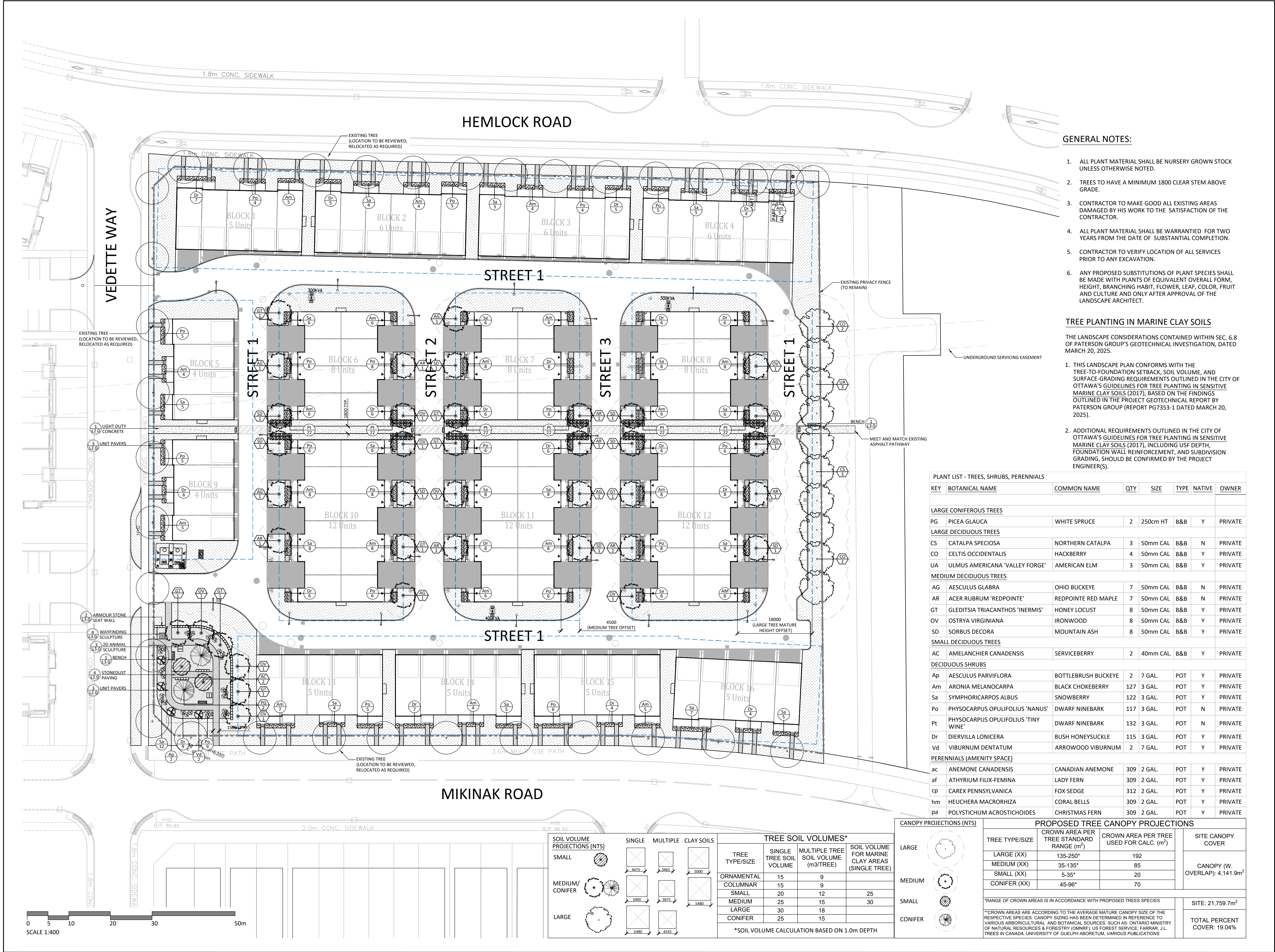




GENERAL NOTES:

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN STOCK UNLESS OTHERWISE NOTED.
- TREES TO HAVE A MINIMUM 1800 CLEAR STEM ABOVE GRADE.
- CONTRACTOR TO MAKE GOOD ALL EXISTING AREAS DAMAGED BY HIS WORK TO THE SATISFACTION OF THE CONTRACTOR.
- ALL PLANT MATERIAL SHALL BE WARRANTIED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR TO VERIFY LOCATION OF ALL SERVICES PRIOR TO ANY EXCAVATION.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE AND ONLY AFTER APPROVAL OF THE LANDSCAPE ARCHITECT.

TREE PLANTING IN MARINE CLAY SOILS

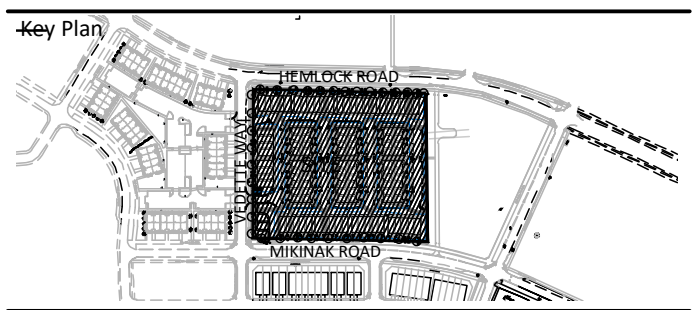
THE LANDSCAPE CONSIDERATIONS CONTAINED WITHIN SEC. 6.8 OF PATERSON GROUP'S GEOTECHNICAL INVESTIGATION, DATED MARCH 20, 2025.

- THIS LANDSCAPE PLAN CONFORMS WITH THE TREE-TO-FOUNDATION SETBACK, SOIL VOLUME, AND SURFACE-GRADING REQUIREMENTS OUTLINED IN THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), BASED ON THE FINDINGS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT BY PATERSON GROUP (REPORT PG7353-1 DATED MARCH 20, 2025).
- ADDITIONAL REQUIREMENTS OUTLINED IN THE CITY OF OTTAWA'S GUIDELINES FOR TREE PLANTING IN SENSITIVE MARINE CLAY SOILS (2017), INCLUDING USE DEPTH, FOUNDATION WALL REINFORCEMENT, AND SUBDIVISION GRADING, SHOULD BE CONFIRMED BY THE PROJECT ENGINEER(S).

PLANT LIST - TREES, SHRUBS, PERENNIALS							
KEY	BOTANICAL NAME	COMMON NAME	QTY	SIZE	TYPE	NATIVE	OWNER
LARGE CONIFEROUS TREES							
PG	PICEA GLAUCA	WHITE SPRUCE	2	250cm HT	B&B	Y	PRIVATE
LARGE DECIDUOUS TREES							
CS	CATALPA SPECIOSA	NORTHERN CATALPA	3	50mm CAL	B&B	N	PRIVATE
CO	CELTIS OCCIDENTALIS	HACKBERRY	4	50mm CAL	B&B	Y	PRIVATE
UA	ULMUS AMERICANA 'VALLEY FORGE'	AMERICAN ELM	3	50mm CAL	B&B	Y	PRIVATE
MEDIUM DECIDUOUS TREES							
AG	AESCULUS GLABRA	OHIO BUCKEY	7	50mm CAL	B&B	N	PRIVATE
AR	ACER RUBRUM 'REDPOINTE'	REDPOINTE RED MAPLE	7	50mm CAL	B&B	N	PRIVATE
GT	GLEDITSIA TRIACANTHOS 'INERMIS'	HONEY LOCUST	8	50mm CAL	B&B	Y	PRIVATE
OV	OSTRYA VIRGINIANA	IRONWOOD	8	50mm CAL	B&B	Y	PRIVATE
SD	SORBUS DECORA	MOUNTAIN ASH	8	50mm CAL	B&B	Y	PRIVATE
SMALL DECIDUOUS TREES							
AC	AMELANCHIER CANADENSIS	SERVICEBERRY	2	40mm CAL	B&B	Y	PRIVATE
DECIDUOUS SHRUBS							
Ap	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEY	2	7 GAL.	POT	Y	PRIVATE
Am	ARONIA MELANOCARPA	BLACK CHOKEBERRY	127	3 GAL.	POT	Y	PRIVATE
Sa	SYMPHORICARPOS ALBUS	SNOWBERRY	122	3 GAL.	POT	Y	PRIVATE
Po	PHYSOCARPUS OPULIFOLIUS 'NANUS'	DWARF NINEBARK	117	3 GAL.	POT	N	PRIVATE
Pt	PHYSOCARPUS OPULIFOLIUS 'TINY WINE'	DWARF NINEBARK	132	3 GAL.	POT	N	PRIVATE
Dr	DIERVILLA LONICERA	BUSH HONEYSUCKLE	115	3 GAL.	POT	Y	PRIVATE
Vd	VIBURNUM DENTATUM	ARROWOOD VIBURNUM	2	7 GAL.	POT	Y	PRIVATE
PERENNIALS (AMENITY SPACE)							
ac	ANEMONE CANADENSIS	CANADIAN ANEMONE	309	2 GAL.	POT	Y	PRIVATE
af	ATHYRIUM FILIX-FEMINA	LADY FERN	309	2 GAL.	POT	Y	PRIVATE
cp	CAREX PENNSYLVANICA	FOX SEDGE	312	2 GAL.	POT	Y	PRIVATE
hm	HEUCHERA MACRORHIZA	CORAL BELLS	309	2 GAL.	POT	Y	PRIVATE
pa	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN	309	2 GAL.	POT	Y	PRIVATE

