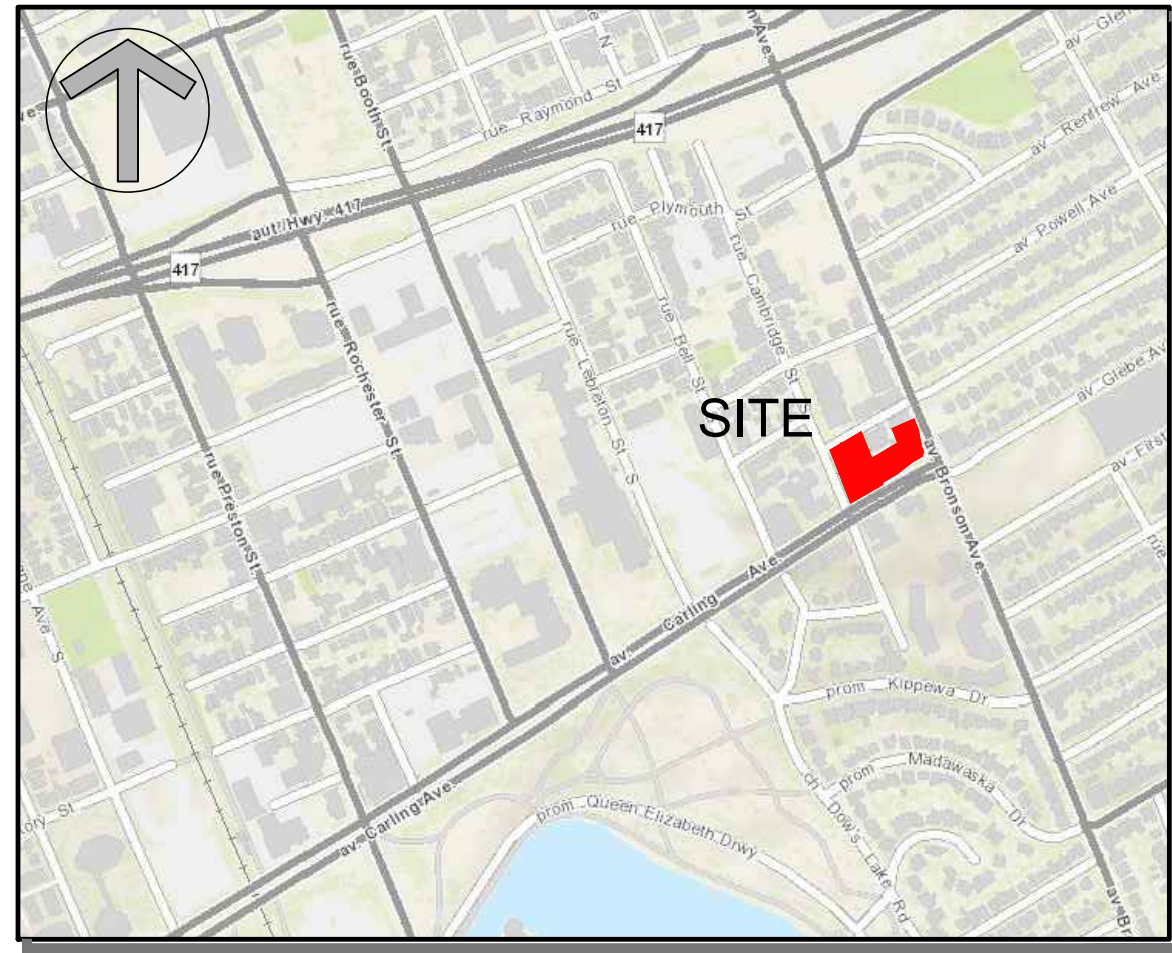
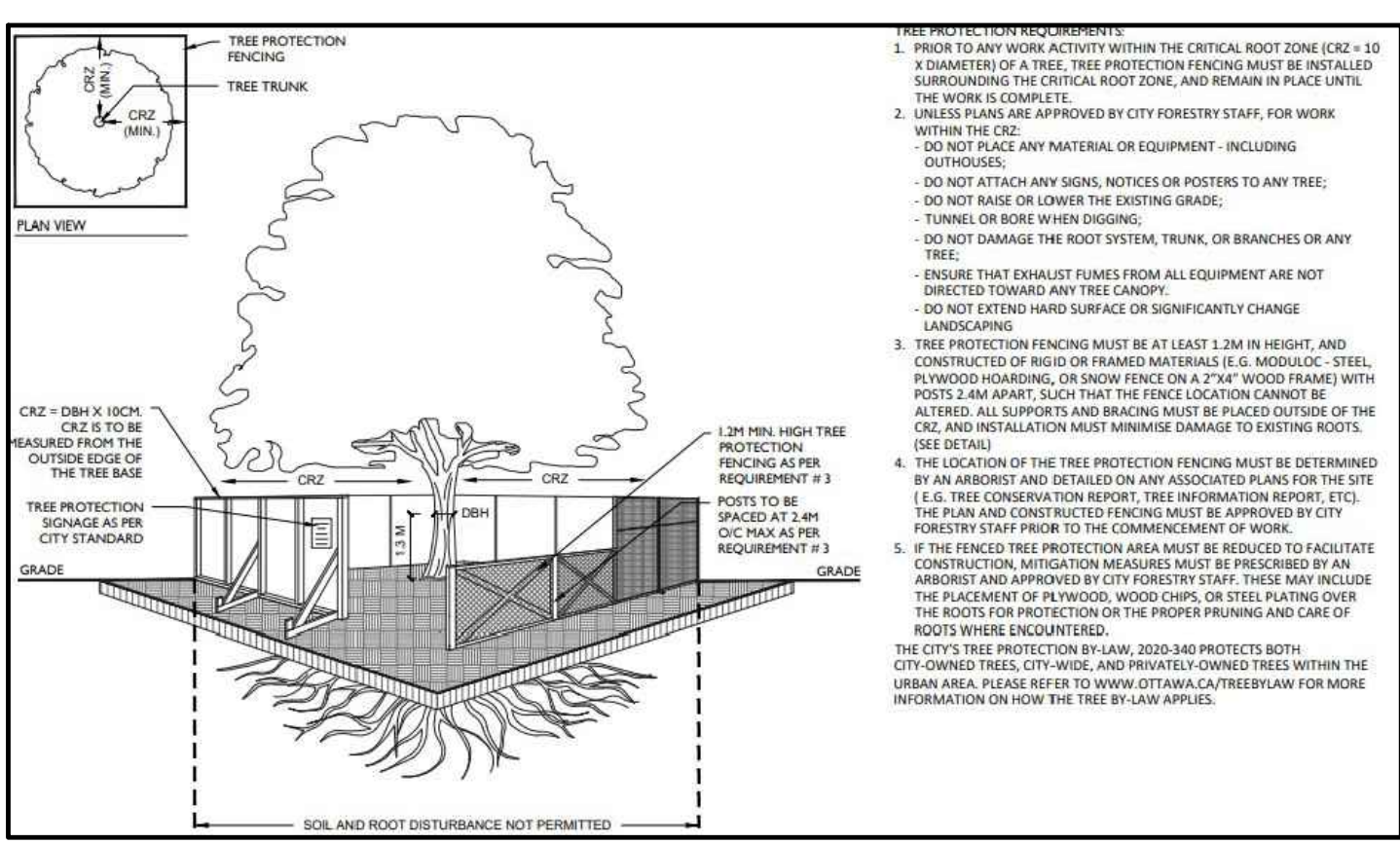




