

**PROPERTY PLAN - 4R-26535**  
**PIN - 04139-0264**

December 2024

945 & 1015 Bank Street  
Lansdowne 2.0 Phase 2 - North Stands  
Planning Refinement Addendum - Zoning Confirmation  
Report

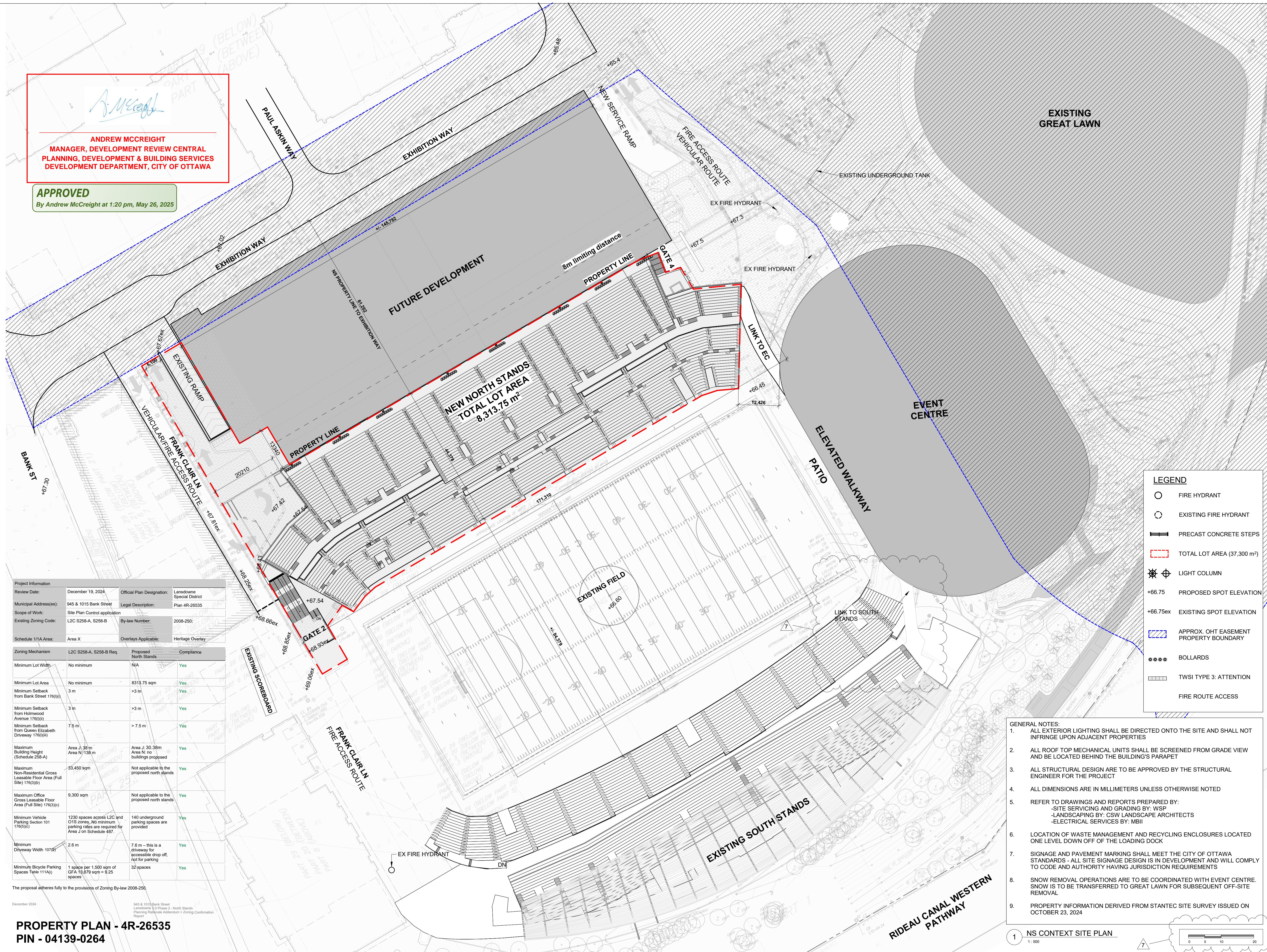
Project Information			
Review Date:	December 19, 2024	Official Plan Designation:	Lansdowne Special District
Municipal Address(es):	945 & 1015 Bank Street	Legal Description:	Plan 4R-26535
Scope of Work:	Site Plan Control application	By-law Number:	2008-250
Existing Zoning Code:	L2C S258-A, S258-B	Overlays Applicable:	Heritage Overlay
Schedule 1/1A Area:	Area X		
Zoning Mechanism			
Zoning Mechanism	L2C S258-A, S258-B Req.	Proposed North Stands	Compliance
Minimum Lot Width	No minimum	N/A	Yes
Minimum Lot Area	No minimum	8313.75 sqm	Yes
Minimum Setback from Bank Street 176(j)(i)	3 m	>3 m	Yes
Minimum Setback from Holmwood Avenue 176(j)(ii)	3 m	>3 m	Yes
Minimum Setback from Queen Elizabeth Driveway 176(j)(ii)	7.5 m	> 7.5 m	Yes
Maximum Building Height (Schedule 258-A)	Area J: 38 m Area N: 130 m	Area J: 30.38m Area N: no buildings proposed	Yes
Maximum Non-Residential Gross Leasable Floor Area (Full Site) 176(j)(b)	33,450 sqm	Not applicable to the proposed north stands	Yes
Maximum Office Gross Leasable Floor Area (Full Site) 176(j)(c)	9,300 sqm	Not applicable to the proposed north stands	Yes
Minimum Vehicle Parking Section 101 176(j)(g)	1230 spaces across L2C and OTIS zones. No minimum parking rates are required for Area J on Schedule 487.	140 underground parking spaces are provided	Yes
Minimum Driveway Width 107(d)	2.6 m	7.6 m - this is a driveway for accessible drop off, not for parking	Yes
Minimum Bicycle Parking Spaces Table 111A(i)	1 space per 1,500 sqm of GFA 10,879 sqm = 9.25 spaces	32 spaces	Yes