CANOPY PROJECTIONS (NTS)		PROPOSED TREE CANOPY PROJECTIONS			
LARGE		TREE TYPE/SIZE	CROWN AREA PER TREE STANDARD RANGE (m²)	CROWN AREA PER TREE USED FOR CALC. (m²)	SITE CANOPY COVER
		LARGE (XX)	135-250*	192	CANOPY (W. OVERLAP): 4,141.9m²
		MEDIUM (XX)	35-135*	85	
		SMALL (XX)	5-35*	20	
MEDIUM		CONIFER (XX)	45-96*	70	
SMALL		*RANGE OF CROWN AREAS IS IN ACCORDANCE WITH PROPOSED TREES SPECIES			
CONIFER		**CROWN AREAS ARE ACCORDING TO THE AVERAGE MATURE CANOPY SIZE OF THE RESPECTIVE SPECIES. CANOPY SIZING HAS BEEN DETERMINED IN REFERENCE TO VARIOUS ARBORICULTURAL AND BOTANICAL SOURCES, SUCH AS: ONTARIO MINISTRY OF NATURAL RESOURCES & FORESTRY (OMNRF); US FOREST SERVICE; FARRAR, J.L. TREES IN CANADA, UNIVERSITY OF GUELPH ARBORETUM, VARIOUS PUBLICATIONS			
					SITE: 21,759.7m²
					TOTAL PERCENT COVER: 19.04%

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LEGEND

- PROPERTY LINE
- GEOTECH FOUNDATION SETBACK (4.5M)
- CANOPY PROJECTION

PLANTING

- LARGE DECIDUOUS TREE
- MEDIUM DECIDUOUS TREE
- SMALL DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- PERENNIAL PLANTING
- SOD

PAVING

- CIP CONCRETE PAVING
- UNIT PAVING
- STONE DUST PAVING

AMENITY FEATURES

- WAYFINDING, 2D ANIMAL SCULPTURE
- BENCH, ARMOUR STONE SEATING

PLANTING KEY

- TREE SPECIES
- QUANTITY
- SHRUB SPECIES
- QUANTITY

DETAIL KEY

- DETAIL NO.
- SHEET NO.

Revision	Description	Date
4	Issued for Second Submission SPA	June 20/25
3	Issued for SPA	May 5/25
2	Issued for Coordination	May 1/25
1	Issued for Coordination	Apr.17/25

OWNERSHIP
MATTAMY HOMES
50 Hines Rd., Suite 100, Ottawa ON K2K 2M5

TRANSPORTATION
NOVATECH
240 Michael Cowland Dr., Suite 200, Ottawa, ON, K2M1P6

ARCHITECT
KOROSAK
277 Lakeshore Rd., E#206, Oakville ON L6J 3H9

NOISE
GRACIENT WIND
127 Walgreen Rd., Carp ON K0A 1L0

CIVIL
STANTEC
300-1331 Clyde Ave., Ottawa ON K2C 2G4

SURVEY
110 Barnes
62 Seaside Dr. Unit 103, Kanata ON K2K 2A9

LANDSCAPE ARCHITECT
NAK DESIGN STRATEGIES
1285 Wellington St., Ottawa ON K1Y 3A8

GEOTECH
PATERSON GROUP
9 Aungmy Drive, Ottawa ON K2E 7T9

ELECTRICAL
UL
5430 Carleton Rd., Ottawa ON K1J 9G2

PROPERTY INFORMATION
Plan of Subdivision of parts of lots 22, 23, and 24, Concession 1 (Ottawa Front), Geographic Township of Gloucester, City of Ottawa, Registered Plan 4M-1559

ASSOCIATION OF LANDSCAPE ARCHITECTS
ONTARIO
MEMBER

NAK design strategies

1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
Project

BLOCK 105
WATERIDGE VILLAGE

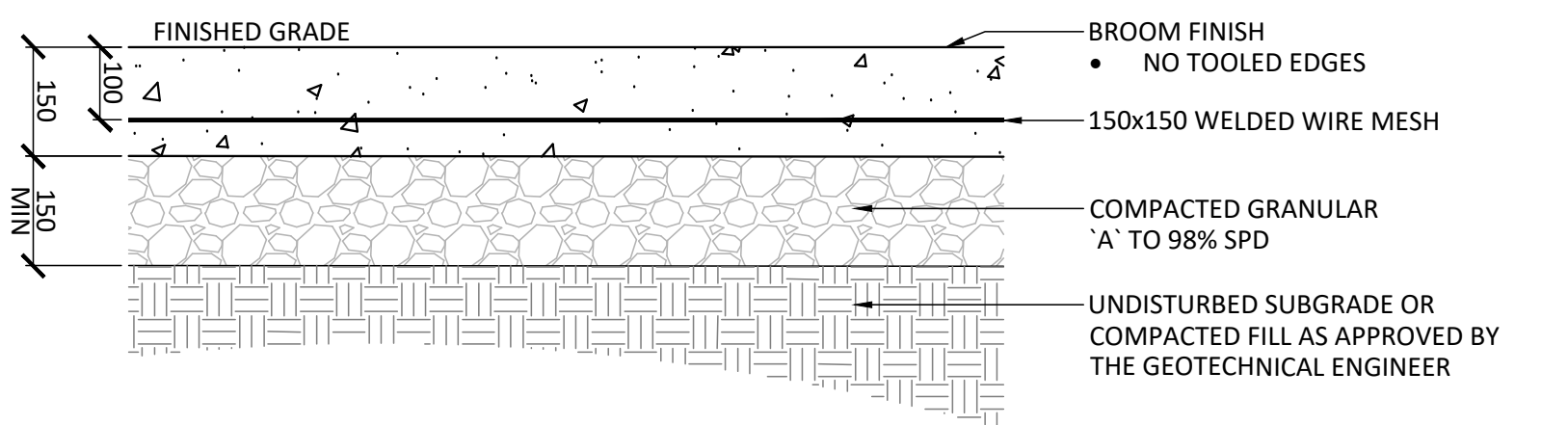
LANDSCAPE PLAN

Title

Date: 2025-03-19
Scale: 1:400
Drawn: JE
Checked: SC
Job No.: 25-066

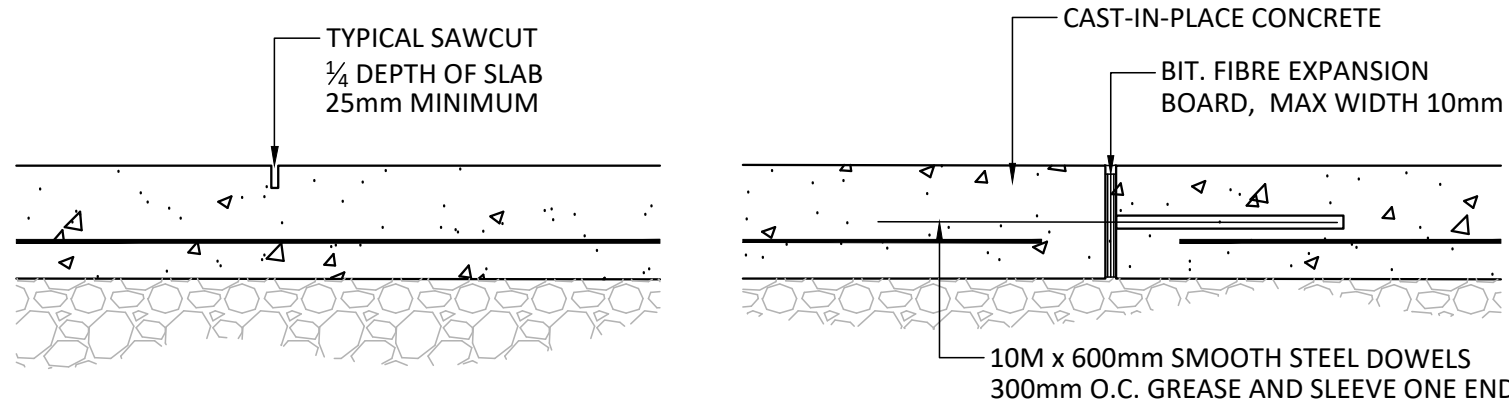
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L1.0



1 LIGHT DUTY CONCRETE

1:10



CONTROL JOINT (CJ)