KEY MAP



CITY OF OTTAWA: TREE PROTECTION FENCE DETAIL

CIVIL ENGINEER
CIMA+ Engineering Ltd.
240 Catherine Street, Suite 110
Ottawa, ON, Canada K2P 2G8
Tel: (613) 860-2462
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E-Mail: Eric.Potvin@cima.ca

URBAN PLANNER
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396 Cooper Street
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Ottawa, ON K2P 2H7
Tel: (613) 612-5959
E-Mail: bolduc@fotenn.com

PROJECT DEVELOPER
KTS Ontario properties
265 Carling Ave unit 401
Ottawa, K1S 2E1
Tel: 613 612-5959
E-Mail: fadi@katasa.ca

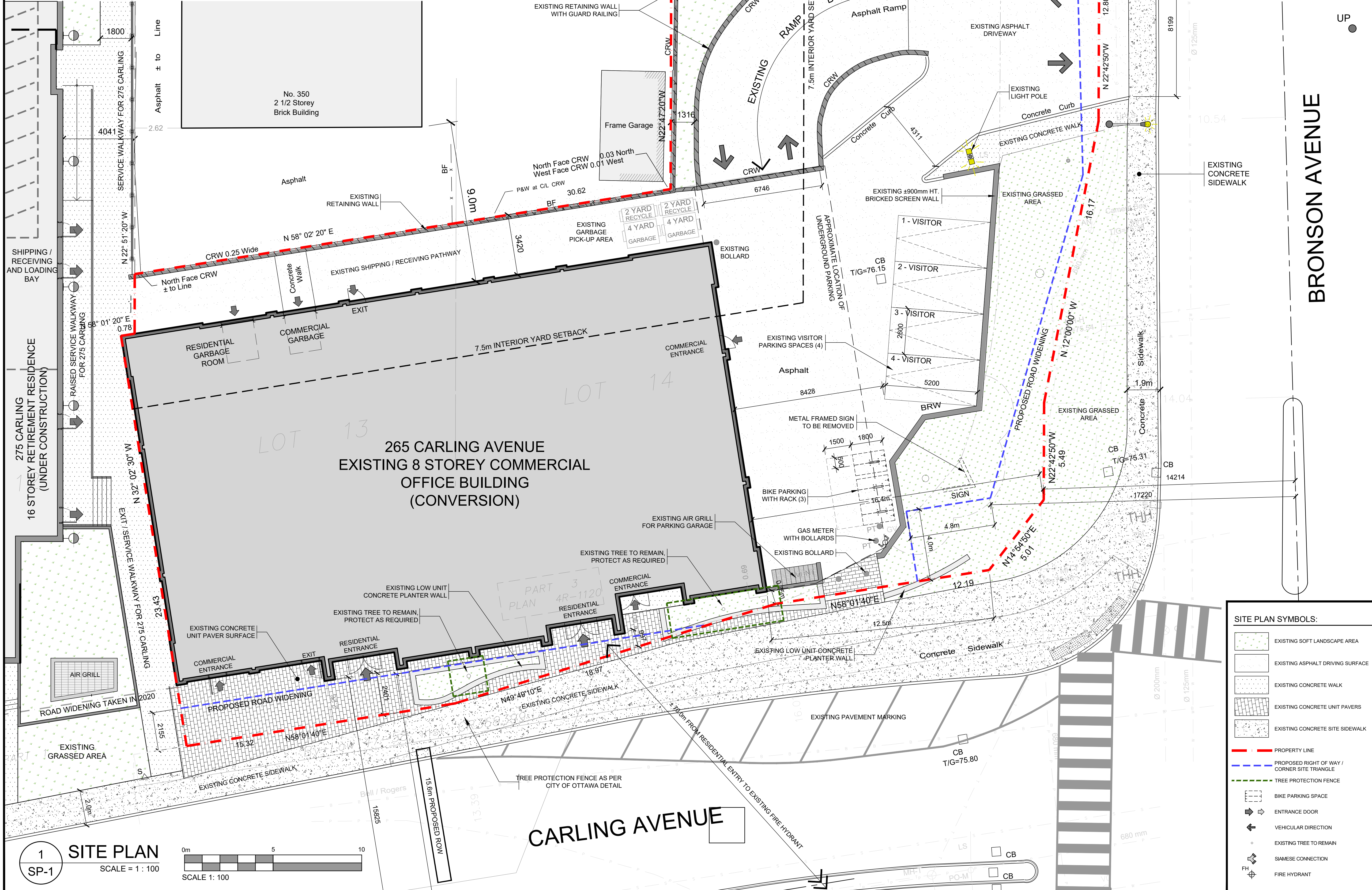
TRANSPORTATION ENGINEER
CGH Transportation Inc.
6 Plaza Court
Ottawa, ON K2H 7W1
Tel: (343) 999-9177
Cell: (613) 697-3797
Email: Christopher.Gordon@CGHTransportation.com
Email: john.kingsley@cgtransportation.com

SURVEYOR
Annis O'Sullivan Vollebakk Ltd.
Ontario Land Surveyors
14 Concourse Gate, Suite 500,
Nepean, Ontario K2E 7S6
Tel: (613) 727-0850
Fax: (613) 727-1079
Email: EdH@aovltd.com

LEGAL DESCRIPTION
STRATA PLAN OF SURVEY OF
LOTS 9, 10, 11, 12 and
PART OF LOTS 6, 7, 13, 14 and 15
(South of Clemow Avenue)
REGISTERED PLAN 54
CITY OF OTTAWA
Prepared by Annis, O'Sullivan, Vollebakk Ltd.

PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation	AM(2022) H(28)	SITE AREA	0.166 ha.
			1,659.3 sq. m. 17,860 sq. ft.
ZONING	REQUIRED	PROVIDED	
BUILDING HEIGHT - EXISTING TO REMAIN	28.0m	28.0m	
FRONT YARD SETBACK - EXISTING TO REMAIN	0	16.4m	
CORNER YARD SETBACK - EXISTING TO REMAIN	0	0.5m	
INTERIOR YARD SETBACK - ABUTTING RESIDENTIAL ZONE - EXISTING TO REMAIN	7.5	3.4m	
REAR YARD SETBACK - EXISTING TO REMAIN	0	0.0m	
RESIDENTIAL UNIT COUNT	-	70	
COMMERCIAL AREA	-	187.4m ²	
PARKING - RESIDENTIAL (AFTER 12 UNITS PER BLDG.) - 0.5 PER UNIT	29	29	
PARKING - VISITOR ONLY (AFTER 12 UNITS PER BLDG.) - 0.1 PER UNIT	6	6	
PARKING - COMMERCIAL ON GROUND FLOOR - NOT REQUIRED	0	0	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	35	3	
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA	3	3	
COMMERCIAL LOADING SPACE	0	0	
ALLEY & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m / 6.7m	
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	420.0m ²	450.0m ²	
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	210.0m ²	450.0m ²	

NOTATION SYMBOLS:	
	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
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	DETAIL NUMBER
	TITLE
	DETAIL REFERENCE PAGE
	DETAIL CROSS REFERENCE PAGE



BUILDING STATISTICS	
GROSS BUILDING AREA (CITY OF OTTAWA'S DEFINITION)	
PARKING LEVEL: STAGE #1	0.0 sq. m. 0.00 sq. ft.
GROUND FLOOR - COMMERCIAL STAGE #2	187.4 sq. m. 2,017 sq. ft.
2nd to 5th FLOOR: STAGE #1	4 x 496.5 sq. m. 4 x 5,376 sq. ft.
6th to 8th FLOOR: STAGE #2	3 x 496.5 sq. m. 3 x 5,376 sq. ft.
TOTAL AREA	3,683.9 sq. m. 39,649 sq. ft.

UNIT STATISTICS	
STUDIO UNIT	8
1 BEDROOM UNIT	2
2 BEDROOM UNIT	2
TOTAL	10
RESIDENTIAL UNIT AREA	3,496.5 sq. m. 37,632 sq. ft.
COMMERCIAL RETAIL / PSB / OFFICE	187.4 sq. m. 2,017 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	-0.5 PER UNIT AFTER 12
VISITOR	-0.1 PER UNIT AFTER 12
1st FL. COMMERCIAL	-NOT REQUIRED
TOTAL	35
PROVIDED	
265 CARLING - OFFICE	-1.0 PER 100m ² OF G.F.A.
265 CARLING - RETAIL	-1.0 PER 100m ² OF G.F.A.
265 CARLING - MEDICAL	-2.0 PER 100m ² OF G.F.A.
265 CARLING - RESIDENCE	-0.5 PER UNIT AFTER 12
265 CARLING - VISITOR	-0.1 PER UNIT AFTER 12
TOTAL	35

LOCATION OF PARKING	
265 CARLING - AT GRADE	4
265 CARLING - P1 LEVEL	17
275 CARLING - P1 LEVEL	14
TOTAL	35

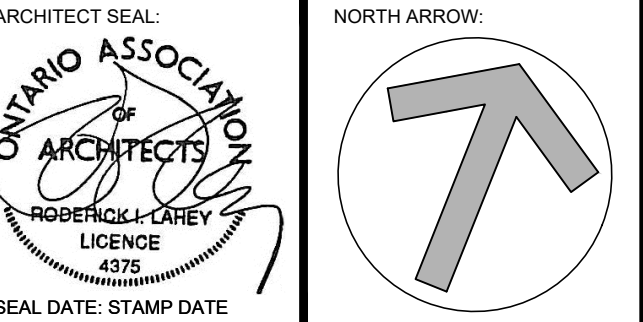
BICYCLE PARKING	
REQUIRED	
DWELLING UNIT	-0.5 PER UNIT (70 UNITS)
COMMERCIAL - OFFICE	-1.0 PER 250m ² OF G.F.A.
COMMERCIAL - RETAIL PSB	-1.0 PER 250m ² OF G.F.A.
TOTAL	37
PROVIDED	
UNDERGROUND	37
EXTERIOR AT GRADE	6
TOTAL	43

AMENITY SPACE	
STAGE 1: 40 UNITS - REQUIRED 6.0m ² PER	240.0 sq. m.
STAGE 2: 30 UNITS - REQUIRED 6.0m ² PER	180.0 sq. m.
EAST ROOF COMMUNAL TERRACE (STAGE 1)	150.0 sq. m.
WEST ROOF COMMUNAL TERRACE (STAGE 1)	140.0 sq. m.
1st FLOOR AMENITY ROOM (STAGE 2)	160.0 sq. m.
TOTAL (ALL COMMUNAL)	450.0 sq. m.
REQUIRED - 6.0m ² PER UNIT (70)	420.0 sq. m.
REQUIRED COMMUNAL @ 50%	210.0 sq. m.

