

64 JAMIE PREP SHOP ADDITION

TONY GRAHAM MOTORS INC.



64 JAMIE AVE., OTTAWA, ON, K2E 6T6

PROJECT TEAM

CLIENT

TONY GRAHAM MOTORS INC.

A: 1855 Merivale Rd, Ottawa, ON, K2G 1E3
T: 613 225 1212

CONTRACTOR

PRITEC MANAGEMENT

A: 2405 March Rd, Carp, ON, K0A 1L0
T: 613 839 5460

ARCHITECT

VANDEMBERG & WILDEBOER ARCHITECTS

A: 160 Flamborough Way, Ottawwa, ON, K2K 3H9
T: 613 287 0144

STRUCTURAL

CUNLIFFE & ASSOCIATES

A: 200-1550 Carling Ave., Ottawwa, ON, K1Z 8S8
T: 613 729 7242

MECHANICAL & ELECTRICAL

PROENG CONSULTING INC.

A: 399 Bayrose Dr., Ottawa, ON, K2J 5R5
T: 613 843 0065

CIVIL

DOUGLAS B. GRAY ENGINEERING INC.

A: 700 Long Point Circle, Ottawa, ON, K1T 4E9
T: 613 425 8044

LANDSCAPE

JAMES B. LENNOX & ASSOCIATES INC.

A: 3323 Carling Ave., Ottawa, ON, K2H 5A8
T: 613 722 5168

SURVEYOR

FARLEY, SMITH & DENIS SURVEYING LTD.

A: 275-30 Colonnade Rd. N., Ottawa, ON, K2E 7J6
T: 613 727 8226

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
2	ISSUED FOR 33% SET	MAY 14, 2025
3	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

CONSTRUCTION



Vandenberg & Wildeboer
A R C H I T E C T S

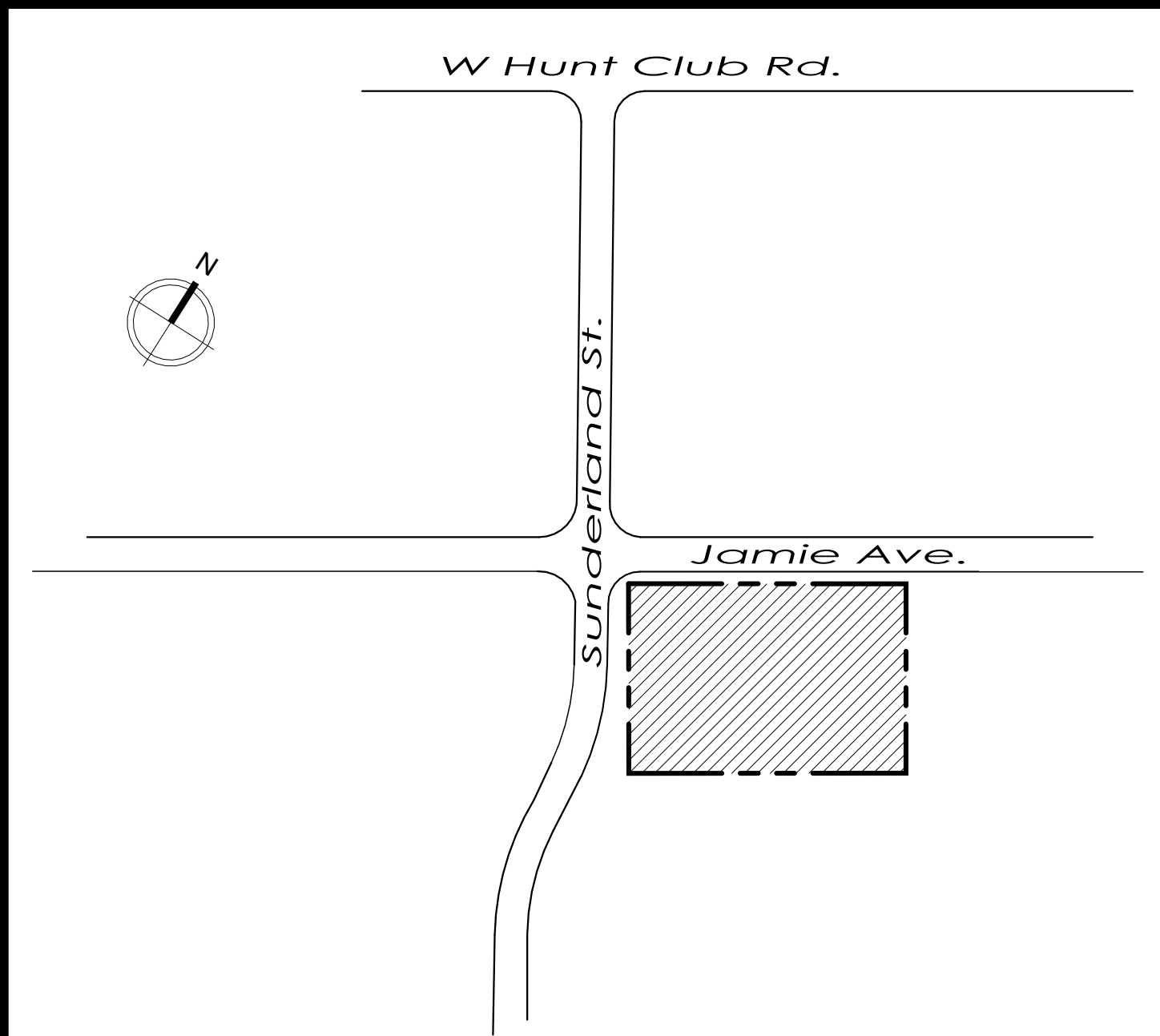
www.vandenberg-wildeboer.ca • Telephone: 613.287.0144 • Fax: 613.287.8009 • mail@vandenberg-wildeboer.ca
• 160 FLAMBOROUGH WAY • OTTAWA, ONTARIO • K2K 3H9 •