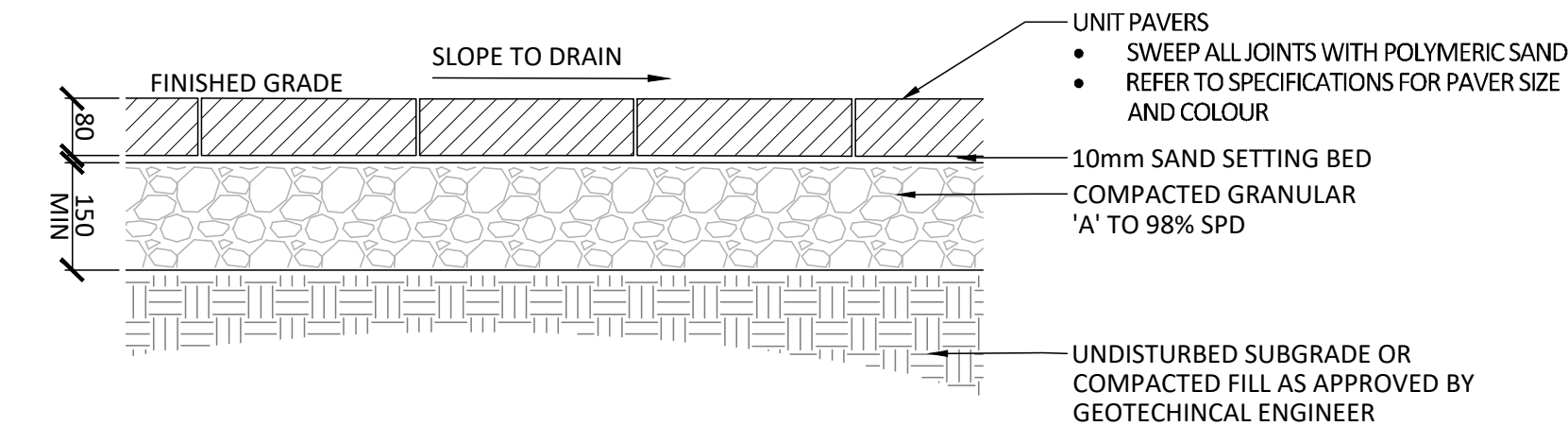
- NOTES:
1. REFER TO DRAWINGS FOR JOINT LAYOUT
 2. SAWCUT WITHIN 48 HOURS OF POUR

EXPANSION JOINT (EJ)

