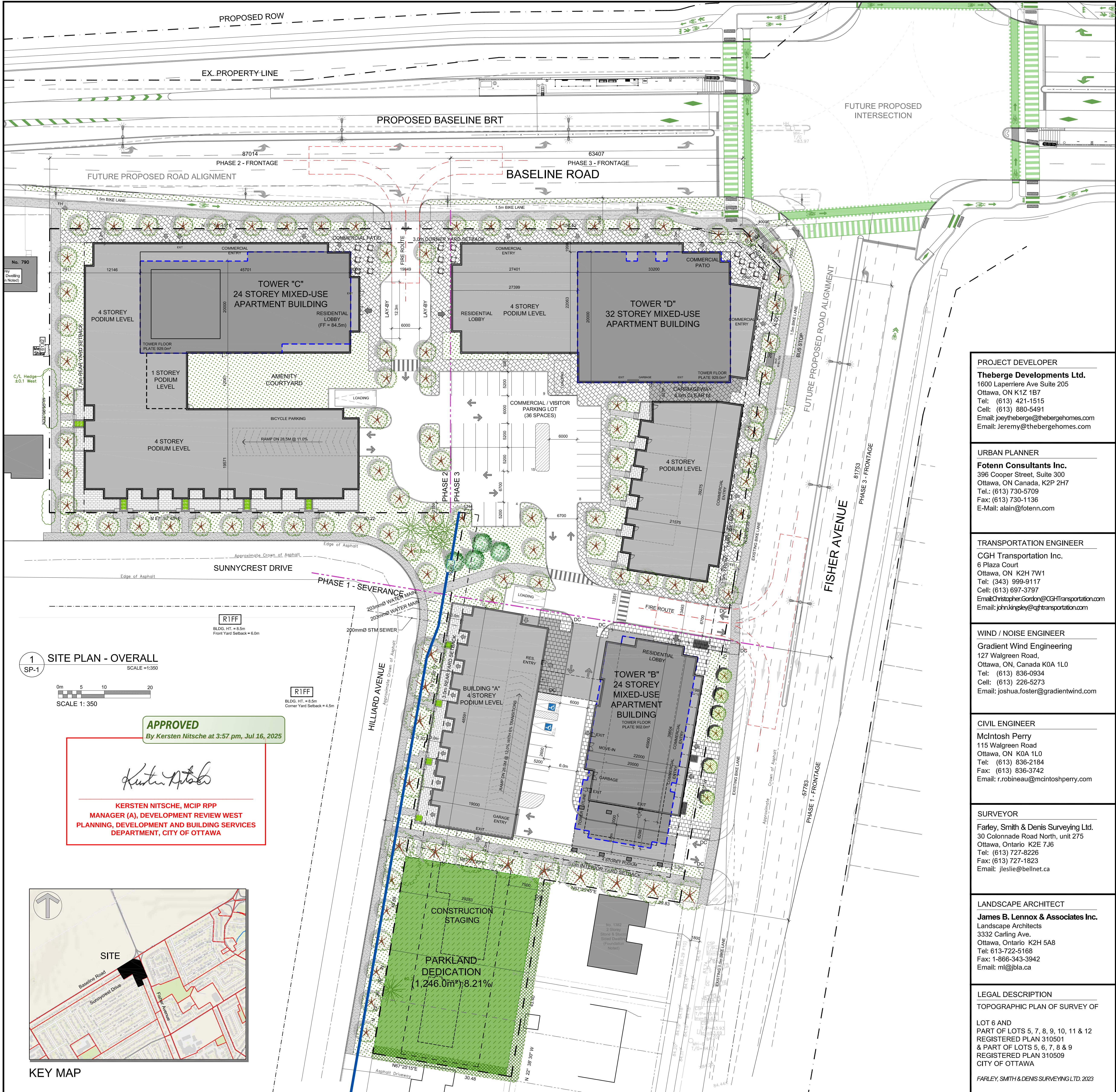




PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	R1FF& GM	SITE AREA	1.57 ha, 15,688.6 sq. m, 168,870 sq. ft.
ZONING		REQUIRED	PROVIDED
BUILDING HEIGHT	BUILDING 'A' & 'B'	18.0m	24 STOREYS / 78.0m
	BUILDING 'C'	18.0m	24 STOREYS / 78.0m
	BUILDING 'D'	18.0m	32 STOREYS / 102.0m
ALLOWABLE PROJECTION - AMENITY LEVEL		0.0m	4.0m
DENSITY - MAXIMUM FLOOR SPACE INDEX	2.0 = 28,588.8 sq. m		4.5 = 68,827.0 sq. m
DENSITY - UNITS PER HECTARE			694
TOWER SEPARATION	23.0m		49.0m / 56.0m
TOWER FOOTPRINT (GUIDELINE ONLY) NOT INCLUDES BALCONIES	750m²		902m² / 930m²
FRONT YARD SETBACK	3.0m		3.0m
CORNER YARD SETBACK	3.0m		3.0m
INTERIOR SIDE YARD SETBACK (VARIES)	5.0m / 7.5m		5.0m / 7.5m
REAR YARD SETBACK (VARIES)	3.0m / 7.5m		3.0m / 7.5m
MINIMUM WIDTH OF LANDSCAPE AREA (ABUTTING A STREET OR RESIDENTIAL ZONE)	0.0m / 3.0m		3.0m
MINIMUM WIDTH OF LANDSCAPE BUFFER @ PARKING LOT	3.0m		1.5m
TOTAL RESIDENTIAL UNIT COUNT			1,089
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	ZONING AREA X	527	984
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT		105	105
PARKING - COMMERCIAL (VARIES WITH USE) - 1.0 TO 10.0 PER 100m² GFA	TBD		45
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT		572	1,144
BICYCLE PARKING - COMMERCIAL - 1 PER 250m² GFA		11	32
ALIS & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m		6.0m
AMENITY AREA - TOTAL PER UNIT - 6.0m²		6,534.0m²	8,550m²
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²		3,267.0m²	4,050m²
PARKLAND DEDICATION AREA - 10% RESIDENTIAL / 2% COMMERCIAL		1,517.41m²	1,269.3m²

CAR PARKING		BUILDING STATISTICS	
AREA 'X' ON SCHEDULE 1A		GROSS BUILDING - AREAS	
MINIMUM REQUIRED		CITY OF OTTAWA ZONING AREA	
RESIDENCE (AFTER 12 UNITS)	- 0.5 PER DWELLING UNIT	572	