WASTE REQUIREMENT	
GARBAGE	-0.11 PER UNIT 8 YARDS
RECYCLING GMP	-0.018 PER UNIT 2 YARDS
RECYCLING FIBER	-0.038 PER UNIT 3 YARDS
COMPOST	-240L PER 50 UNITS 2

SITE AREA	
EXISTING BUILDING	671.0 sq. m. 40.5%
EXISTING SURFACE	655.2 sq. m. 39.5%
EX LANDSCAPE OPENED SPACE	333.1 sq. m. 20.0%
TOTAL	1,659.3 sq. m. 100.0%

REVISIONS:	
No.	DESCRIPTION
1	ISSUED FOR ROUND 2 COMMENT RESPONSE
2	ISSUED FOR ROUND 1 COMMENT RESPONSE
3	REVISED AS PER CITY COMMENTS
4	ISSUED FOR PHASE 3 PRE-CONSULTATION
5	ADDED ROW PROTECTION
6	REVISED FOR FULL CONVERSION
7	ISSUED FOR CONSULTANT / OWNER REVIEW
8	ISSUED FOR PRE CONSULTATION
No.	DESCRIPTION
1	DATE



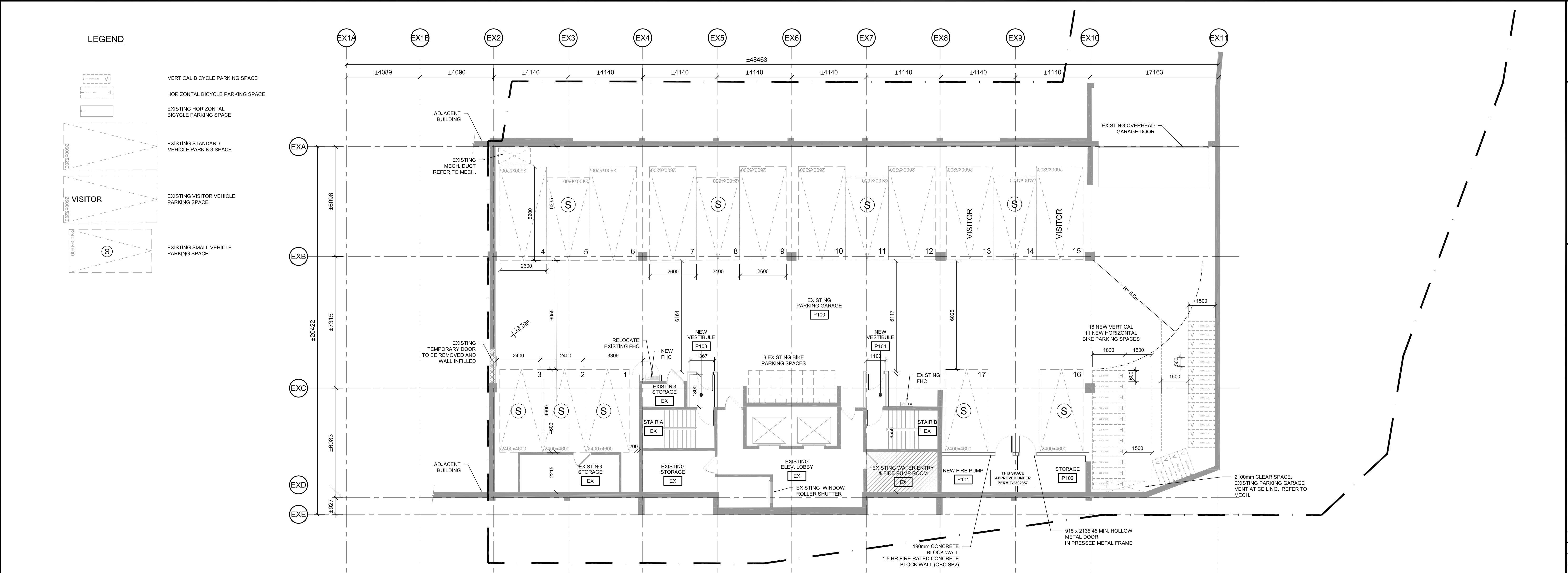
ARCHITECT:
rla/architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN

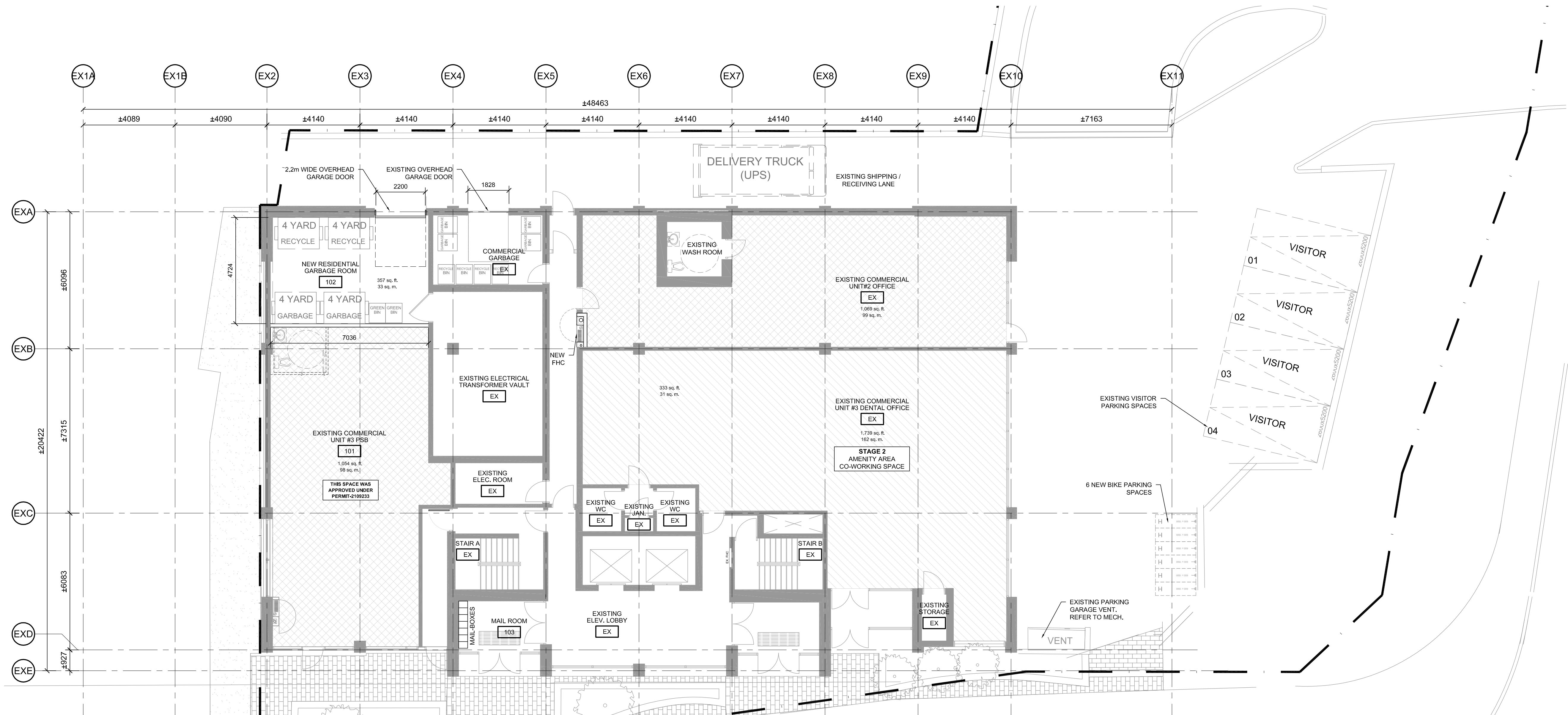
DRAWN: R.V.	CHECKED: R.V.
SCALE: 1:150	SHEET No. SP-1
PROJECT No. 2316	