The proposal adheres fully to the provisions of Zoning By-law 2008-250.

**ANDREW MCCREIGHT**  
MANAGER, DEVELOPMENT REVIEW CENTRAL  
PLANNING, DEVELOPMENT & BUILDING SERVICES  
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**

By Andrew McCreight at 1:20 pm, May 26, 2025



**LEGEND**

- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PRECAST CONCRETE STEPS
- TOTAL LOT AREA (37,300 m²)
- LIGHT COLUMN
- +66.75 PROPOSED SPOT ELEVATION
- +66.75ex EXISTING SPOT ELEVATION
- APPROX. OHT EASEMENT PROPERTY BOUNDARY
- BOLLARDS
- TWSI TYPE 3: ATTENTION
- FIRE ROUTE ACCESS

- GENERAL NOTES:**
- ALL EXTERIOR LIGHTING SHALL BE DIRECTED ONTO THE SITE AND SHALL NOT INFRINGE UPON ADJACENT PROPERTIES
  - ALL ROOF TOP MECHANICAL UNITS SHALL BE SCREENED FROM GRADE VIEW AND BE LOCATED BEHIND THE BUILDING'S PARAPET
  - ALL STRUCTURAL DESIGN ARE TO BE APPROVED BY THE STRUCTURAL ENGINEER FOR THE PROJECT
  - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED
  - REFER TO DRAWINGS AND REPORTS PREPARED BY:
    - SITE SERVICING AND GRADING BY: WSP
    - LANDSCAPING BY: CSW LANDSCAPE ARCHITECTS
    - ELECTRICAL SERVICES BY: MBII
  - LOCATION OF WASTE MANAGEMENT AND RECYCLING ENCLOSURES LOCATED ONE LEVEL DOWN OFF OF THE LOADING DOCK
  - SIGNAGE AND PAVEMENT MARKING SHALL MEET THE CITY OF OTTAWA STANDARDS - ALL SITE SIGNAGE DESIGN IS IN DEVELOPMENT AND WILL COMPLY TO CODE AND AUTHORITY HAVING JURISDICTION REQUIREMENTS
  - SNOW REMOVAL OPERATIONS ARE TO BE COORDINATED WITH EVENT CENTRE. SNOW IS TO BE TRANSFERRED TO GREAT LAWN FOR SUBSEQUENT OFF-SITE REMOVAL
  - PROPERTY INFORMATION DERIVED FROM STANTEC SITE SURVEY ISSUED ON OCTOBER 23, 2024

