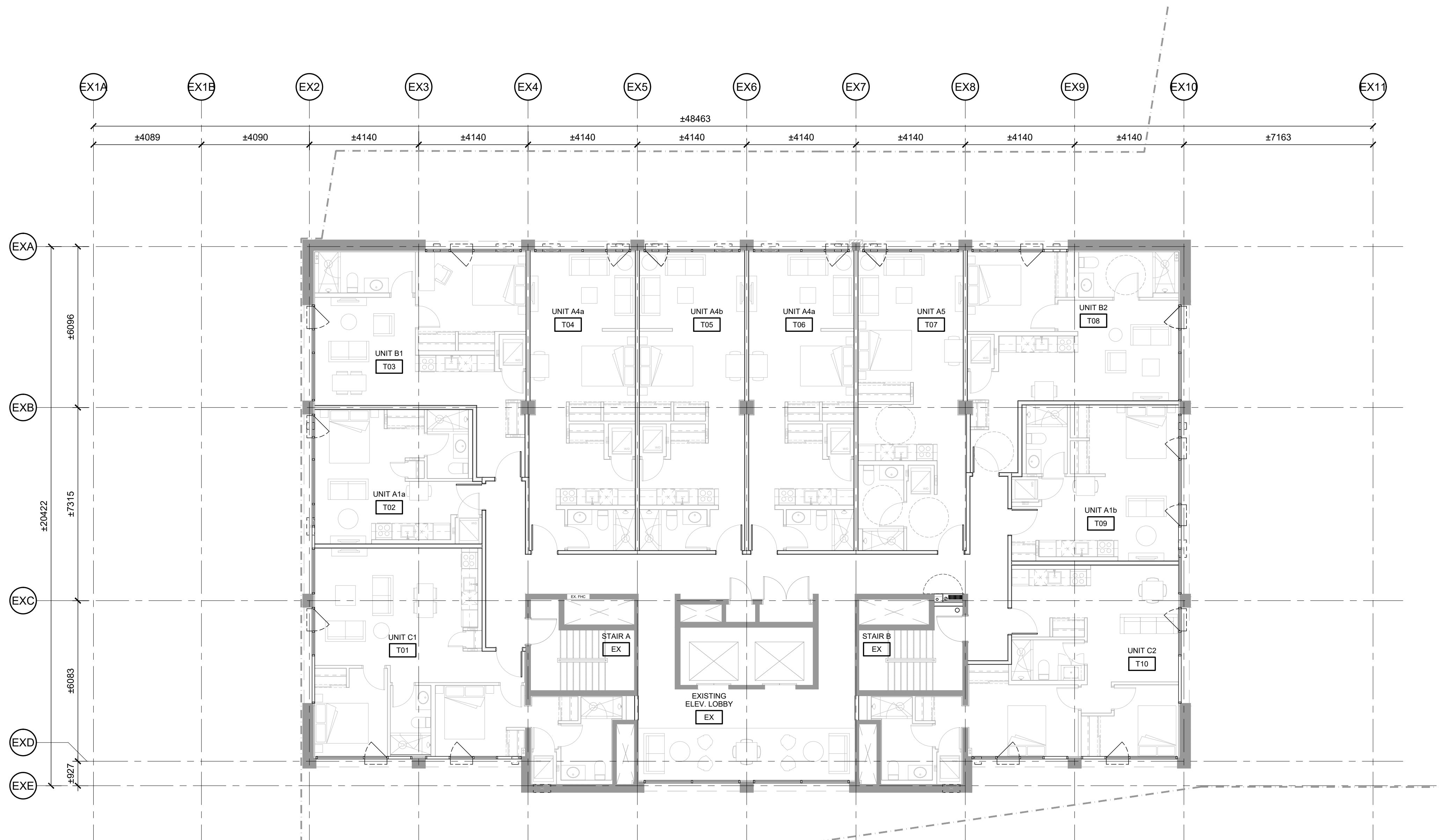
PROJECT TITLE:
265 CARLING AVENUE
OTTAWA ONTARIO
SHEET TITLE:

