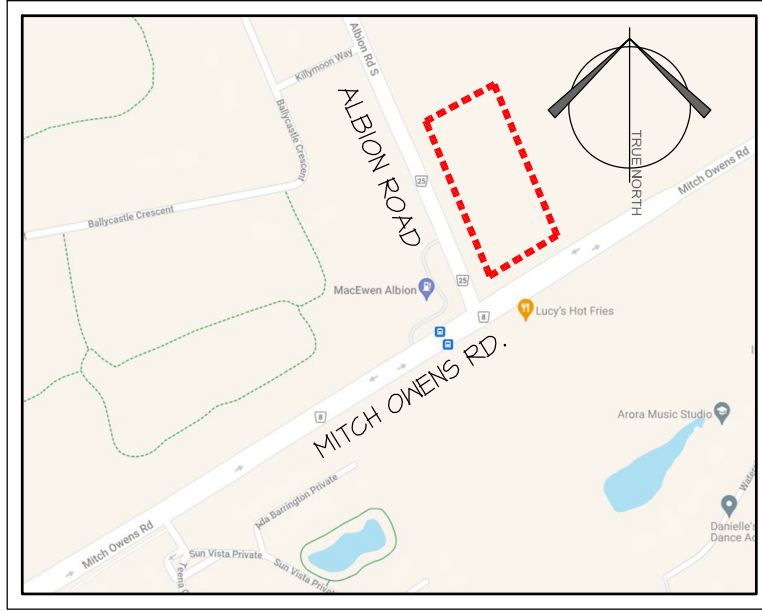


1 SITE PLAN  
A1.00 SCALE: 1:500



Owner M. O. STINSON & SON LTD. 4128 Bank Street, Ottawa, ON K1T 9W7 Attn: Keith Oster - 613 241-1781	
Architect/Agent HOBIN ARCHITECTURE INC. 63 Pamela Street, Ottawa, ON K1S 3K7 Attn: Doug van den Ham - 613-238-1200 x 115	
Survey STANTEC GEOMATICS LTD. 100-600 Terry Fox Drive, Kanata, Ontario K2L 4B6 Attn: D. S. McMoran - 613-591-2580	
Civil ARCADIS Suite 500, 333 Preston St, Ottawa, ON K1S 5M4 Attn: Anton Chetvor P.Eng - 613-225-1311 ext 64012	
Structural NOT YET CONTRACTED	
Electrical MASCS INC. Attn: David MacNaughton - 613-713-4734	
Landscape LEVSTEK AND ASSOCIATES 5871 Hugh Green, Ottawa, ON K2A 2W0 Attn: Rudy Levstek - 613-826-0518	
Traffic PARSONS ENGINEERS 1223 Michael St., Suite 100, Ottawa, ON K1J 7T2 Attn: Jake Benube - 613-854-1047	

LEGAL DESCRIPTION: PART OF LOT 30, CONCESSION 4 (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA	
CIVIL ADDRESS: 5545 ALBION ROAD, OTTAWA	
ZONING NOTES: OFFICIAL PLAN DESIGNATION: RURAL COUNTRYSIDE ZONING - RH1	