1 NS CONTEXT SITE PLAN  
1:500

7

0 5 10 20

**Ottawa**

**OSEG**  
Ottawa Sports and Entertainment Group

**BRISBROOK BEYON ARCHITECTS**  
14 DUNCAN ST 4TH FLOOR  
TORONTO, ON M5H 3G8  
(416) 591-8999  
ARCHITECT

**ENTUITIVE**  
275 SLATER STREET, SUITE 1001  
OTTAWA, ON K1P 5H9  
(613) 900-6219  
STRUCTURAL ENGINEER

**TAMP**  
200 KING ST. WEST, SUITE 310  
TORONTO, ON M5H 3T4  
(416) 499-8000  
MECH. PLUMB. FIRE PROTECTION ENGINEER

**MULVEY & BANANI**  
90 SHEPPARD AVE EAST, SUITE 500  
TORONTO, ON M2N 3A  
(416) 751-2520  
ELEC. LIGHTING ENGINEER

**CSW**  
319 MCRAE AVENUE, SUITE 502  
OTTAWA, ONTARIO K1Z 0B9  
(613) 729-4536  
LANDSCAPE ARCHITECT

NO.	DESCRIPTION	DATE
7	ISSUED FOR SPA REVISION	2025/01/21
6	ISSUED FOR CD UPDATE	2025/01/17
5	ISSUED FOR CD RELEASE	2024/12/03
4	ISSUED FOR SITE PLAN APPROVAL	2024/12/19
3	ISSUED FOR 90% DD - CLASS B ESTIMATE	2024/11/29
2	ISSUED FOR 90% DD	2024/10/18
1	ISSUED FOR DD PROGRESS SET	2024/10/04

**REVISIONS/ ISSUES**

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
**DO NOT SCALE THE DRAWINGS**