2ND & 3RD FLOOR PLANS	
DRAWN: OT	CHECKED: RD
SCALE: 1:100	SHEET No. A101
PROJECT No. 2316	



1 4TH TO 5TH FLOOR PLAN - STAGE 1

SCALE = 1 : 100



2 6TH TO 7TH FLOOR PLAN - STAGE 2

SCALE = 1 : 100

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- DETAIL NUMBER
- TITLE
- SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
4	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

ARCHITECT: 
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

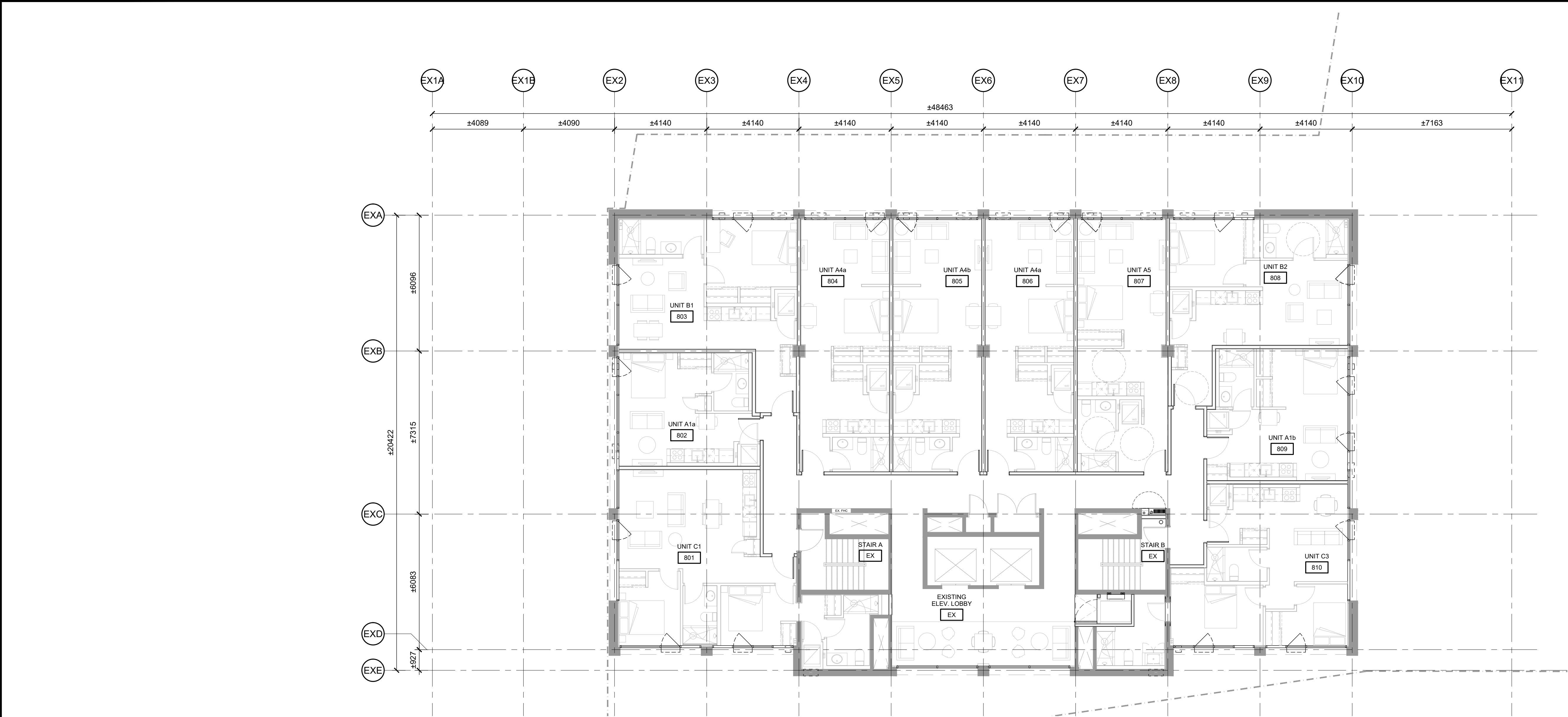
PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
4TH TO 7TH FLOOR PLANS