1 PARKING LEVEL FLOOR PLAN - STAGE 1

A100

SCALE = 1:100



2 GROUND FLOOR PLAN - STAGE 1

A100

SCALE = 1:100

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- DETAIL NUMBER
- TITLE
- SCORE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
2	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 08, 25
3	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 24
4	ISSUED FOR PHASE 3 PRE-CON	May 23, 24
5	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24
6	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24
7	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24
8	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

ARCHITECT SEAL:	NORTH ARROW:
SEAL DATE: STAMP DATE	

CLIENT:

KL PROPERTIES

ARCHITECT:

rla/architecture
roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

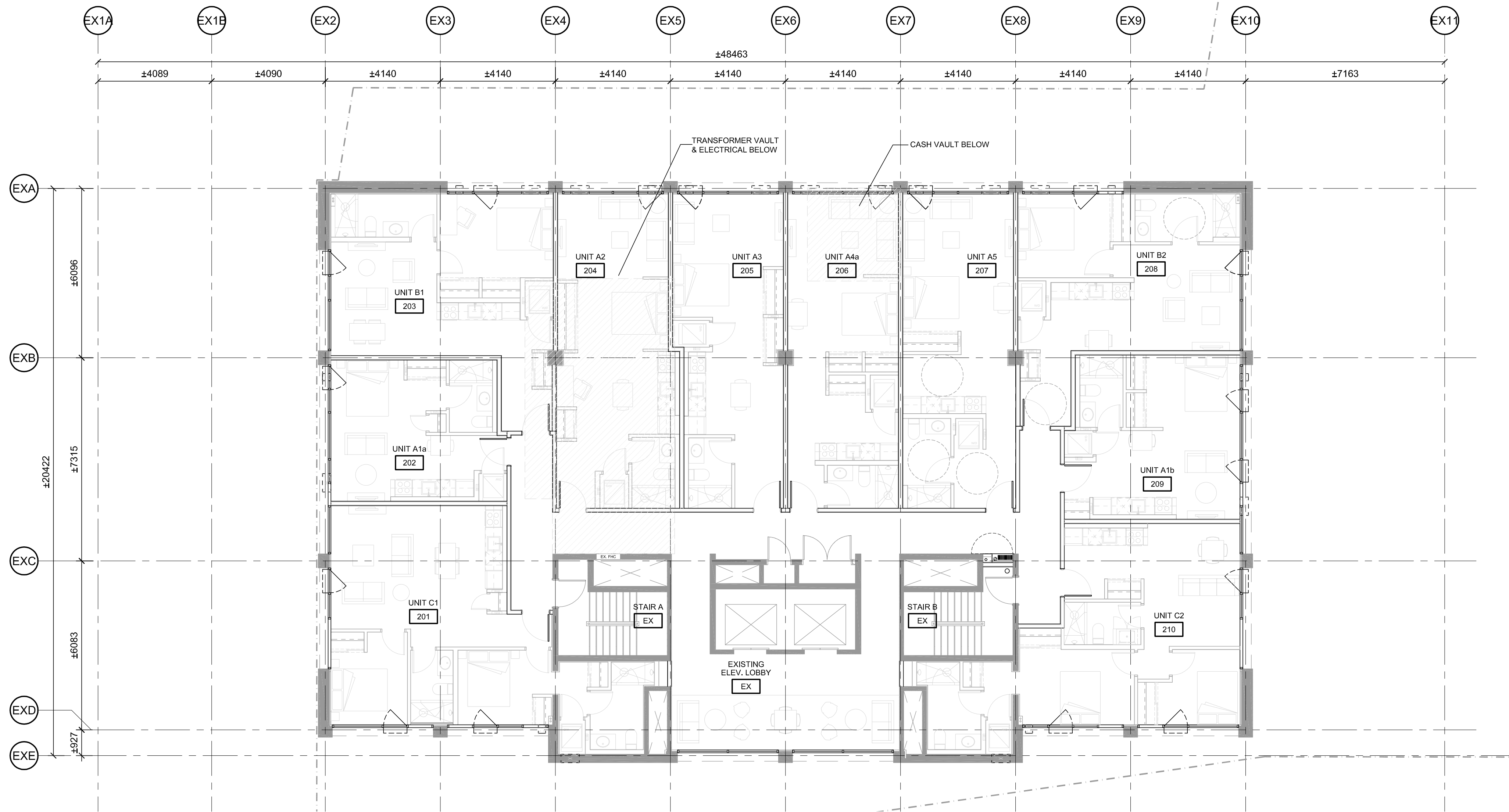
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

PARKING & GROUND FLOOR PLANS

DRAWN:	CHECKED:
OT	RD
SCALE:	SHEET No.
1:100	
PROJECT No.	A100
2316	



1 2ND FLOOR PLAN - STAGE 1
A101

SCALE = 1 : 100



2 3RD FLOOR PLAN - STAGE 1
A101

SCALE = 1 : 100

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DETAIL NUMBER
TITLE
DETAIL REFERENCE PAGE
DETAIL CROSS REFERENCE PAGE

LEGEND

UNIT A# STUDIO BEDROOM UNIT
UNIT B# 1 BEDROOM UNIT
UNIT C# 2 BEDROOM UNIT

No.	DESCRIPTION	DATE
1	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 25
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8	ISSUED FOR PRE CONSULTATION	Oct. 16, 23

REVISIONS:	
ARCHITECT SEAL:	NORTH ARROW:
SEAL DATE: STAMP DATE	
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klis PROPERTIES

rla / architecture
roderick lahey architect inc.
56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