- NOTES :
1. REFER TO DRAWINGS FOR JOINT LAYOUT
 2. NO CAULKED JOINTS

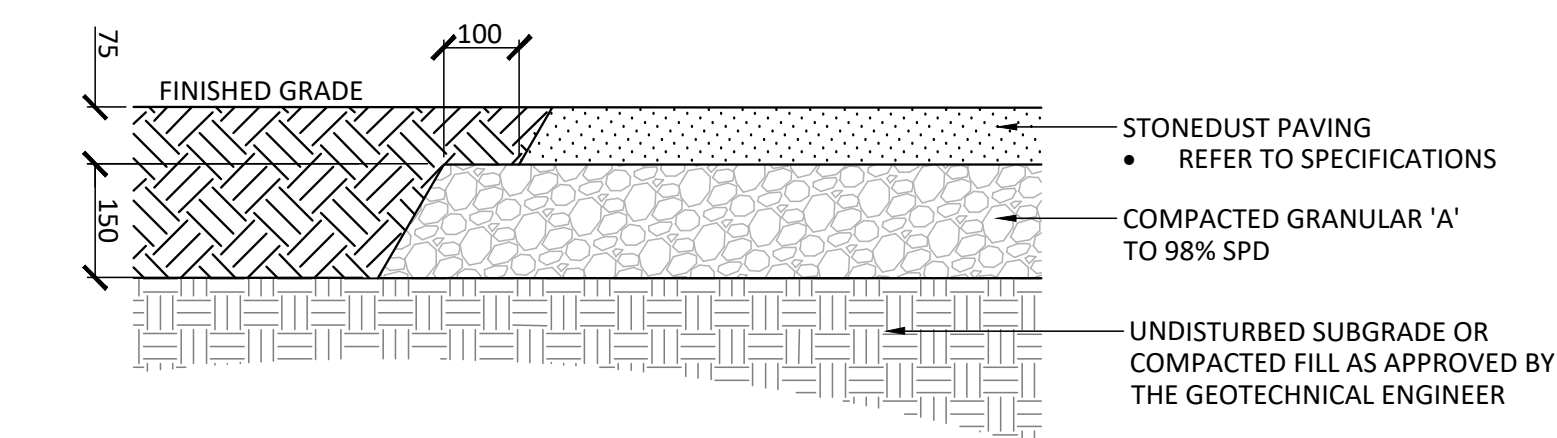
2 LIGHT DUTY CONCRETE - JOINTING

1:10



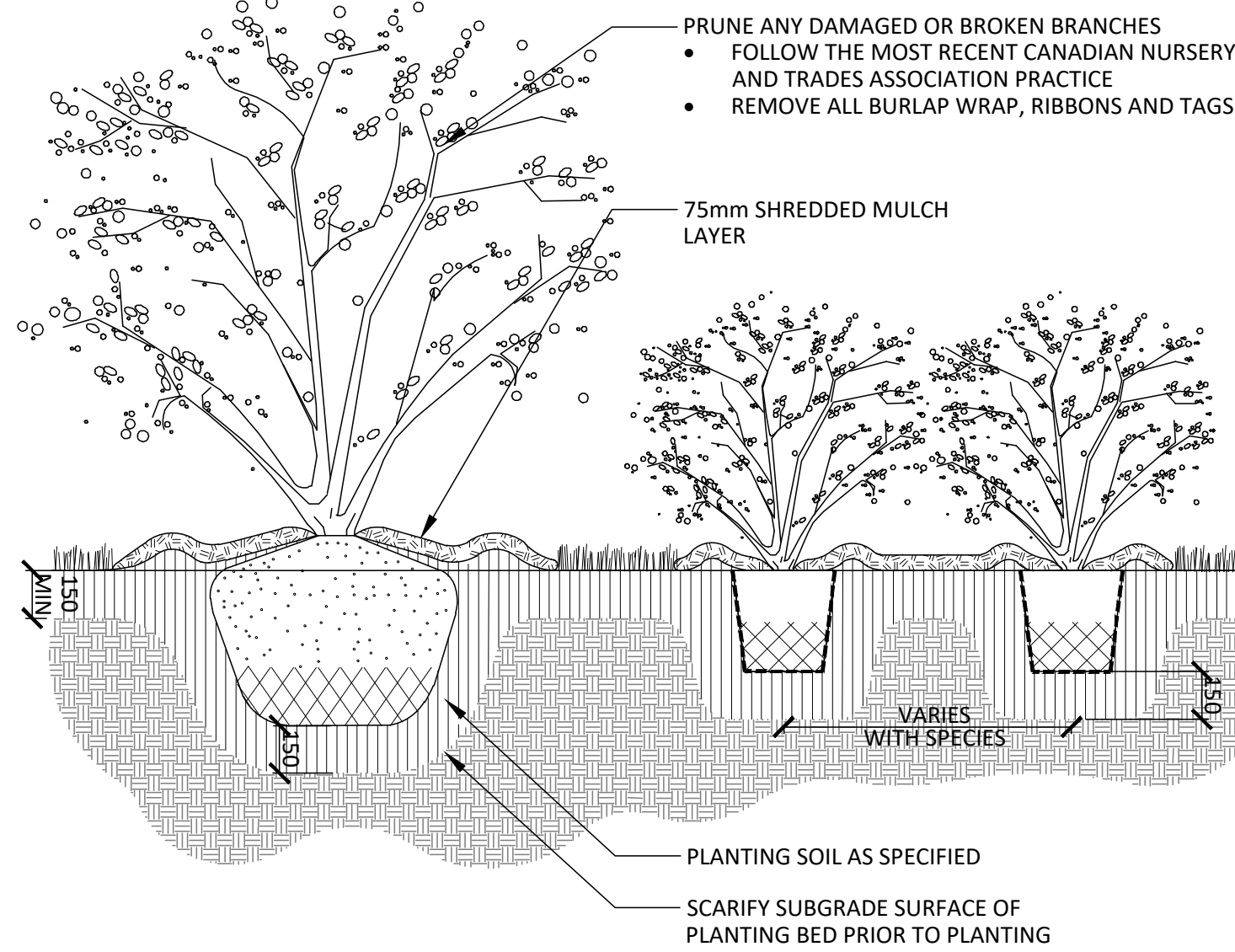
3 UNIT PAVERS

1:10



4 STONE DUST PAVING

1:10

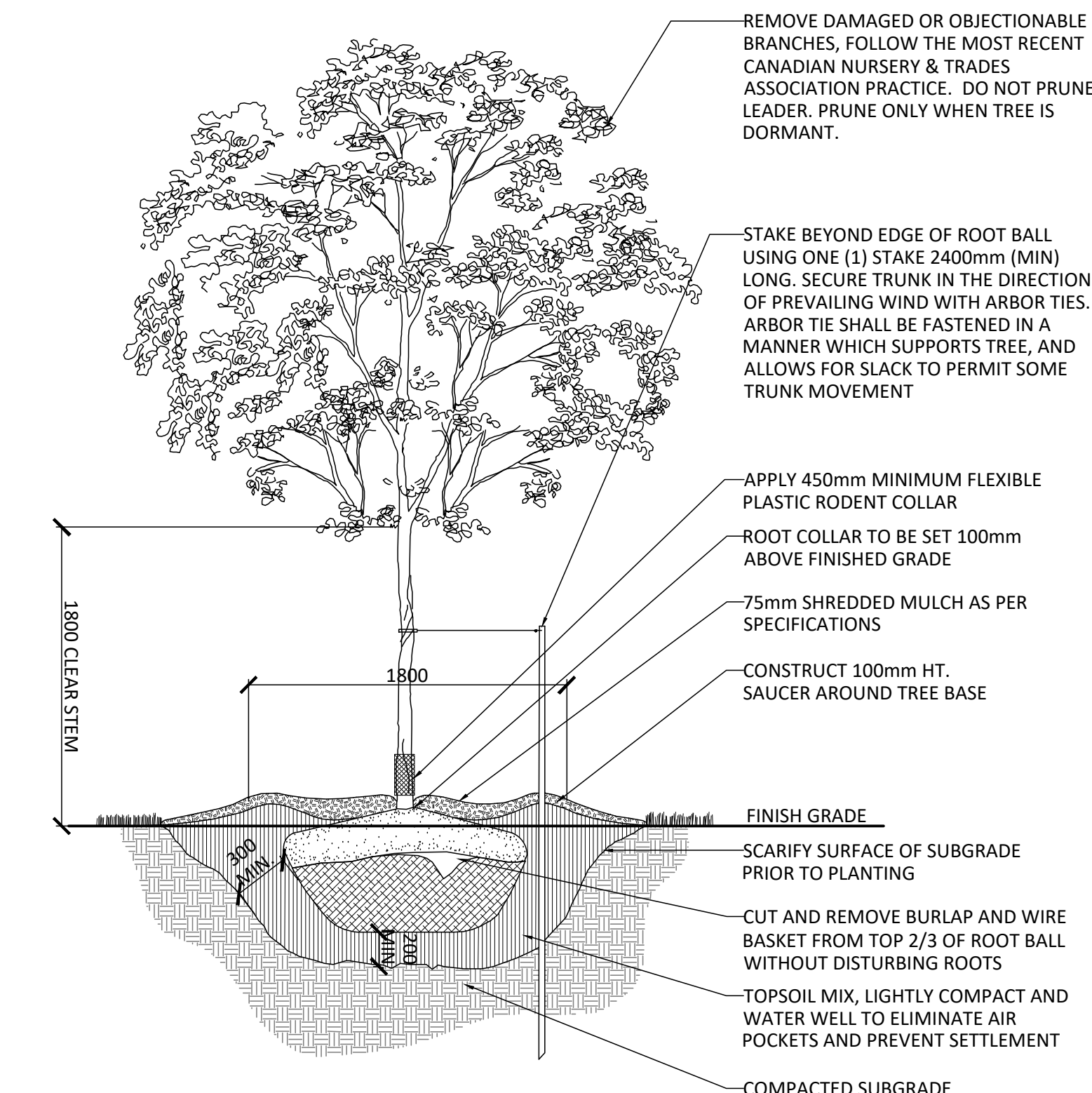


NOTES:

1. SHRUBS SPECIFIED TO BE PLANTED SO THAT ROOTS ARE FULLY EXTENDED IN PLANTING HOLE WITH SOIL MIX BACKFILLED CAREFULLY TO PREVENT ROOT DAMAGE
2. PROVIDE 100mm HIGH EARTH SAUCER AROUND SHRUB BED

5 SHRUB PLANTING

1:20

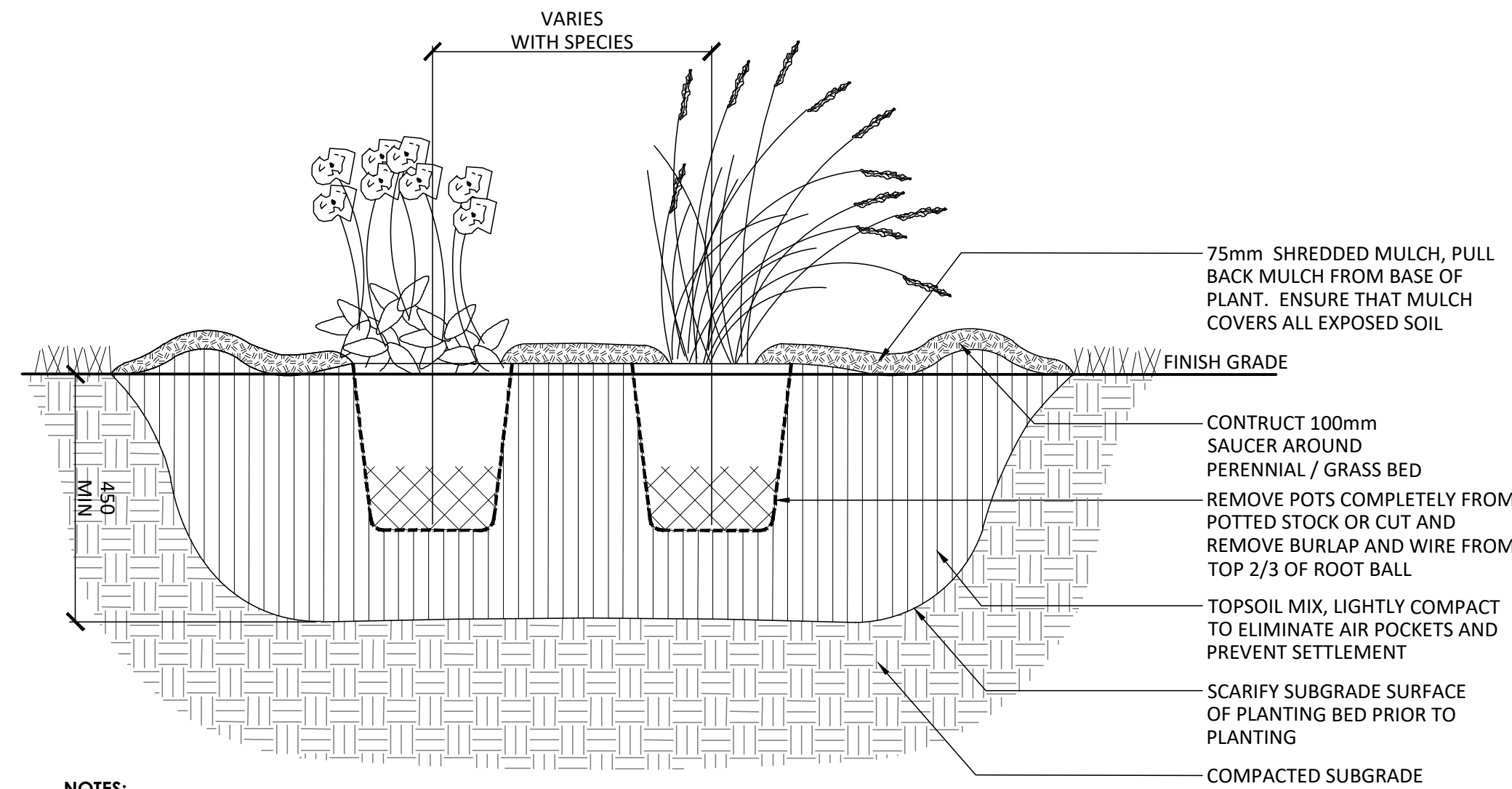


NOTES:

1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION
3. REMOVE TREE WRAP AFTER PLANTING
4. CALIPER TO BE MEASURED AT THE BASE OF TREE AT ROOT BALL.