PROJECT TITLE:
64 JAMIE PREP SHOP ADDITION
64 Jamie Ave., Ottawa, ON K2E 6T6

DRAWING TITLE:
COVER SHEET

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE:
PROJECT NO. 2510

A000



01 KEY PLAN

SCALE: 1 : 2000

Firm's name: **Vandenberg & Wildeboer Architects Inc.**

Firm's Info: A: 160 Flamborough Way, Kanata, Ontario, K2K 3H9
T: 613.287.0144

Project Name: **64 Jamie Ave.**

Project Location: 64 Jamie Avenue,
Ottawa, ON, Canada K2E 6T6

NOTES: THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCIN.

Ontario Building Code Data Matrix Parts 3 & 9				2024 OBC D. Reg. 136/24 Last Amend. O. Reg. 447/24 References are to Division A or [C] for Division C	
Item	Project Description ☐ New Construction ☐ Addition and Renovation Description: 1300sq Prep Shop Addition to an Existing Building of Same Use	☐ Addition ☐ Alteration ☐ Change of Use	☐ Part 11	☒ Part 3 1.3.3.2.[A]	☐ Part 9 1.3.3.3.[A] 9.10.1.3.
2	Major Occupancy(ies): GROUP F2 - AUTOMOBILE DETAILING PREP SHOP			3.1.2.1.(1)	9.10.2.
3	Superimposed Major Occupancies: Description:	☐ Yes ☒ No		3.2.2.7	9.10.2.3.
4	Building Area (m²): Existing: 525 m² New: 601 m² Total: 1126 m²			1.1.3.[A], 1.4.1.2.[A]	(same)
5	Mezzanine Area (m²): Existing: 49 m² New: 42 m² Total: 91 m² Is Mezzanine considered a Storey?	☐ Yes ☒ No		3.2.1.1.[3] to [8]	9.10.4.1.
6	Building Height (m): Ave. Grade: 0 m Height: 0 m			1.1.3.[A], 1.4.1.2.[A]	1.4.1.2.[A] & 9.10.4
7	Number of Storeys: Above Grade: 1 Below Grade: 0			1.1.3.2.[A] & 3.2.1.1.	(same)
8	Number of Street/Acc. Routes:			3.2.2.10 & 3.2.5.5.	9.10.20.
9	Building Classification:			3.2.2.20-93	9.10.2
10	Sprinkler System Proposed: Provided: ☐ Entire Building ☐ Basement Only	☒ Not Required ☐ Selected Compartments ☐ Selected Floor Areas ☒ None		3.2.2.20-93 3.2.1.5. 3.2.2.18. 3.2.8.3.	3.2.4.7 & 9.10.8.2 to 4
11	Standpipe System Required	☐ Yes ☒ No		3.2.5.8 to 1.1	9.10.1.3.[8]
12	Fire Alarm System Required	☐ Yes ☒ No		3.2.4.	9.10.18
13	Water Service/Supply is Adequate	☐ Yes ☒ No	☒ N/A	3.2.5.7.	9.31.3
14	High Building	☐ Yes ☒ No		3.2.6.	N/A
15	Permitted Construction ☐ Combustible ☐ Non-Combustible Actual Construction ☒ Combustible ☐ Non-Combustible	☐ Non-Combustible ☒ Both		3.1.5, 3.1.4.7 & 3.2.2.20-93	9.10.2, 9.10.6
16	Occupant Load Based on: ☐ m²/Person ☒ Design of Building			3.1.17.	9.9.1.3. & Table 3.1.17.1
GROUP F2: 24 Persons TOTAL OCCUPANT LOAD: 24 Persons					
17	Barrier Free Design Explanation: Mezzanine area less than 600m² and Bldg. not more than 2 storeys, BF to 2nd floor not required.	☒ Yes ☐ No		3.8	3.8 & 9.5.2.
18	Hazardous Substances ☐ Yes ☒ No			3.8.2.1.[1](m) 3.3.1.2. & 3.3.1.9.	9.10.13.[4]
19	Required Fire Resistance Rating (FRR) Horizontal Assemblies FRR (hrs. or min.)	Required 45 Min.	Provided N/A	Listed Design No. or SB-2 Description	3.2.2.20-93 3.2.1.2. 3.2.1.4. 3.2.2.15. 3.3.2.2.
	Roof	45 Min. or Non-Combustible	Non-Combustible	See Assemblies	
	Mezzanine	45 Min. or Non-Combustible	Non-Combustible	See Assemblies	
	Supporting Members FRR (hrs. or min.)	Required	Provided	Description	
	Beams / Columns / L.B. Walls Others	45 m. or Non-Combustible	Non-Combustible	See Assemblies	

SITE STATISTICS

LEGAL DESCRIPTION:
LOTS 15, 16 & 17, REGISTERED PLAN 564563, CITY OF OTTAWA.