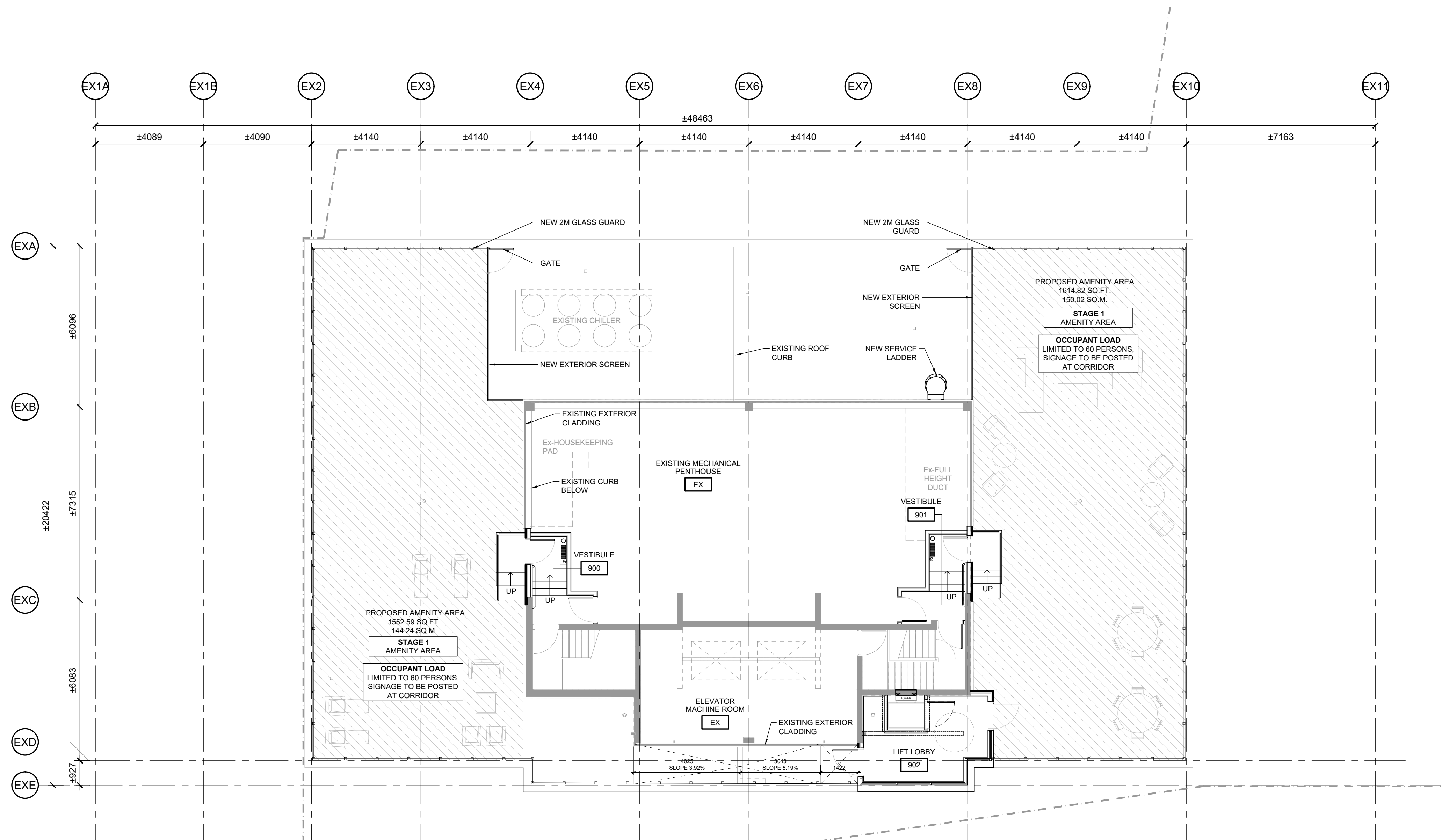
DRAWN: OT	CHECKED: RD
SCALE: 1:100	SHEET No. A102
PROJECT No. 2316	