SEAL

**ONTARIO ASSOCIATION OF ARCHITECTS**  
ANTHONY J. FRISINA  
LICENCE 9379

NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN **MM**

DATE **25/01/17**

CHECKED **TF**

**LANSDOWNE 2.0**  
**EVENT CENTRE,**  
**NORTH SIDE STANDS**  
**AND PUBLIC REALM**  
**ENHANCMENTS**

1015 Bank st, Ottawa, ON K1S 5J3

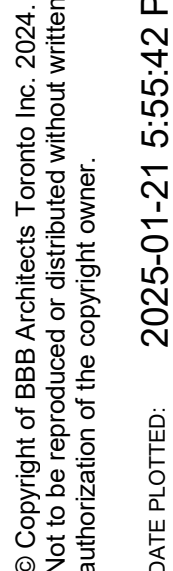
DWG TITLE  
**SITE PLAN CONTEXT**

SCALE As indicated

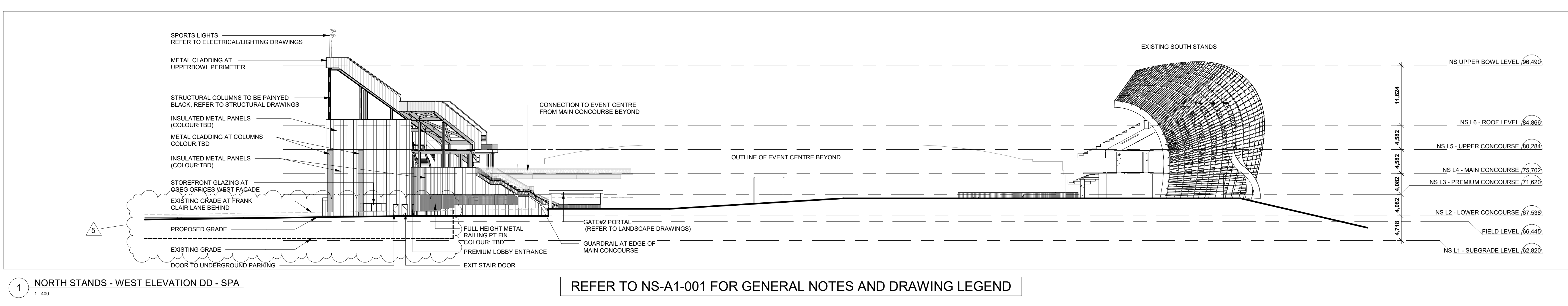
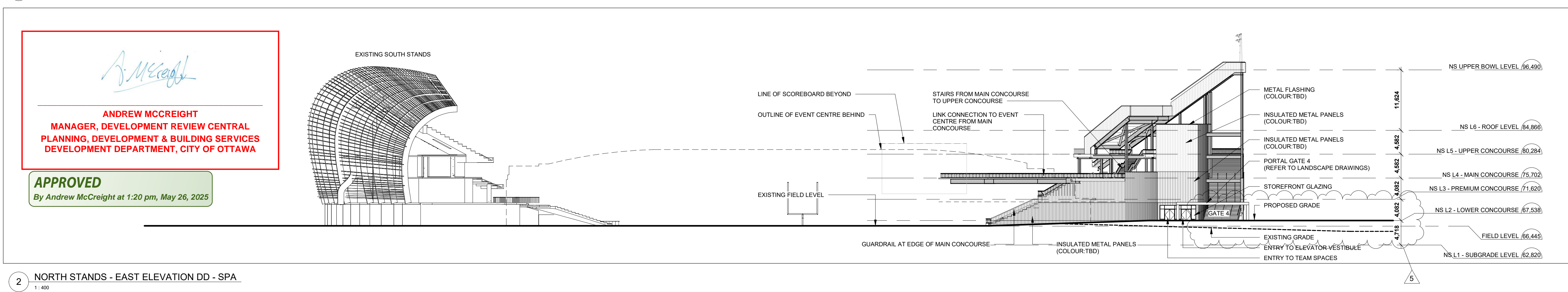
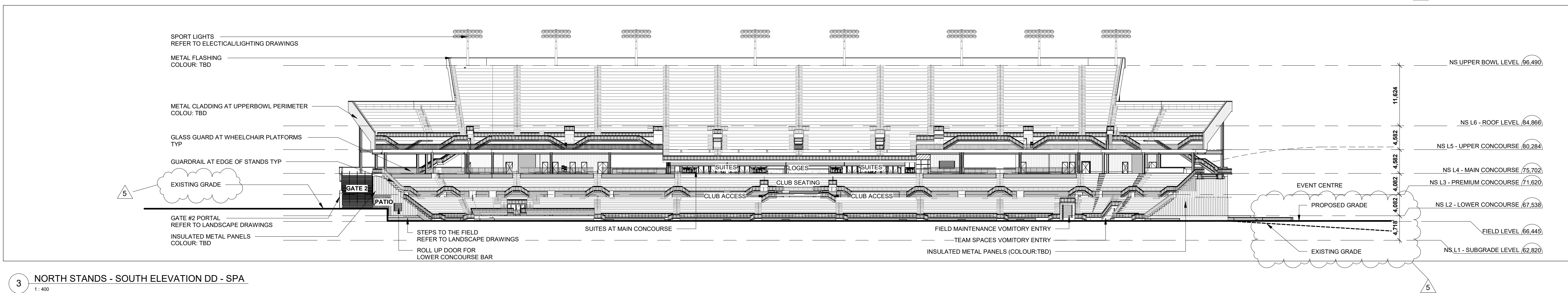
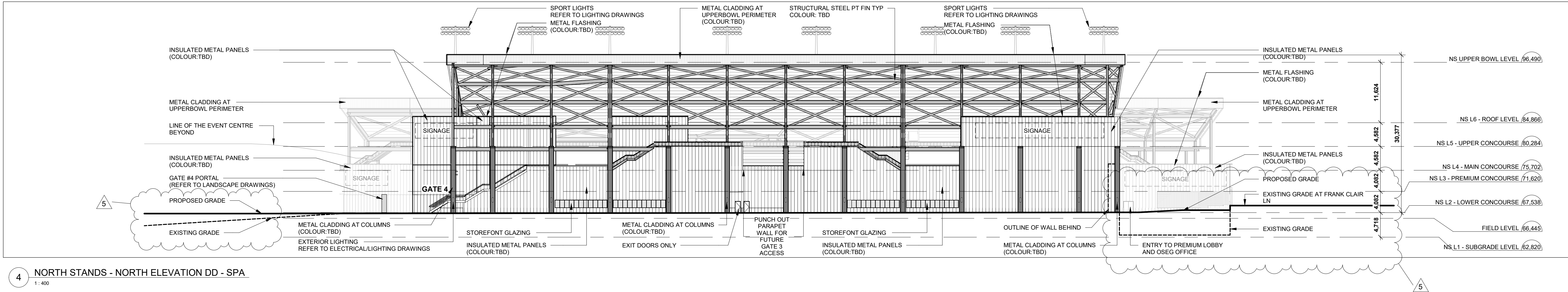
PROJ. NO. 2008.3

DWG. NO. **NS-A1-001**









REFER TO NS-A1-001 FOR GENERAL NOTES AND DRAWING LEGEND

NO.	DESCRIPTION	DATE
5	ISSUED FOR SPA REVISION	2025/01/21
4	ISSUED FOR SITE PLAN APPROVAL	2024/12/19
3	ISSUED FOR 90% DD - CLASS B ESTIMATE	2024/11/29
2	ISSUED FOR 50% DD	2024/10/18
1	ISSUED FOR DD PROGRESS SET	2024/10/04

#### REVISIONS/ ISSUES

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS  
AND REPORT ANY OMISSIONS OR DISCREPANCIES TO THE  
ARCHITECT BEFORE PROCEEDING WITH THE WORK.  
DO NOT SCALE THE DRAWINGS

SEAL



NOT TO BE USED FOR CONSTRUCTION PURPOSES

DRAWN	MM
DATE	none
CHECKED	TF

#### LANDSDOWNE 2.0 EVENT CENTRE, NORTH SIDE STANDS AND PUBLIC REALM ENHANCMENTS

1015 Bank st, Ottawa, ON K1S 5J3

DWG TITLE  
OVERALL ELEVATIONS - SPA

SCALE	1 : 400	DWG. NO.	NS-A3-001"
PROJ. NO.	2008.3		