ZONING: **IH1 - HEAVY INDUSTRIAL (SUBZONE 1)**

TOTAL SITE AREA (m²): **5718.10 m²**

ZONING MECHANISM	REQUIRED	PROVIDED
MINIMUM LOT AREA	4000 m²	5718.10 m²
MINIMUM LOT WIDTH	NO MIN.	---
MINIMUM FRONT AND CORNER SIDE YARD	7.5 m	7.5 m
MINIMUM INTERIOR AND REAR SIDE YARD	7.5 m	7.5 m
MAXIMUM FLOOR SPACE INDEX	2	0.16
MAXIMUM BUILDING HEIGHT	22 m	7.5 m
MINIMUM WIDTH OF LANDSCAPING	3 m	SEE COMMENTS BELOW

PARKING CALCULATIONS

OCCUPANCY	GFA (m²)	PARKING RATE (per 100 m²)	PARKING REQUIRED	PARKING PROVIDED
GROUP F2	1,126	1 per 100 m²	12	20
TOTAL PARKING PROVIDED:				20

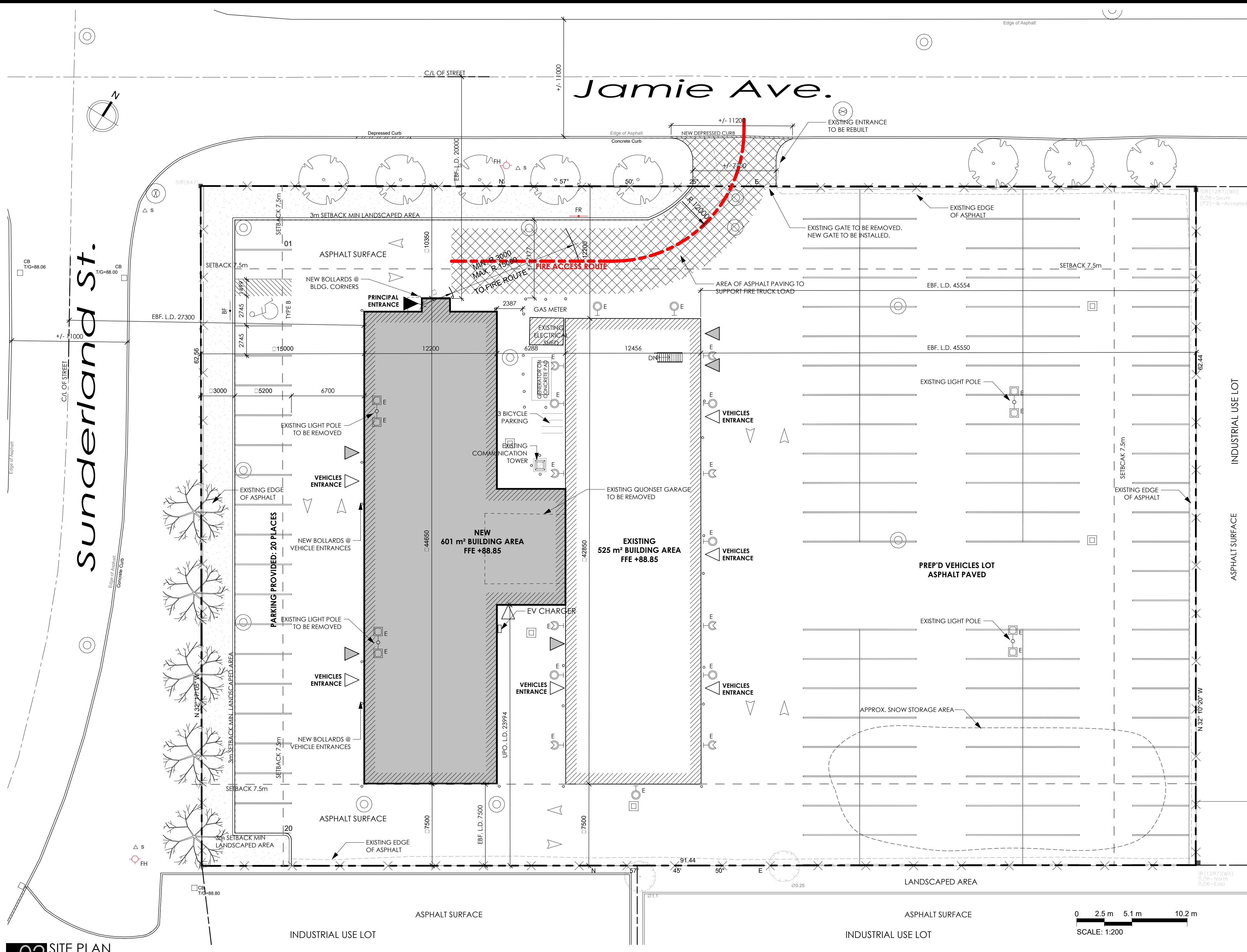
PARKING DIMENSIONS

PARKING SPACE TYPE	REQUIRED	PROVIDED
REGULAR PARKING SPACE	2.7 x 5.2 m	2.745 x 5.2 m
ACCESSIBLE PARKING SPACE (BY AODA)	TYPE A: 3.4x5.2m TYPE B: 2.4x5.2m	TYPE A: 0 TYPE B: 1 6.7 m
MINIMUM ASLE WIDTH	6.7 m	6.7 m

BICYCLE PARKING RATES

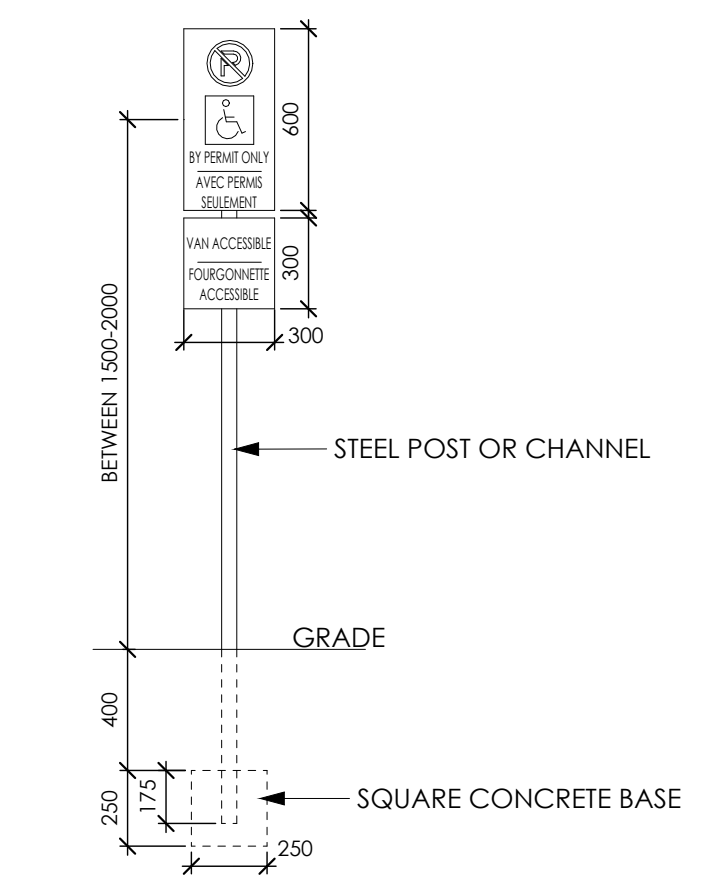
BICYCLE PARKING SPACES	REQUIRED	PROVIDED
1 per 500 m² of GFA	2	3

NOTE: 3M LANDSCAPE BUFFER NOT PROVIDED ON ALL SIDES, NO MINOR VARIANCE REQUIRED. SEE EMAIL FROM CITY OF OTTAWA INTERPRETATION ATTACHED TO THE SITE PLAN CONTROL APPLICATION