D07-12-25-0015



1 8TH FLOOR PLAN - STAGE 2

SCALE = 1:100



2 ROOF & MPH PLAN - STAGE 1

SCALE = 1:100

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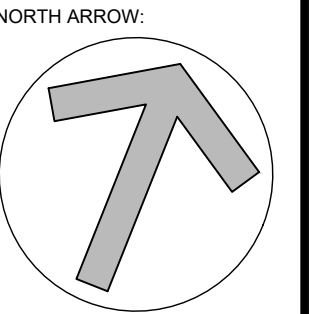
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- (000) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
- DETAIL NUMBER
- (00) TITLE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
4	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:  NORTH ARROW: 

CLIENT: 

ARCHITECT: 
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

8TH, ROOF AND MPH FLOOR PLANS

DRAWN: OT
SCALE: 1:100
PROJECT No: 2316

CHECKED: RD
SHEET No:
A103



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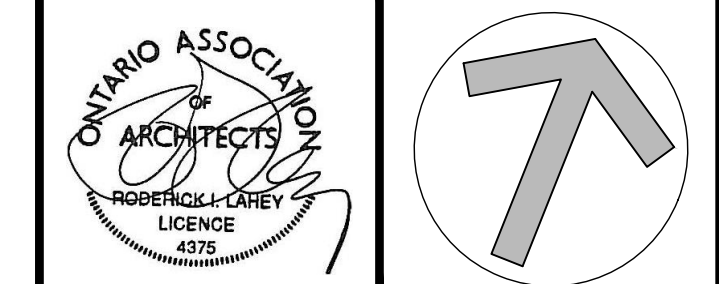
Legend for drawing notes and symbols:

- 00** INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
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- 00** DETAIL NUMBER
- 00** TITLE
- 00** SCALE
- 00** DETAIL REFERENCE PAGE
- 00** DETAIL CROSS REFERENCE PAGE

14			
13			
12			
11			
10	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25	
9	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25	
8	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25	
7	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 28, 25	
6	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24	
5	ISSUED FOR PHASE 3 PRE-CON	May 23, 24	
4	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24	
3	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24	
2	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24	
1	ISSUED FOR PRE CONSULTATION	Oct. 16, 23	
No.	DESCRIPTION	DATE	

REVISIONS:

ARCHITECT SEAL: _____ NORTH ARROW: _____



CLIENT:



ARCHITECT:

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

MPH ROOF
PLAN

DRAWN: OT	CHECKED: RD
SCALE: 1:100	SHEET No. A104
PROJECT No. 2316	

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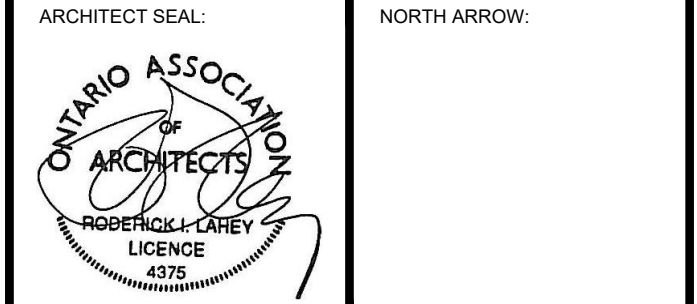
NOTATION SYMBOLS:

-
- A legend titled "LEGEND" showing various drawing symbols and their meanings:
-  INDICATES DRAWING NOTES, LISTED ON EACH SHEET
 -  INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
 -  INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
 -  INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
 -  DETAIL NUMBER
 -  TITLE
 -  SCALE
 -  DETAIL REFERENCE PAGE
 -  DETAIL CROSS REFERENCE PAGE



10	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25	
9	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25	
8	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25	
7	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25	
6	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24	
5	ISSUED FOR PHASE 3 PRE-CON	May. 23, 24	
4	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24	
3	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24	
2	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24	
1	ISSUED FOR PRE CONSULTATION	Oct. 16, 23	
No.	DESCRIPTION	DATE	

REVISIONS:



CLIENT:	
---------	--



ARCHITECT:

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

SOUTH
ELEVATION

DRAWN:	CHECKED:
OT	RD
SCALE:	SHEET No.
1:75	A200
PROJECT No.	
2316	

1 SOUTH ELEVATION

SCALE = 1 : 75

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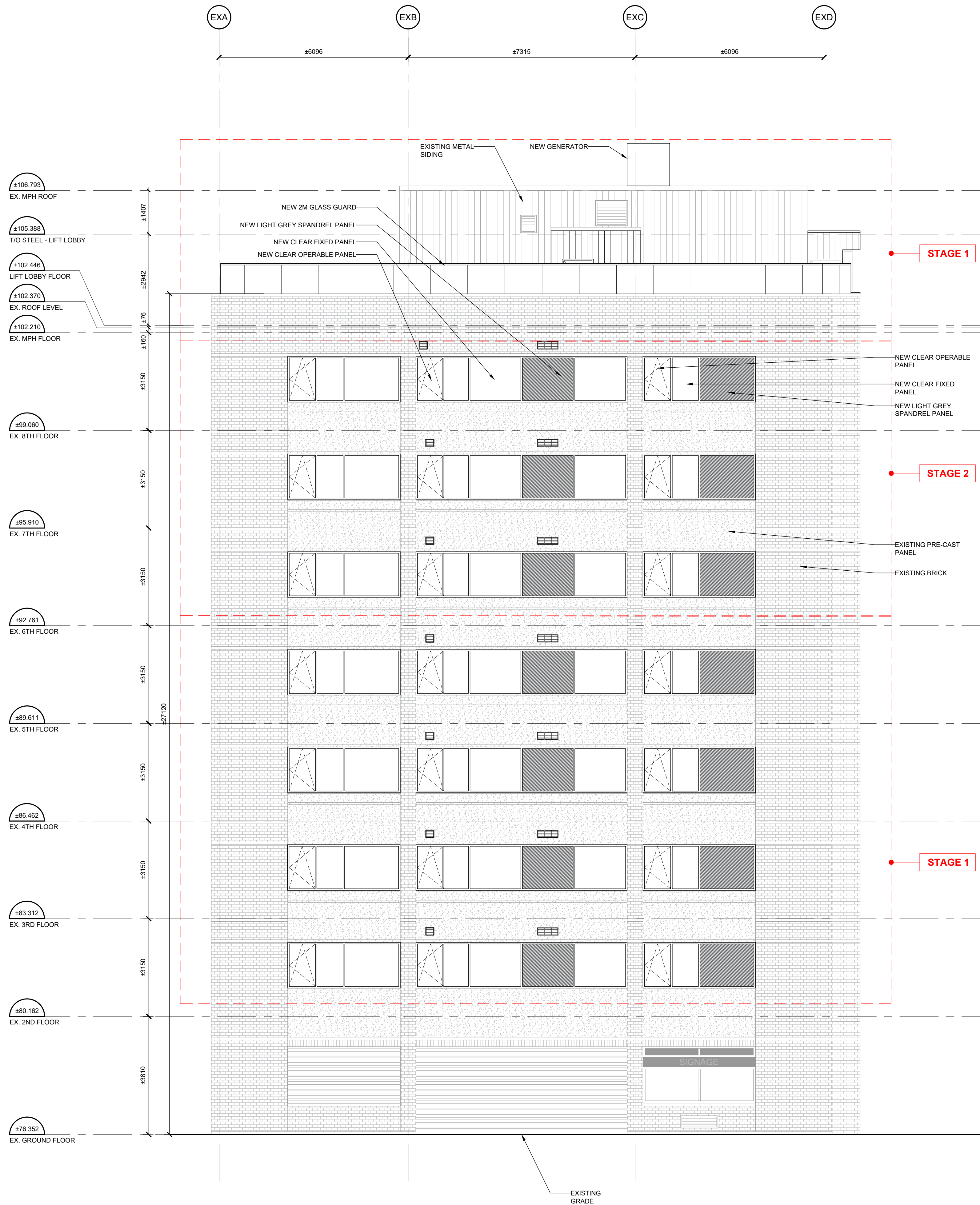