VISITOR (AFTER 12 UNITS)	- 0.1 PER DWELLING UNIT	105	
COMM. USE	- UNDER 200m² NON REQUIRED	0	
COMM. DAYCARE	- 1.0 PER 100m² OF GFA	ESTIMATE	4
COMM. MEDICAL FACILITY	- 2.0 PER 100m² OF GFA	ESTIMATE	9
COMM. PSB	- 1.25 PER 100m² OF GFA	ESTIMATE	0
COMM. RESTAURANT	- 5.0 PER 100m² OF GFA	ESTIMATE	60
COMM. RETAIL	- 1.25 PER 100m² OF GFA	ESTIMATE	0
COMM. OFFICE (AFTER 1ST FLOOR)	- 1.0 PER 100m² OF GFA	ESTIMATE	2
TOTAL		752	
MAXIMUM REQUIRED		TOTAL BUILDING AREA	
RESIDENCE	- 1.75 PER DWELLING UNIT	2,000	
COMM. MEDICAL FACILITY	- 5.0 PER 100m² OF GFA	ESTIMATE	24
COMM. RETAIL	- 4.0 PER 100m² OF GFA	ESTIMATE	20
COMM. OFFICE (AFTER 1ST FLOOR)	- 2.7 PER 100m² OF GFA	ESTIMATE	7
TOTAL		2,051	
PROVIDED		BUILDING 'C' - 24 Storeys	
RESIDENCE	- 0.92 PER DWELLING UNIT	999	
VISITOR	- 0.1 PER DWELLING UNIT	105	
COMM. USE		45	
TOTAL		1,149	
LOCATION		BUILDING 'D' - 32 Storeys	
PARKING GARAGE - P1 LEVEL		264	
PARKING GARAGE - P2 LEVEL		280	
PARKING GARAGE - P3 LEVEL		280	
PARKING GARAGE - P4 LEVEL		280	
EXTERIOR		45	
TOTAL		1,149	
BICYCLE PARKING		BUILDING AREA	
REQUIRED		BASED ON 75% OF CONSTRUCTION AREA	
RESIDENCE	- 0.5 PER UNIT (1,143 UNITS)	572	
COMMERCIAL	- 1 PER 250m² GFA (2,847.5m²)	11	
TOTAL		546	
PROVIDED		UNIT MIX - 1,143 UNITS	
RESIDENCE	- 1.0 PER UNIT	1,143	
COMMERCIAL		32	
TOTAL		1,175	
AMENITY SPACE		TOTAL UNITS	
AT GRADE EXTERIOR - COMMUNAL =		100% / 1,143	
INTERIOR 1st fl. AMENITY - COMMUNAL =		1,500.0 sq. m, 16,150 sq. ft.	
EXTERIOR TERRACES - PRIVATE =			
INTERIOR 5th fl. AMENITY - COMMUNAL =			
EXTERIOR 5th fl. TERRACES - COMMUNAL =			
EXTERIOR ROOF TOP - COMMUNAL =			
INTERIOR ROOF TOP - COMMUNAL =			
PRIVATE BALCONIES =			
TOTAL =			
TOTAL COMMUNAL =			
REQUIRED - 6.0m² PER UNIT (1,089) =			
REQUIRED COMMUNAL @ 50% =			