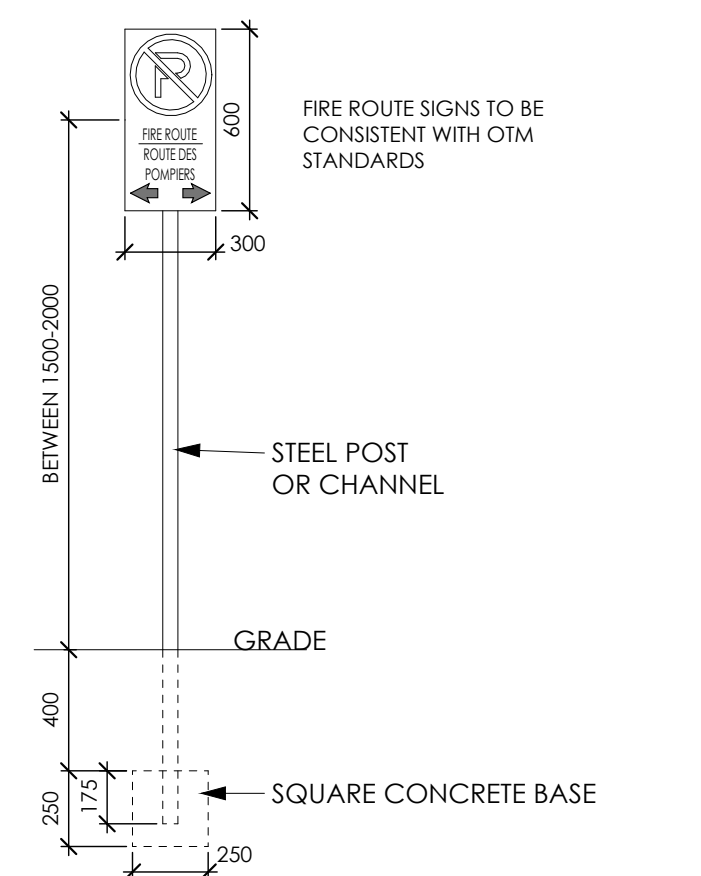
02 SITE PLAN

SCALE: 1 : 200



04 DISABLED PARKING SIGN

SCALE: 1 : 25



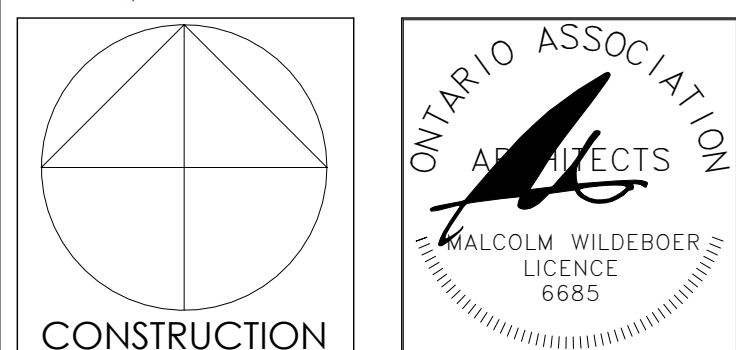
03 FIRE ROUTE NO PARKING SIGN

SCALE: 1 : 25

NO.	REVISION	DATE
1	ISSUED SPA FOR PRECONSULTATION MEETING	FEB 10, 2025
2	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
3	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
4	ISSUED FOR SITE COORDINATION	MAR 31, 2025
5	ISSUED FOR 33% COORDINATION	MAY 02, 2025
6	ISSUED FOR 33% SET	MAY 14, 2025
7	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

LEGEND:

	MANHOLE - SANITARY AND STORM (SEE CIVIL) ('E' DENOTES EXISTING)
	CATCHBASIN (SEE CIVIL) ('E' DENOTES EXISTING)
	FIRE HYDRANT (SEE CIVIL) ('E' DENOTES EXISTING)
	UTILITY POLE ('E' DENOTES EXISTING)
	STREET SIGN ('E' DENOTES EXISTING)
	DENOTES BUILDING DESIGNATED EXIT
	DENOTES BUILDING ACCESS
	DENOTES BUILDING DESIGNATED EXIT
	TYPICAL CURB (REFER: CITY STANDARDS)
	DEPRESSED CURB (REFER: CITY STANDARDS)
	PROPERTY LINE
	EXISTING PROPERTY LINE
	DESIGNATED BARRIER FREE PARKING SPACE
	NO PARKING SIGN
	BARRIER FREE PARKING SIGN
	FIRE ROUTE SIGN
	LIGHT STANDARD (SEE ELECT.) 'FR' DENOTES FIRE ROUTE SIGN ON POST
	LIGHT POST (SEE ELECT.)
	WALL SCENCE (SEE ELECT.)
	LIGHT POST WALL MOUNTED (SEE ELECT.)
	SIAMESE CONNECTION
	DOWNSPOUT
	ELECTRIC VEHICLE CHARGING STATION
	TACTILE WALKING SURFACE INDICATOR (TWSI)
	DIAGONAL PAINTED LINES
	TRANSFORMER W/ BOLLARDS (SEE ELECT.)
	SITE FENCING (SEE LANDSCAPE)
	EXISTING LIGHT POLE
	TREES (TYPICAL)