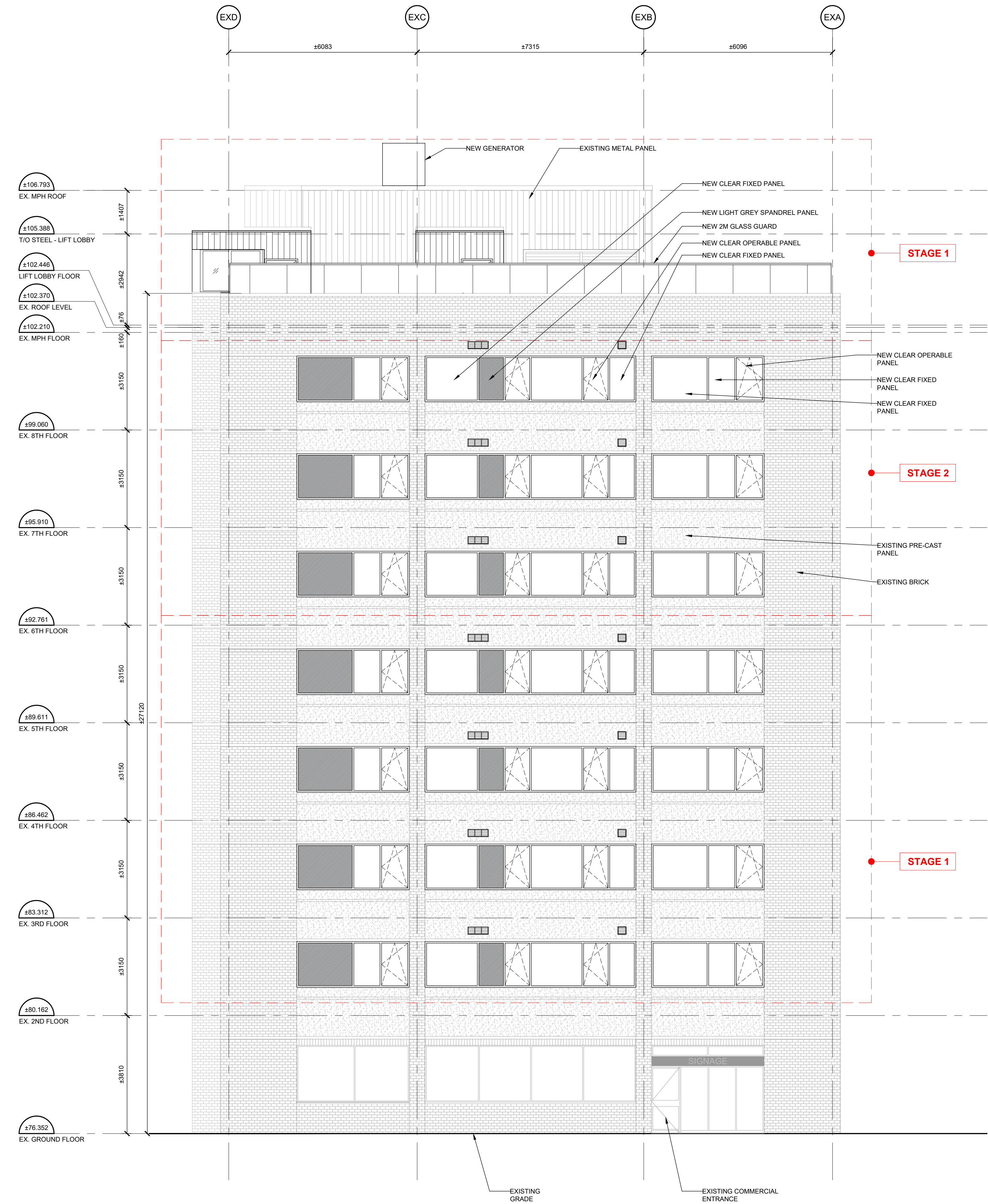
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No.	DESCRIPTION	DATE
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6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