ZONE: RH1	REQUIRED/ PERMITTED	PROVIDED
PERMITTED USE (AMONG OTHERS)	ALL LAND USES PROPOSED, INCLUDING OTHER HEAVY INDUSTRIAL TYPE USES	GAS BAR, DRIVE-THROUGH FACILITY
CONDITIONAL USES PERMITTED:	ALL LAND USED PROPOSED	CONVENIENCE STORE, RESTAURANT
MIN. LOT AREA	20,000 sq.m.	23,200sq.m.
MIN. LOT WIDTH	60m	120.4m
MIN. FRONT YARD SETBACK	15 m	15 m
MIN. REAR YARD SETBACK	15 m	155 m
MIN. INTERIOR SIDE YARD SETBACK	OTHER CASE: 10m	71m
MIN. CORNER SIDE YARD SETBACK	15m	24m
MAX. PRINCIPAL BUILDING HEIGHT	15m	6m GAS CANOPIES FROM BUILDING
MAX. LOT COVERAGE (%)	50%	5%
PARKING LOT LANDSCAPE AREA	MIN 15% OF INTERIOR OR PERIMETER AREA	32%
OUTDOOR STORAGE	(a) outside storage is not permitted within any required front yard or corner side yard. (b) outside storage must be screened from adjoining residential uses and public streets by an opaque screen at least 1.8 metres in height from finished ground.	NO OUTDOOR STORAGE IS PROPOSED
GENERAL PROVISIONS FOR MOTOR VEHICLE PARKING	PARKING SPACES REQUIRED OR PROVIDED FOR A LAND USE MAY BE USED AS PART OF AN ELECTRIC VEHICLE CHARGING STATION	4 PARKING SPACES ARE IDENTIFIED AS FUTURE ELECTRIC VEHICLE CHARGING
MIN. PARKING SPACES	GAS BAR + NONE CONVENIENCE STORE 3.4 / 100m2 GFA + 8 RESTAURANT FAST FOOD PER 1016(m2) 20% reduction applies when operating with a drive-through 10 / 100m2 GFA + 20	TOTAL OF 32 VEHICLE PARKING SPACES PROVIDED (26 REQUIRED)
MIN. ACCESSIBLE PARKING SPACES	WHERE 26-50 PARKING SPACES ARE PROVIDED: 2 SPACES, 1 TYPE A, 1 TYPE B	2 SPACES, 1 TYPE A, 1 TYPE B
PARKING SPACE DIMENSIONS	WIDTH: MIN 2.6, MAX 3.1 LENGTH: MIN 5.2m	WIDTH: 2.6m LENGTH: 5.2m
MINIMUM WIDTH OF DRIVEWAY	6m FOR TWO WAY TRAFFIC	10.2m
MINIMUM REQUIRED AISLE WIDTH	ANGLE PARKING T1-403 6.1m	7.2m
OUTDOOR REFUSE	LOCATION: MIN. 9m FROM A PUBLIC ST 4 MIN. 3m FROM A LOT LINE SCREENING: WHERE AN IN-GROUND REFUSE CONTAINER IS PROVIDED, THE SCREENING REQ. MAY BE ACHIEVED WITH SOFT LANDSCAPING.	LOCATION: MIN. 20m FROM A LOT LINE 4 PUBLIC ST SCREENING: IN-GROUND REFUSE CONTAINER ARE PROPOSED TO BE SCREENED WITH SOFT LANDSCAPING.
BICYCLE PARKING	N/A	4
MIN HORIZONTAL BICYCLE PARKING SPACE DIMENSIONS	WIDTH: 0.6m LENGTH: 1.8m	WIDTH: 0.6m LENGTH: 1.8m
MINIMUM NUMBER OF QUEUING SPACES REQUIRED	RESTAURANT: 1/ WITH ORDER BOARD: 7 BEFORE/AT ORDER BOARD, MIN TOTAL OF 11 2 SPACES CONVENIENCE STORE: 1/ WITH ORDER BOARD: 4 BEFORE/AT ORDER BOARD, MIN TOTAL OF 11 2 SPACES	BEFORE / AT ORDER BOARD: 10 PLUS 3 IN SECOND LANE TOTAL, 15 FORM THE WINDOW ADDITIONAL 4 IN THE SECOND LANE, 2 IN THE BYPASS LANE, 2 FIRST WINDOW
MINIMUM QUEUING SPACES DIMENSIONS	ALL QUEUING SPACES MUST BE: (i) AT LEAST 3m WIDE (ii) AT LEAST 5.1m LONG	MIN WIDTH: 3m MIN LENGTH: 5.1m

LEGEND:	
B.F. PARKING STALL c/w B.F. SIGNAGE	
DEPRESSED CURB c/w TWSI	
150mm DIA., 6mm THK. GALV. STEEL BOLLARD (MIN. 1.5m HIGH & 1.5m BELOW GRADE)	
HEAVY DUTY ASPHALT	
PAINTED LINE STOP BAR	
ROLLED CONCRETE CURB	
SITE SIGNAGE	
PAINTED LINES	
BIKE RACK	
EXTERIOR LIGHTING/ REFER TO ELEC. DWGS. FOR TYPES	
CHAIN LINK FENCE	
FIRE ROUTE SIGNAGE	
EXISTING TREE*	
NEW TREE*	
NEW PLANTING*	

7	MAY 21, 2025	ISSUED FOR SITEPLAN APPLICATION
6	MAR 28, 2025	ISSUED FOR SITEPLAN APPLICATION
5	JAN 29, 2025	ISSUED FOR SITEPLAN APPLICATION
4	DEC 3, 2024	ISSUED FOR SITEPLAN APPLICATION
3	NOV 1, 2024	ISSUED FOR PRE CONSULTATION
2	OCT 9, 2024	ISSUED FOR REVIEW
1	OCT 3, 2024	ISSUED FOR REVIEW
no.	date	revision

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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**HOBIN**  
ARCHITECTURE

PROJECT/LOCATION: W.O. Stinson & Son Ltd. Albion Road Property 5545 Albion Road		
DRAWING TITLE: GAS BAR AND CARDLOCK CONVENIENCE STORE SITE PLAN		
DRAWN BY: DV / MF	DATE: SEPT. 2023	SCALE: AS NOTED
PROJECT: 1813		DRAWING NO.: A1.00
REVISION NO.:		