Vandenberg & Wildeboer
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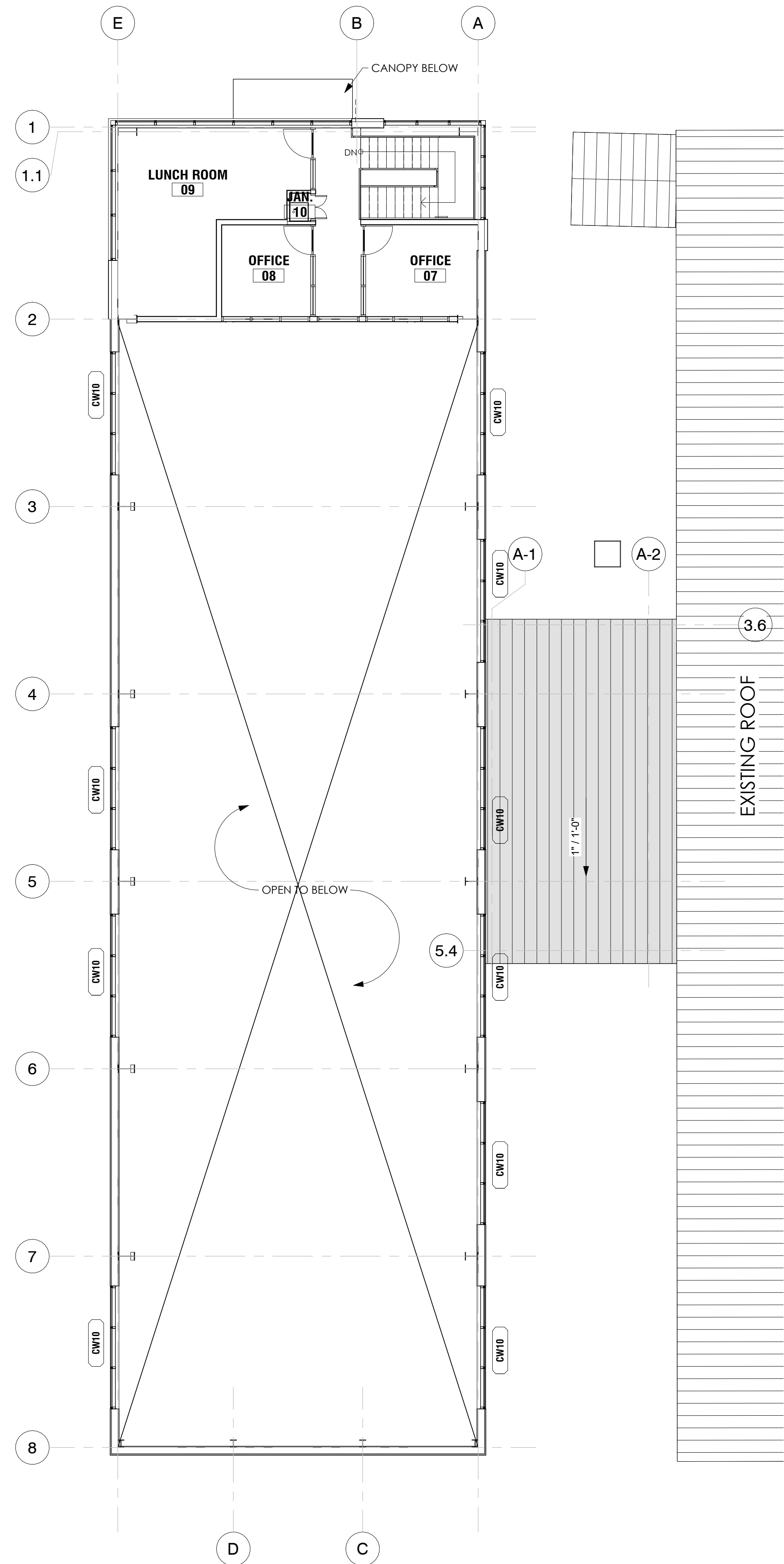