6 DECIDUOUS TREE PLANTING

1:30

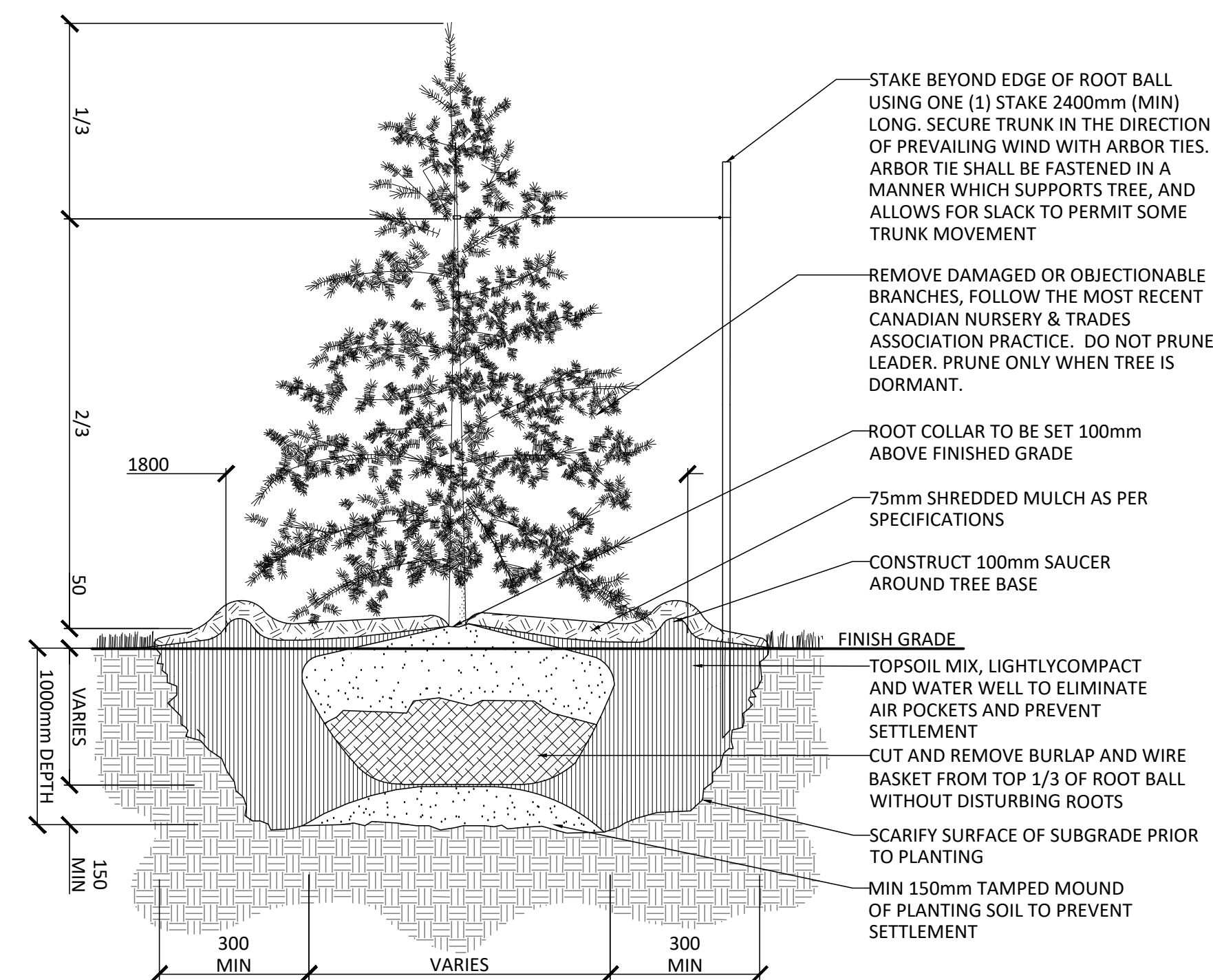


NOTES:

1. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION.
2. PROVIDE 100mm HIGH EARTH SAUCER AROUND PERENNIAL/GRASS BED.

7 PERENNIAL PLANTING

1:10



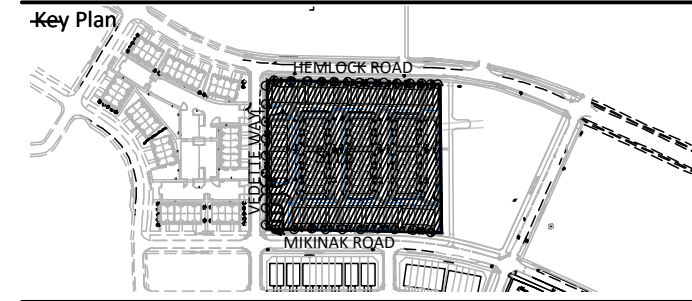
NOTES:

1. REMOVE STAKE AFTER ONE YEAR OR UNTIL TAKEOVER UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT.
2. TOPSOIL MIXTURE AND SHREDDED MULCH AS PER SPECIFICATION

8 CONIFEROUS TREE PLANTING

1:30

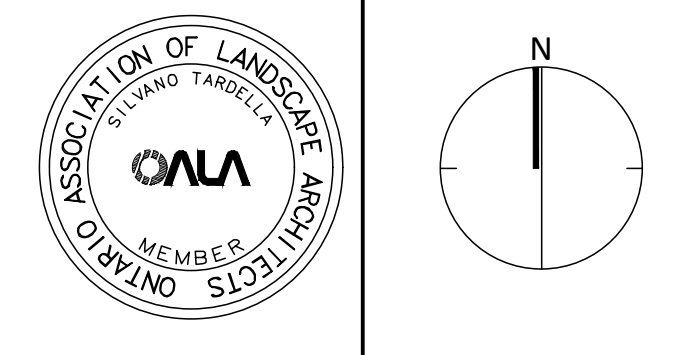
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2	Issued for Coordination	May 1/25
1	Issued for Coordination	Apr.17/25
No.	Description	Date

OWNERSHIP	MATTIANY HOMES	TRANSPORTATION	NOVATECH
50 Hines Rd., Suite 100, Ottawa ON K2K 2M5	240 Michael Cowland Dr., Suite 200, Ottawa, ON, K2M1P5		
ARCHITECT	K2030AK	NOISE	GRADIENT WIND
277 Lakeshore Rd., E#206, Oakville ON L6J 1H9		127 Midgreen Rd., Carp ON K0A 1L0	
CIVIL	STANTEC	SURVEY	J.D.Barnes
300-1331 Clyde Ave., Ottawa ON K2C 2G4		62 Strachan Dr. Unit 103, Kanata ON K2K 2A8	
LANDSCAPE ARCHITECT	NAK DESIGN STRATEGIES	GEOTECH	PATERSON GROUP
2385 Wellington St., Ottawa ON K1Y 3A8		9 Auriga Drive, Ottawa ON K2E 779	
ELECTRICAL	LRL		
1480 Canotek Rd., Ottawa ON K1J 9G2			