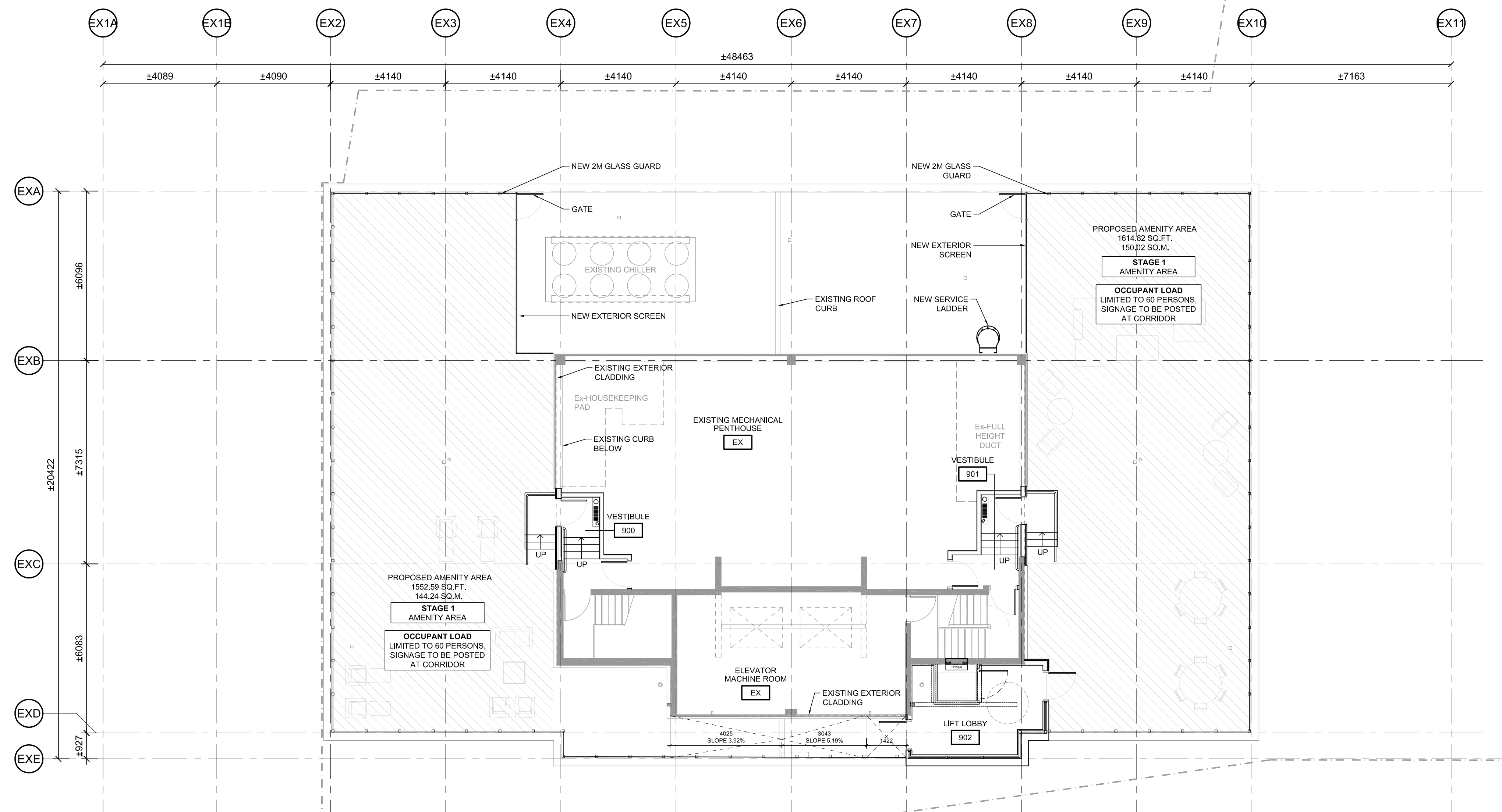
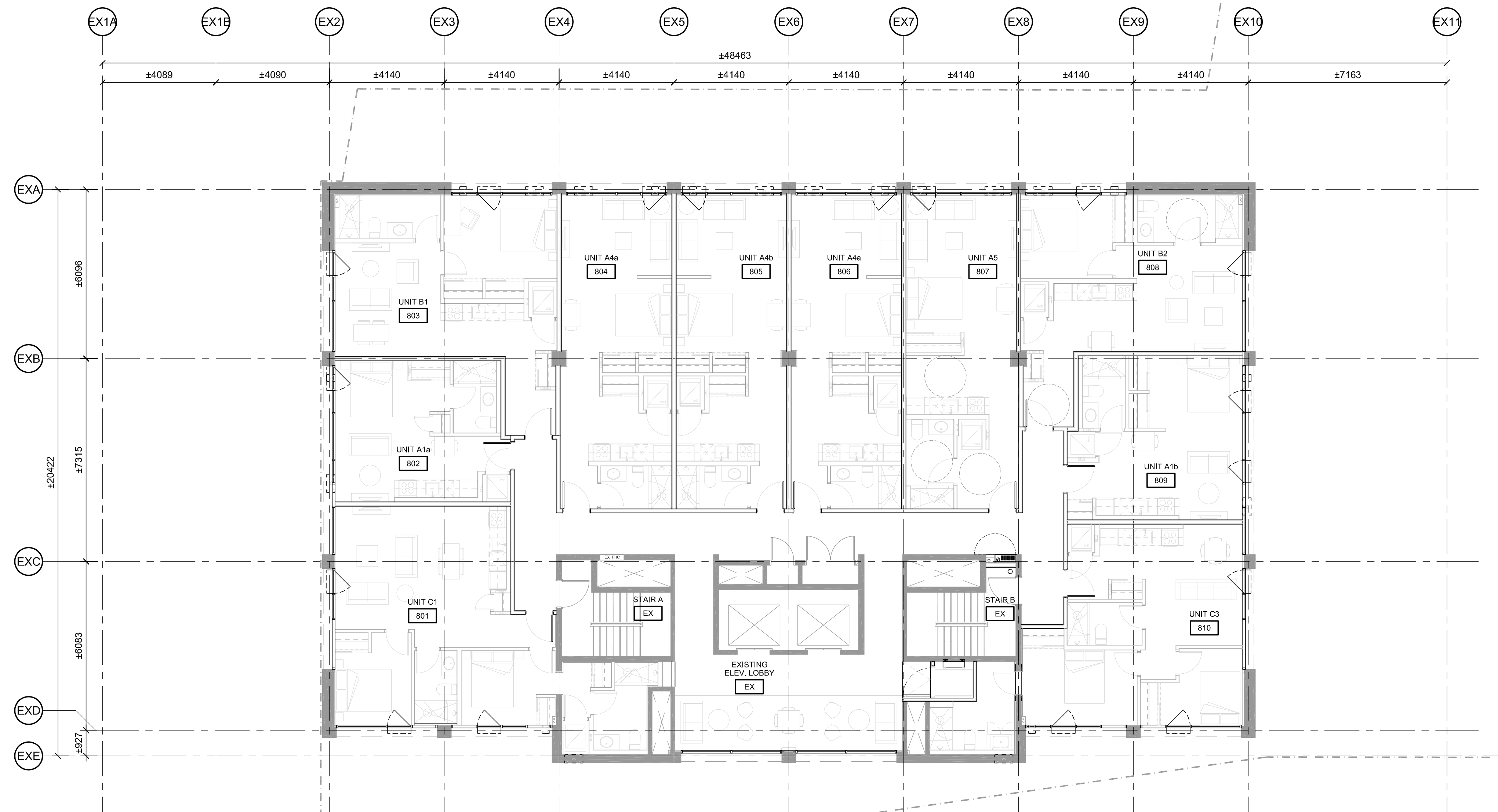
265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