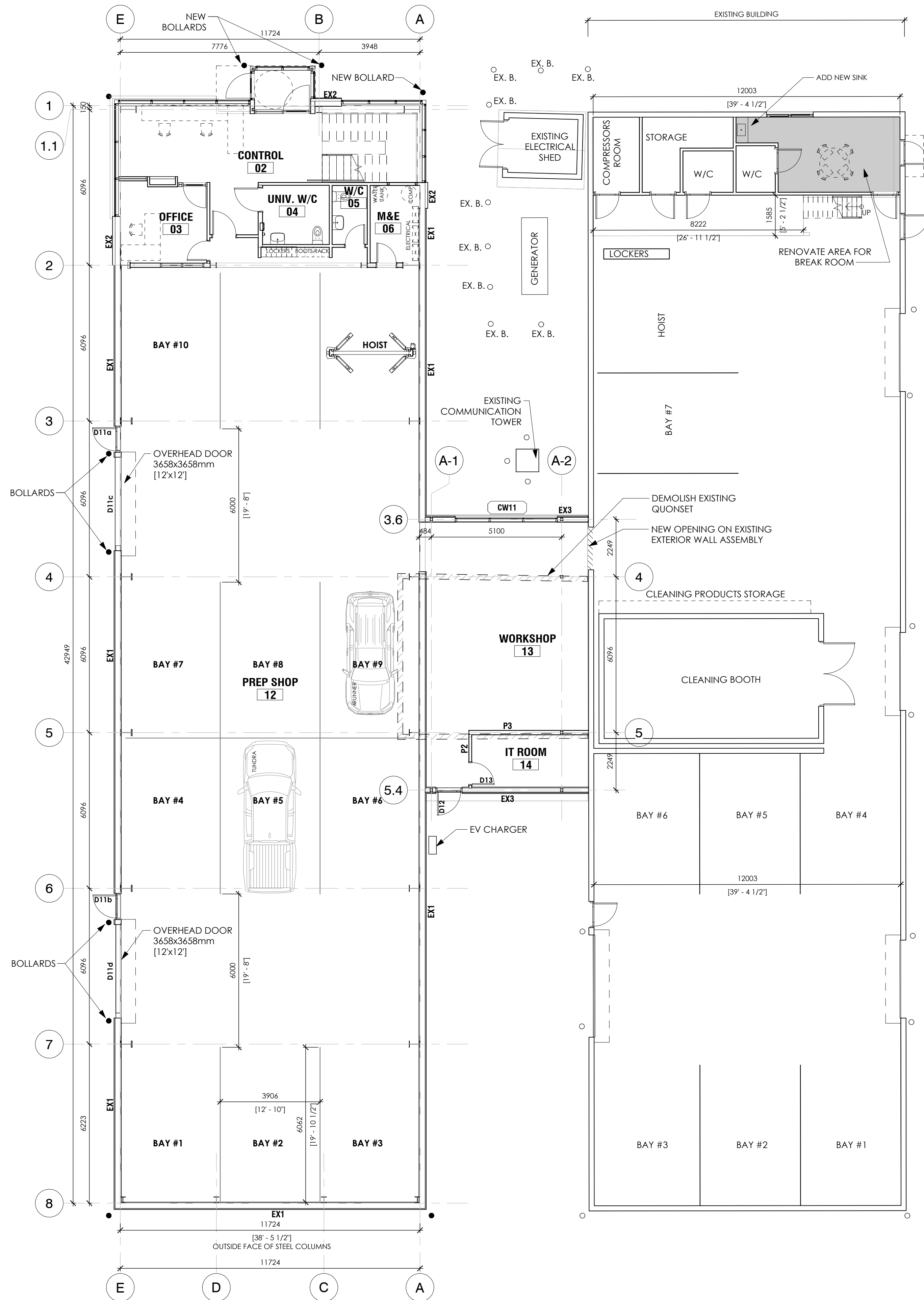
PROJECT TITLE:
64 JAMIE PREP SHOP ADDITION
64 Jamie Ave., Ottawa, ON K2E 6T6