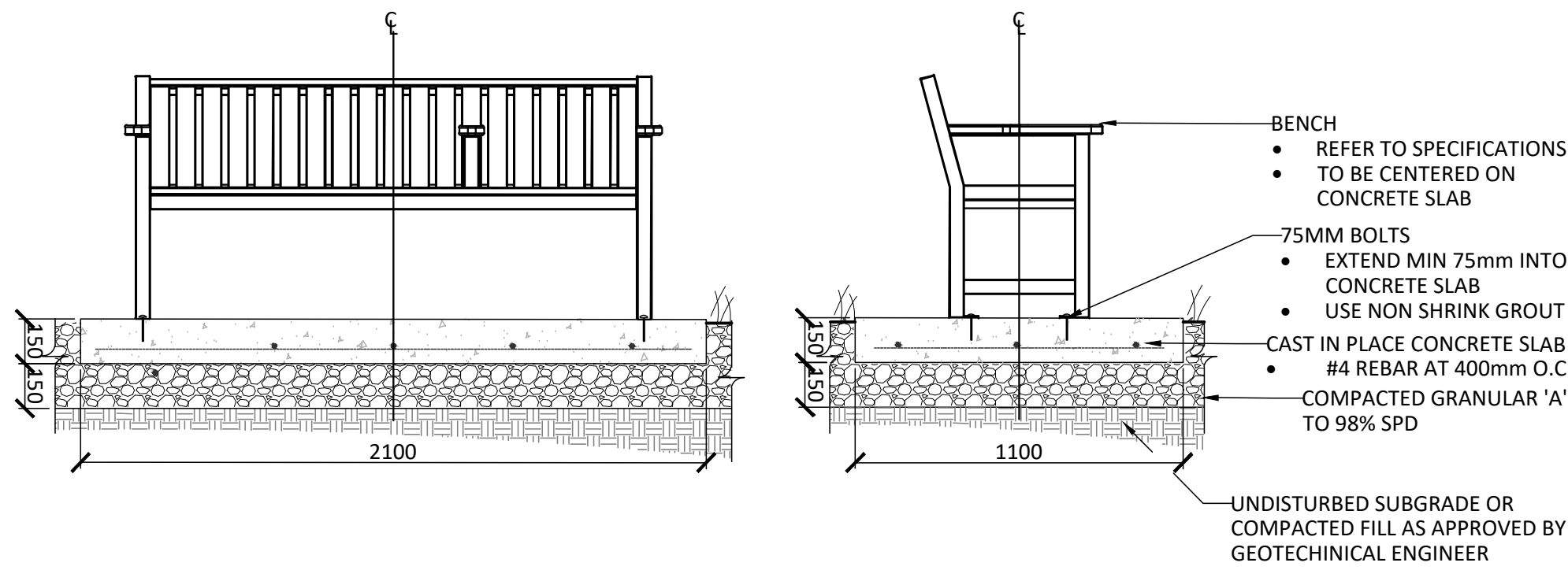
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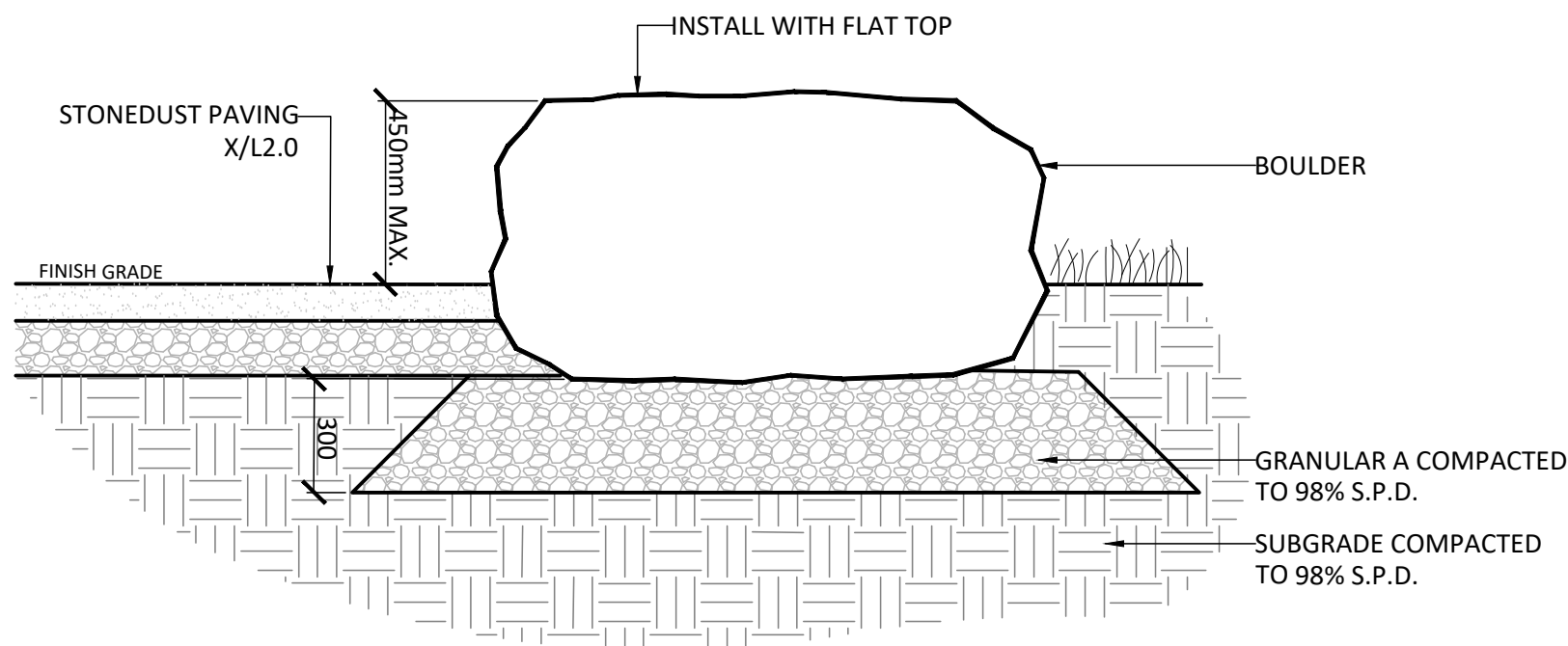
NAK
design strategies
1285 WELLINGTON STREET, OTTAWA, ON K1Y 3A8 CANADA
T 613.237.2345
Project

BLOCK 105
WATERIDGE VILLAGE

Title	DETAILS
Date	2025-03-19
Scale	AS SHOWN
Drawn	JE
Checked	SC
Job No.	25-066
Sheet	L2.0