LAND PHASE AREA	
PHASE 1 - BUILDINGS 'A' & 'B'	3,492.2 sq. m, 34.2%
PHASE 2 - BUILDING 'C'	5,364.3 sq. m, 34.2%
PHASE 3 - BUILDING 'D'	6,536.1 sq. m, 35.3%
PARKLAND DEDICATION =	1,246.0 sq. m, 8.21%
TOTAL =	15,688.6 sq. m, 100.00%
LOT COVERAGE	
BUILDING FOOTPRINT - 'A' & 'B'	1,721.7 sq. m, 10.97%
BUILDING FOOTPRINT - 'C'	2,798.2 sq. m, 17.63%
BUILDING FOOTPRINT - 'D'	2,510.8 sq. m, 16.00%
DRIVING SURFACE =	2,665.6 sq. m, 16.99%
LANDSCAPE SURFACE =	4,778.3 sq. m, 30.45%
PARKLAND DEDICATION =	1,246.0 sq. m, 8.21%
TOTAL =	15,688.6 sq. m, 100.00%

PROJECT INFORMATION	
REVISIONS:	
ARCHITECT SEAL:	
CLIENT:	
ARCHITECT:	
PROJECT TITLE:	
8780 Baseline Road	
OTTAWA	ONTARIO
SHEET TITLE:	
DRAWN:	
RV	
SCALE:	
1:350	
PROJECT No:	
2131	

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IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT.

DO NOT SCALE DRAWINGS.

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NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A500 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A500 SERIES.

DETAIL NUMBER

TITLE

SCALE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

REVISIONS:

1	ISSUED FOR PARKS & FORESTRY	July 04, 25
2	REVISED AS PER ROUND 1 SPC COMMENTS	Sept 29, 23
3	ISSUED FOR SPC APPLICATION - PHASE 1	June 09, 23
4	REVISED AS PER ROUND 2 ZA COMMENTS	Apr. 28, 23
5	ISSUED TO OWNER / CONSULTANT	Apr. 19, 23
6	REVISED AS PER ROUND 1 ZA COMMENTS	Mar. 20, 23
7	ISSUED FOR ZONING AMENDMENT APPLICATION	May 16, 22
8	ISSUED FOR OWNER / CONSULTANT REVIEW	May 10, 22

ARCHITECT SEAL:

CLIENT:

ARCHITECT:

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RV

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1:350

PROJECT No:

2131

CHECKED:

T.Z.

SHEET No:

SP-1

THEBERGE HOMES

Theberge Developments Ltd.

ARCHITECT:

PROJECT TITLE:

8780 Baseline Road

OTTAWA

ONTARIO

SHEET TITLE:

DRAWN:

RV

SCALE:

1:350

PROJECT No:

2131

CHECKED:

T.Z.

SHEET No:

SP-1