DRAWING TITLE:
SITE PLAN

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE: As indicated
PROJECT NO. 2510

A001

NO.	REVISION	DATE
1	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

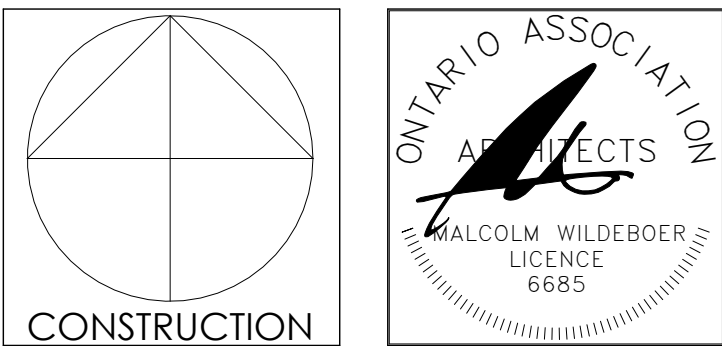


01 GROUND FLOOR

SCALE: 1:100

02 MEZZANINE FLOOR PLAN

SCALE: 1:100

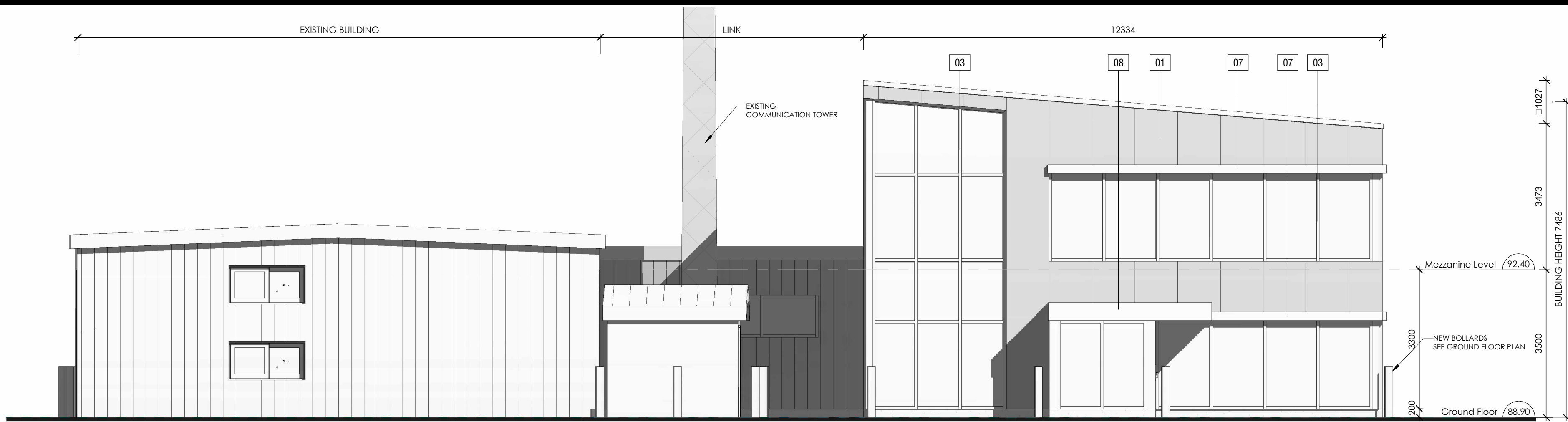


PROJECT TITLE:
64 JAMIE PREP SHOP ADDITION
64 Jamie Ave., Ottawa, ON K2E 6T6

DRAWING TITLE:
GROUND FLOOR & MEZZANINE LEVEL
PLANS

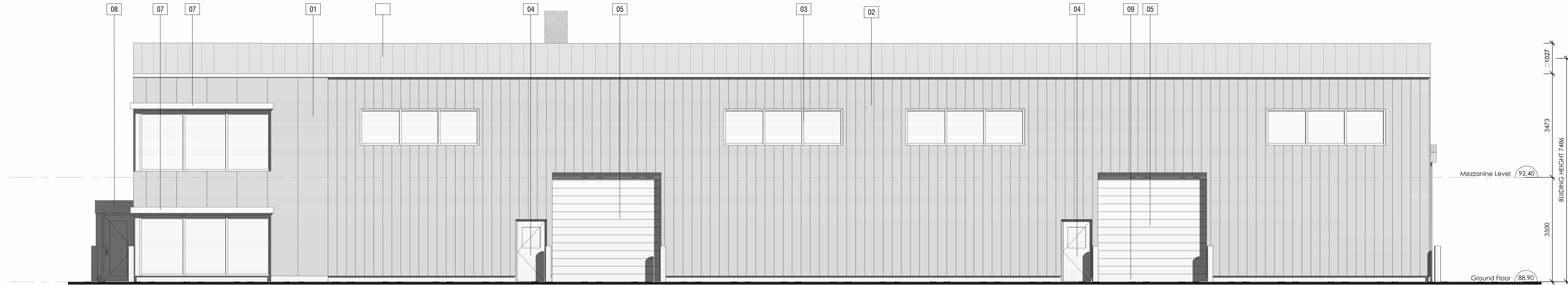
DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE: 1:100
PROJECT NO. 2510

A100s



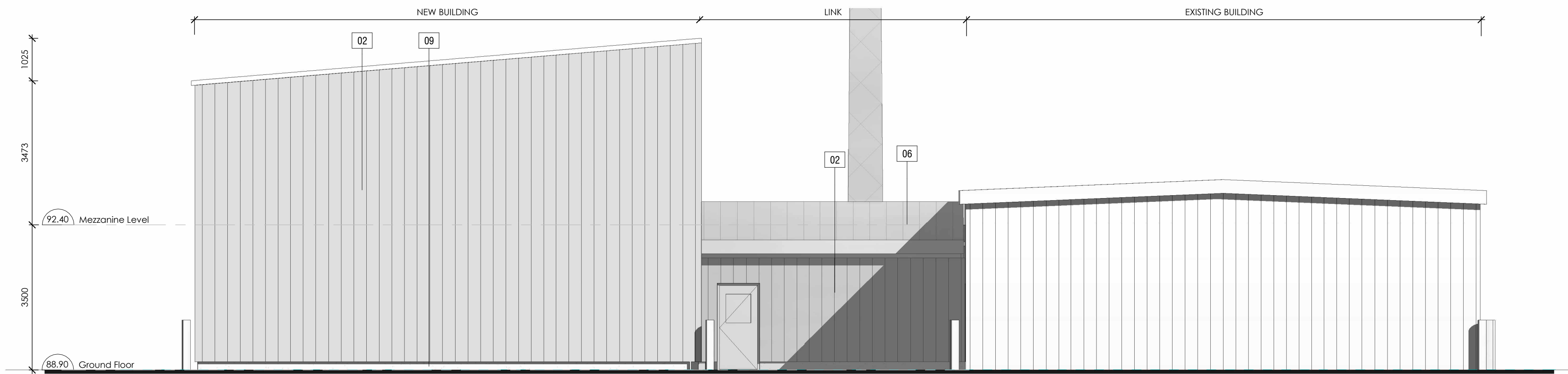
01 NORTH ELEVATION

SCALE: 1:75



02 WEST ELEVATION

SCALE: 1:75



03 SOUTH ELEVATION

SCALE: 1:75



04 EAST ELEVATION

SCALE: 1:75

NO.	REVISION	DATE
1	ISSUED FOR CLIENT REVIEW	FEB 25, 2025
2	ISSUED FOR CLIENT REVIEW	MAR 31, 2025
3	ISSUED FOR 33% COORDINATION	MAY 02, 2025
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5	ISSUED FOR SITE PLAN CONTROL	JUN 03, 2025

ELEVATION KEYNOTES	
#	DESCRIPTION
01	INSULATED METAL PANEL - COLOUR LIGHT FRENCH GRAY
02	METAL PANEL CLADDING - COLOUR 56076 WHITE WHITE
03	ALUMINUM CURTAIN WALL, FINISH BLACK ANODIZED
04	HOLLOW METAL INSULATED DOOR AND FRAME W/GLASS - COLOUR TO MATCH WALL CLADDING
05	GARAGE DOOR, ANODIZED ALUMINUM AND GLASS SECTIONS.
06	STANDING SEAM METAL ROOF - COLOUR 56076 WHITE WHITE
07	METAL FLASHING - COLOUR RED
08	CANOPY CAPPED IN METAL FLASHING - COLOUR RED
09	EXPOSED CONCRETE FOUNDATION WALL



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DRAWING TITLE:
ELEVATIONS

DESIGNED BY: MW
DRAWN BY: DV
START DATE: 2025-02-06
SCALE: 1:75
PROJECT NO. 2510

A200