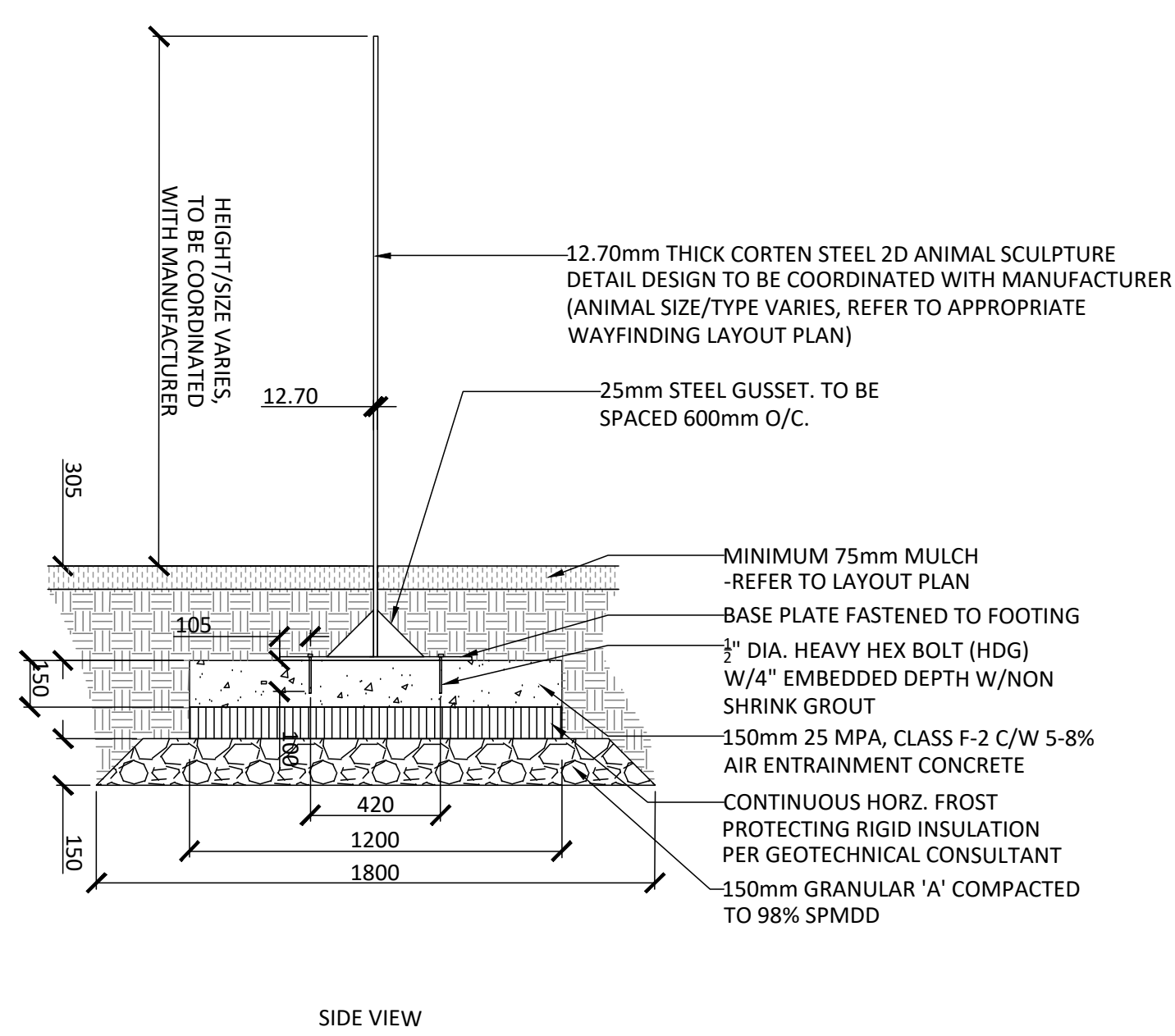


1 BENCH ON CONCRETE PAD
1:20

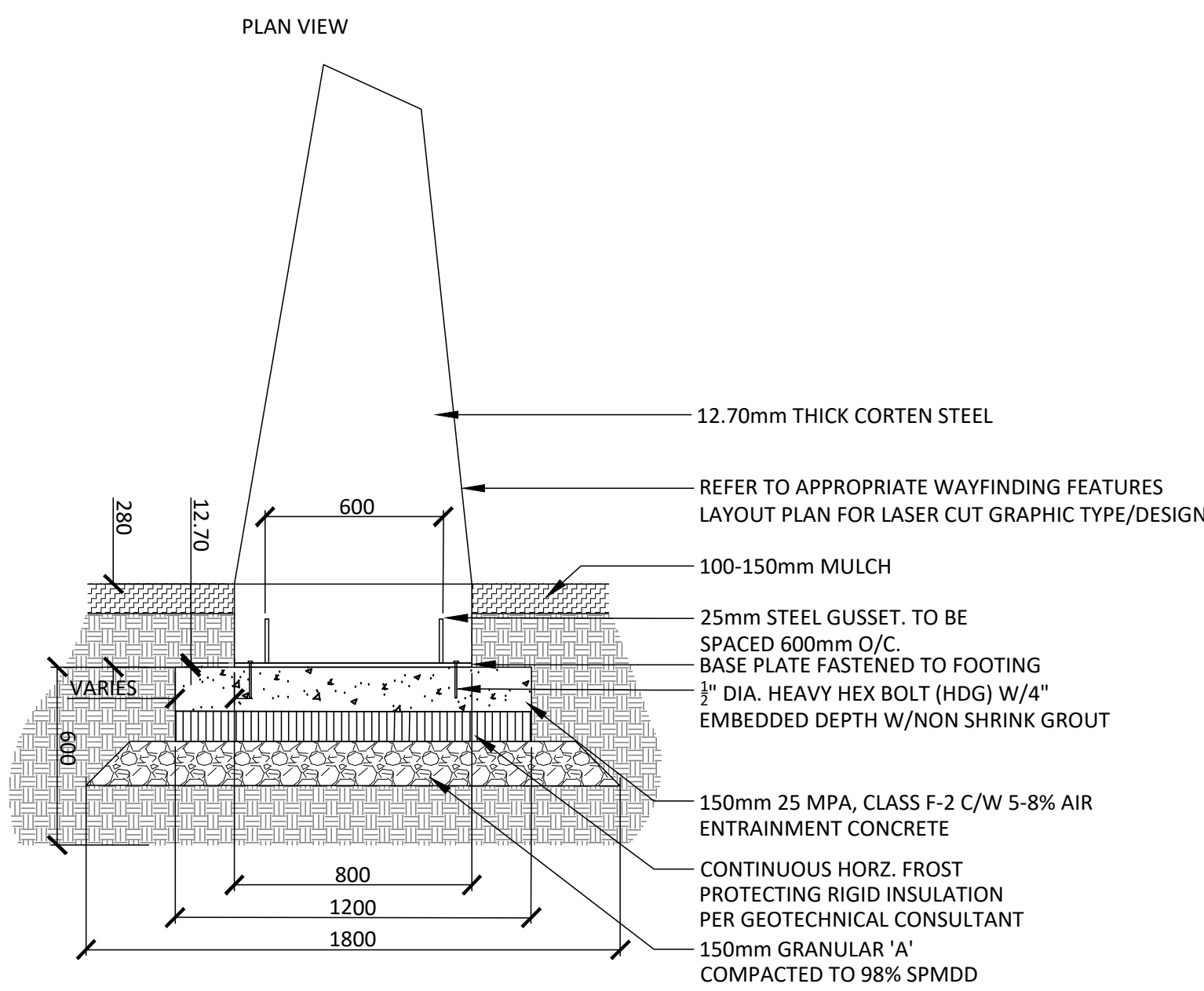
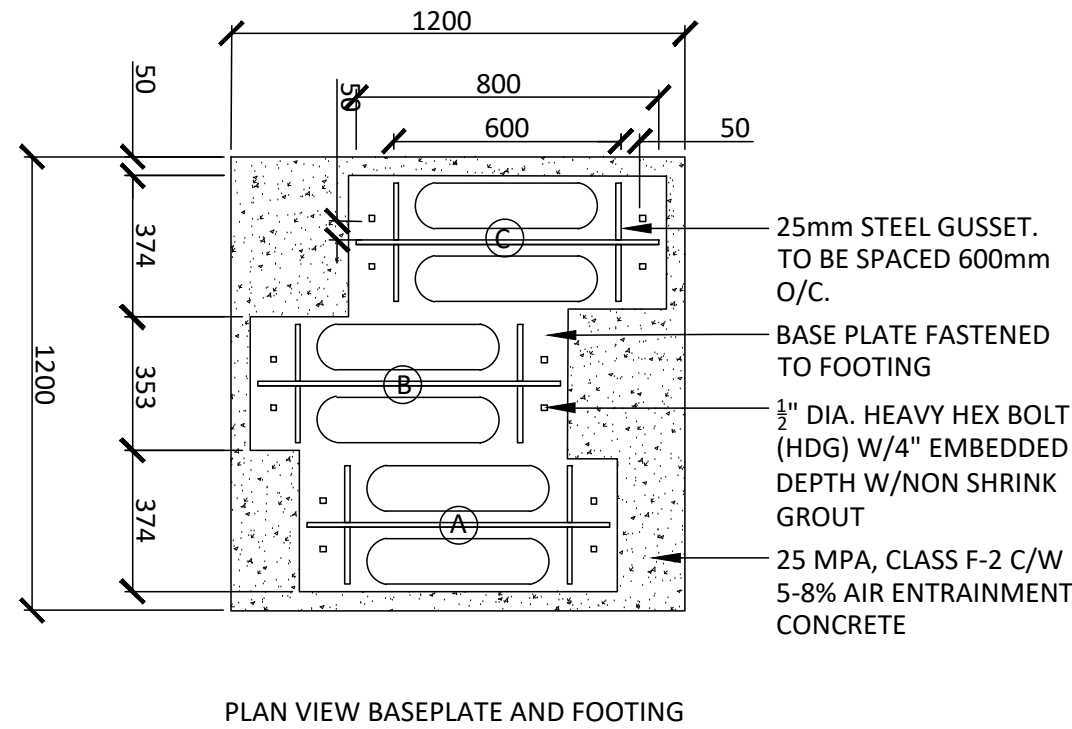


- NOTES:
1. PLACEMENT AND SIZING OF BOULDER TO BE CONFIRMED ON SITE AND APPROVED BY LANDSCAPE ARCHITECT
 2. NO SHARP EDGES, CRACKS OR SPALLING.
 3. NO FROST SUSCEPTIBLE BOULDERS