2ND & 3RD FLOOR PLANS

DRAWN: OT	CHECKED: RD
SCALE: 1:100	SHEET No. A101
PROJECT No. 2316	



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- DETAIL NUMBER
- TITLE
- SCALE
- DETAIL REFERENCE PAGE
- DETAIL CROSS REFERENCE PAGE

LEGEND

UNIT A#	STUDIO BEDROOM UNIT
UNIT B#	1 BEDROOM UNIT
UNIT C#	2 BEDROOM UNIT

[illegible]



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 ———— DETAIL NUMBER
 ———— **TITLE** *SCALE*
 ———— DETAIL REFERENCE PAGE
 ———— DETAIL CROSS REFERENCE PAGE

A			
B			
C			
D			
E			
F			
G			
H			
I	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 20	
J	ISSUED FOR SPC COMMENT RESPONSE 1	Apr. 04, 20	
K	ISSUED FOR CONSULTANT / OWNER REVIEW	Oct. 01, 20	
L	ISSUED FOR PHASE 3 PRE-CON	May 23, 24	
M	ISSUED FOR PRE-CON - REVISED SCOPE	Mar. 14, 24	
N	ISSUED FOR CONSULTANT / OWNER REVIEW	Mar. 05, 24	
O	ISSUED FOR CONSULTANT / OWNER REVIEW	Jan. 29, 24	
P	ISSUED FOR PRE CONSULTATION	Oct. 16, 23	
No.	DESCRIPTION		DATE

REVISIONS:

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SEAL DATE: STAMP DATE

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The logo for KTS Properties features the letters 'KTS' in a large, bold, black, sans-serif font. To the right of the 'S', the word 'PROPERTIES' is written in a smaller, black, sans-serif font. The entire logo is centered within a white rectangular area.

ARCHITECT:

rla / architecture
roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:	
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265 CARLING AVENUE

OTTAWA ONTARIO

SHEET TITLE:

MPH ROOF
PLAN

DRAWN: OT	CHECKED: RD
SCALE: 1:100	SHEET No. A104
PROJECT No. 2316	

D07-12-25-0015

NOTATION SYMBOLS:

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DETAIL NUMBER

TITLE

SCALE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

3	ISSUED FOR SPC COMMENT RESPONSE 2	June 11, 20
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10	ISSUED FOR PRE CONSULTATION	Oct. 16, 23
11	DESCRIPTION	DATE

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ARCHITECT:

rla / architecture
roderick lahey architect inc.

56 beech street, ottawa, ontario K1S 3J6
613.724.9932 f. 613.724.1209 rlaarchitecture.ca

PROJECT TITLE:

265 CARLING AVENUE

OTTAWA	ONTARIO
SHEET TITLE:	

SOUTH
ELEVATION

DRAWN: OT	CHECKED: RD
SCALE: 1:75	SHEET No. A200
PROJECT No. 2316	

OWG #



1 SOUTH ELEVATION
A200

SCALE = 1:75

2600x5200

2600x5200

2400x4600

VISITC

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NOTATION SYMBOLS:

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- 00

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
- 00

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A900 SERIES.
- 000

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- 00

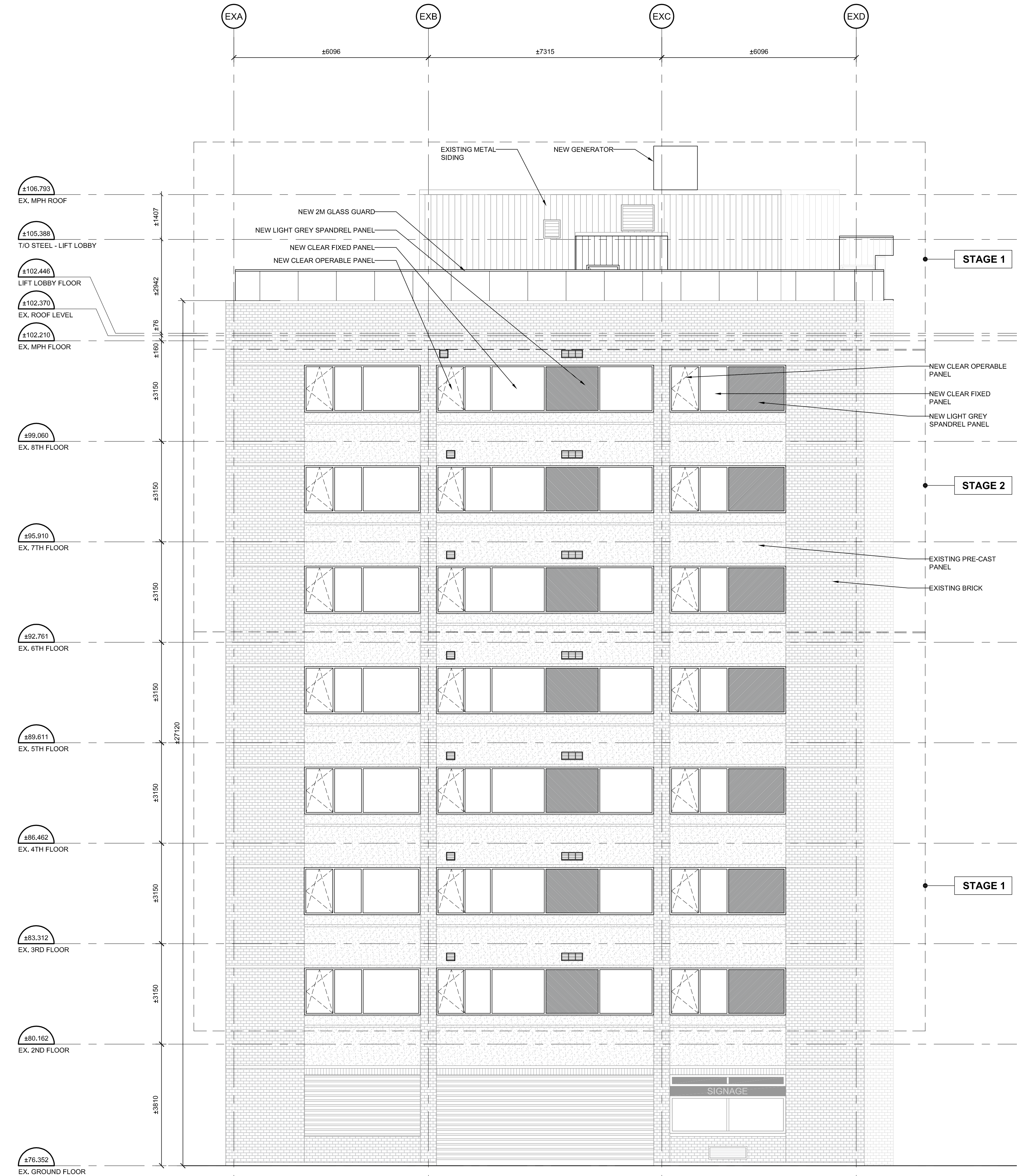
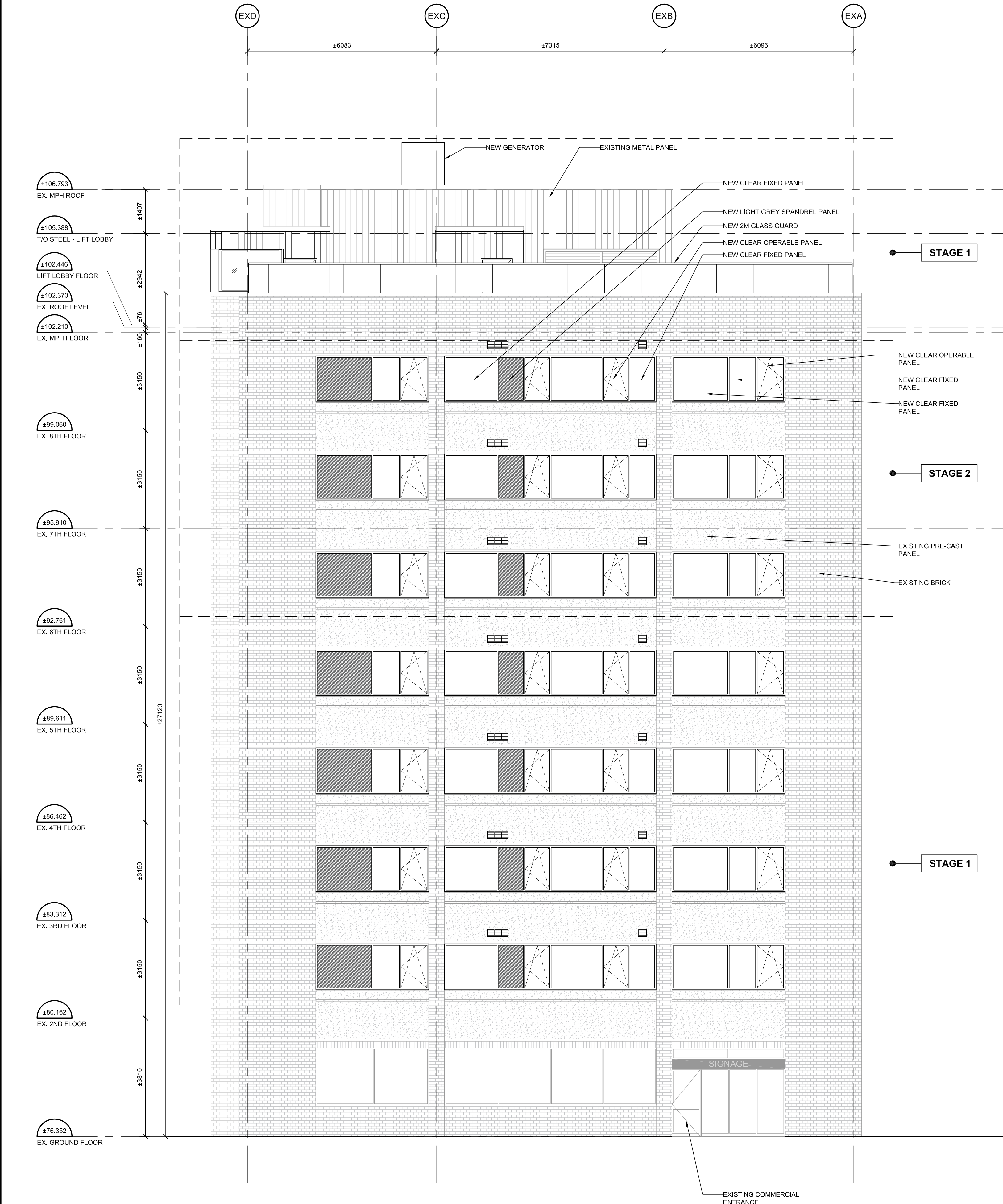
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- 00

TITLE
- 00

SCORE
- 00

DETAIL REFERENCE PAGE
- 00

DETAIL CROSS REFERENCE PAGE



Legend for drawing symbols and their meanings:

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- 000** INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A900 SERIES.
- 00** (circled) — **DETAIL NUMBER**
- 00** (circled) — **TITLE**
- 000** (circled) — **SCALE**
- 00** (circled) — **DETAIL REFERENCE PAGE**
- 00** (circled) — **DETAIL CROSS REFERENCE PAGE**