REVISIONS:	NORTH ARROW:

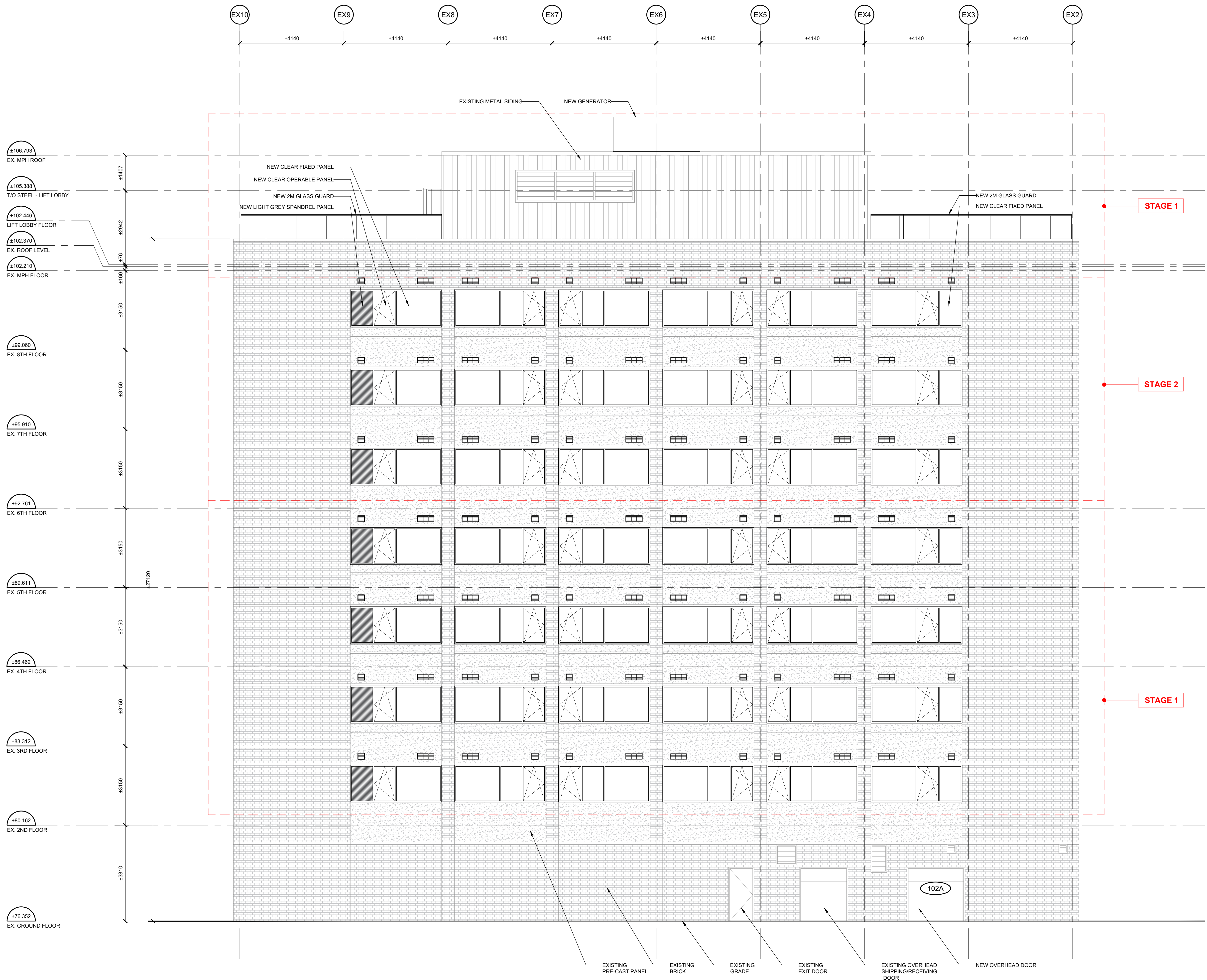


ARCHITECT:
rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO
SHEET TITLE:
EAST & WEST ELEVATION

DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A201
PROJECT No. 2316	



IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.
ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.
DO NOT SCALE DRAWINGS.
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NOTATION SYMBOLS:

- INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.
- INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.
- DETAIL NUMBER
- TITLE
- SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 4	July 25, 25
2	ISSUED FOR SPC COMMENT RESPONSE 3	July 07, 25
3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
4	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
5	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
6	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
7	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
8	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
9	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:	NORTH ARROW:

CLIENT:

KIS PROPERTIES

ARCHITECT:

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roderick lahey architect inc.
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PROJECT TITLE:

265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

NORTH ELEVATION

DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A202
PROJECT No. 2316	