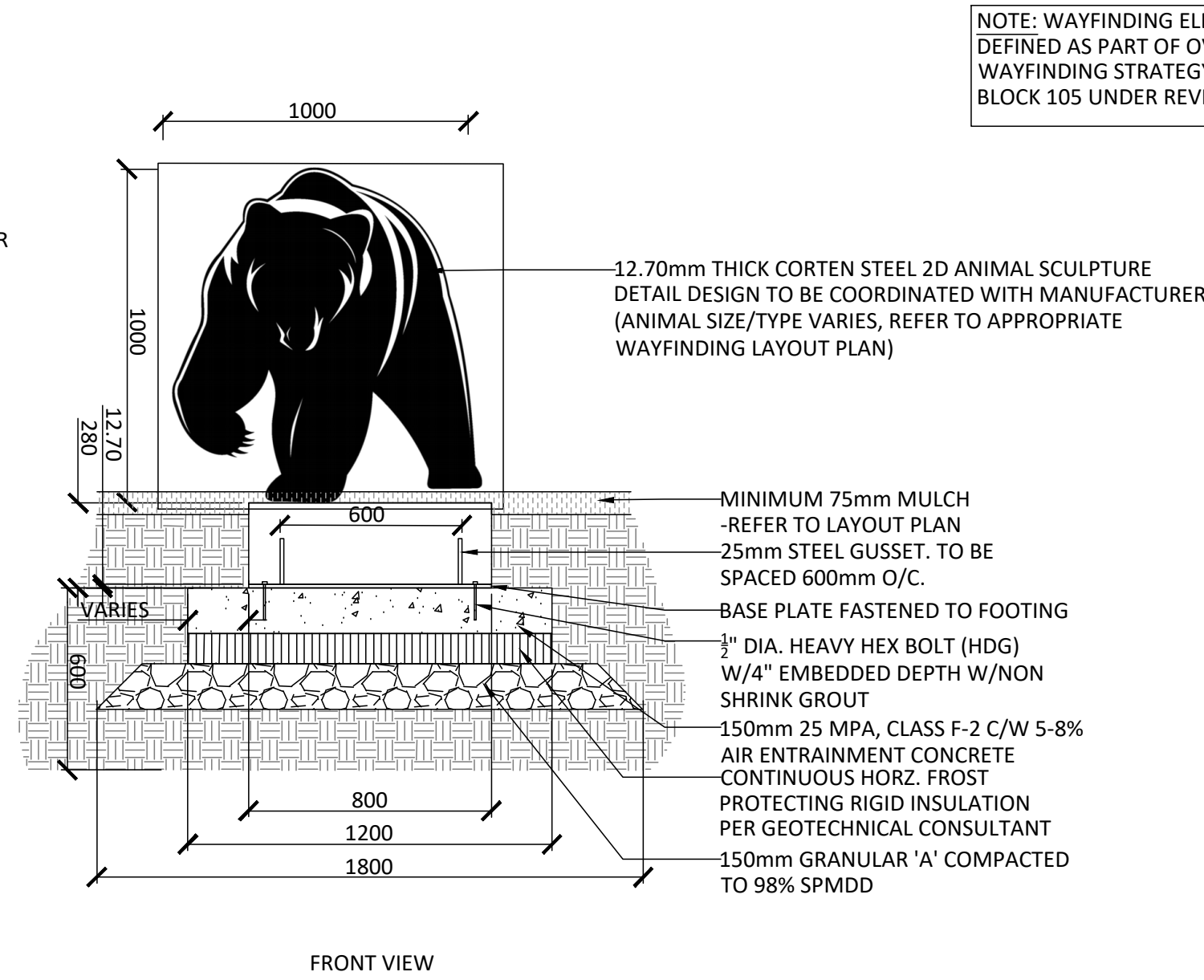
2 ARMOUR STONE WALL
1:20



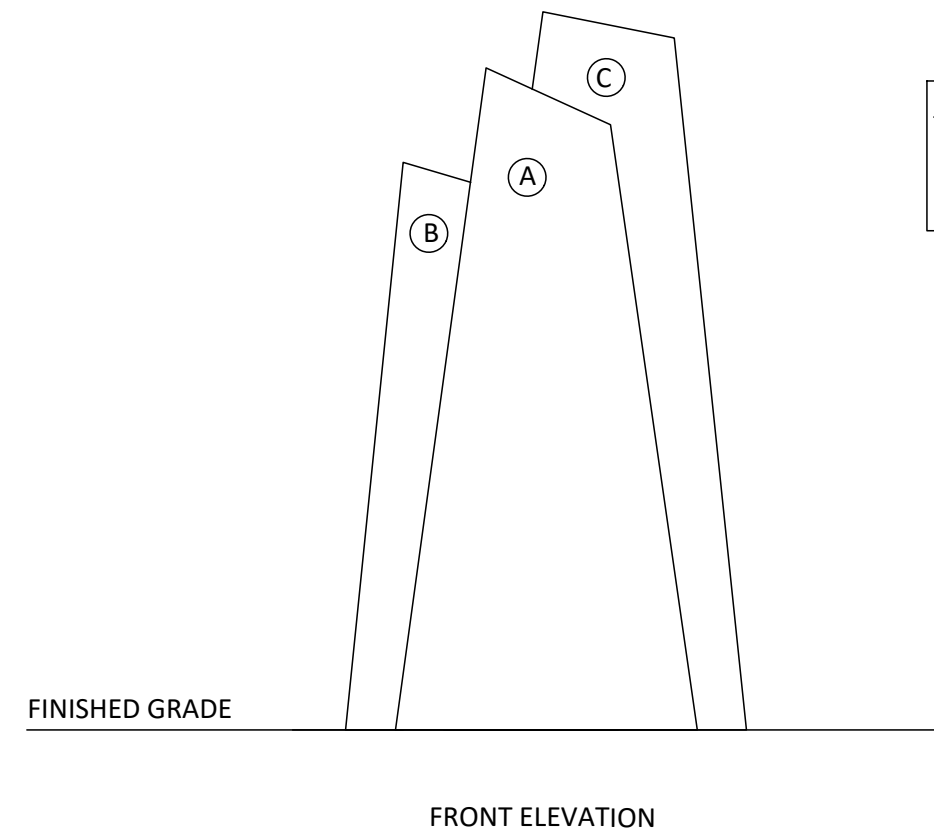
3 2D ANIMAL SCULPTURE
1:20



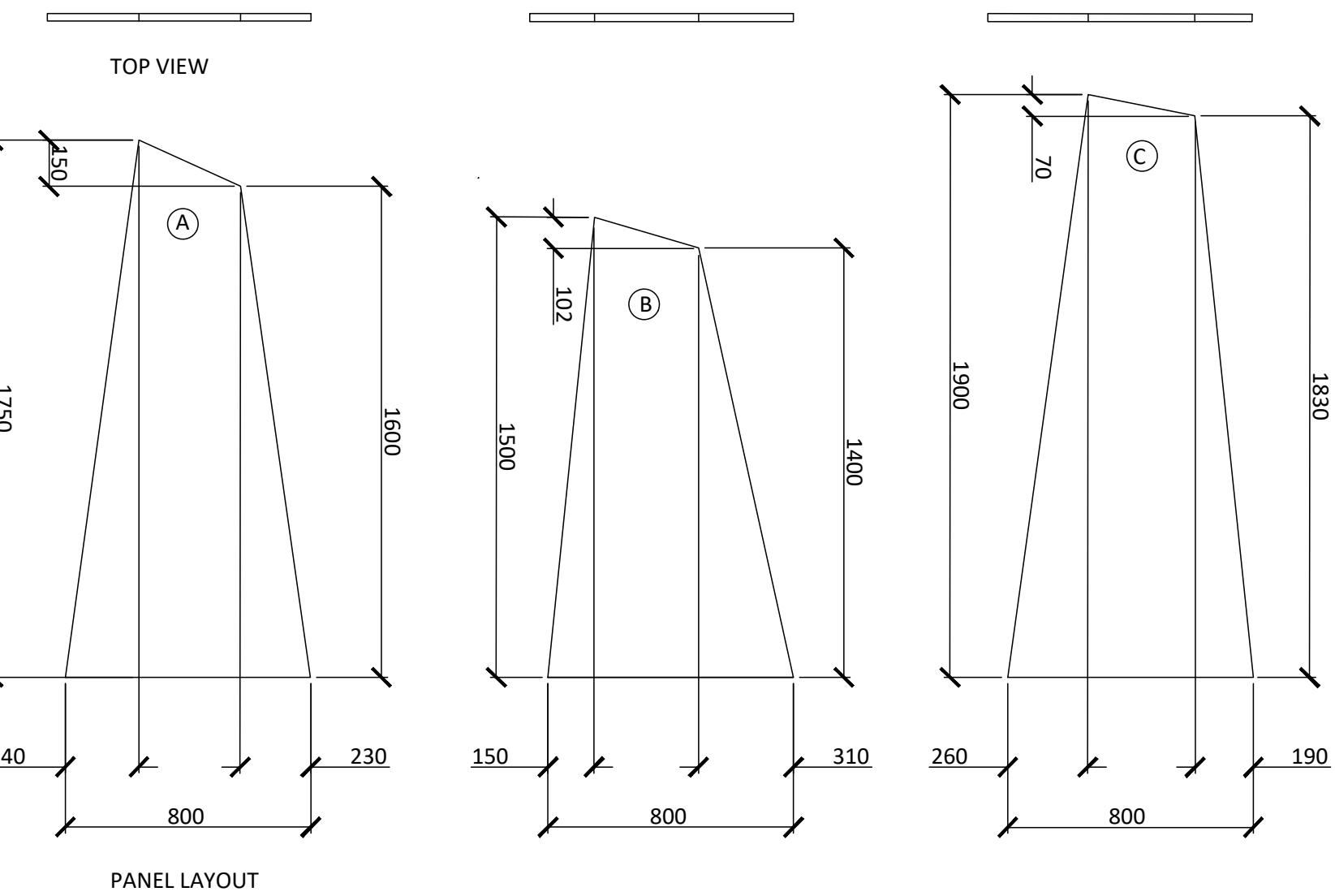
4 WAYFINDING SCULPTURE
1:20



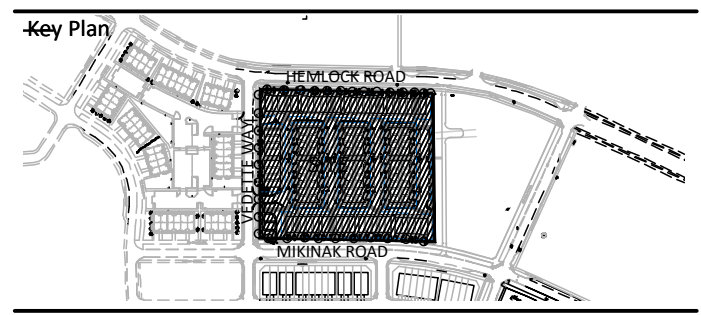
NOTE: WAYFINDING ELEMENTS AND ARTWORK IS DEFINED AS PART OF OVERALL WATERIDGE VILLAGE WAYFINDING STRATEGY BY MATTAMY. ARTWORK FOR BLOCK 105 UNDER REVIEW, AND TO BE CONFIRMED.



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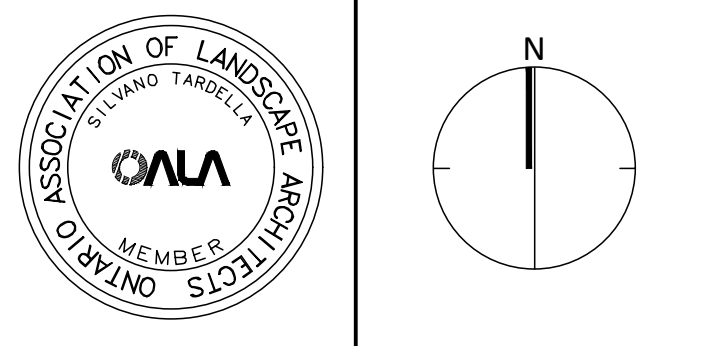
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NAK
design strategies
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WATERIDGE VILLAGE

Title	DETAILS
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Drawn	JE
Checked	SC
Job No.	25-066
Sheet	L3.0

PLAN N° --

CITY FILE N° DXX-XX-XX-XXXX