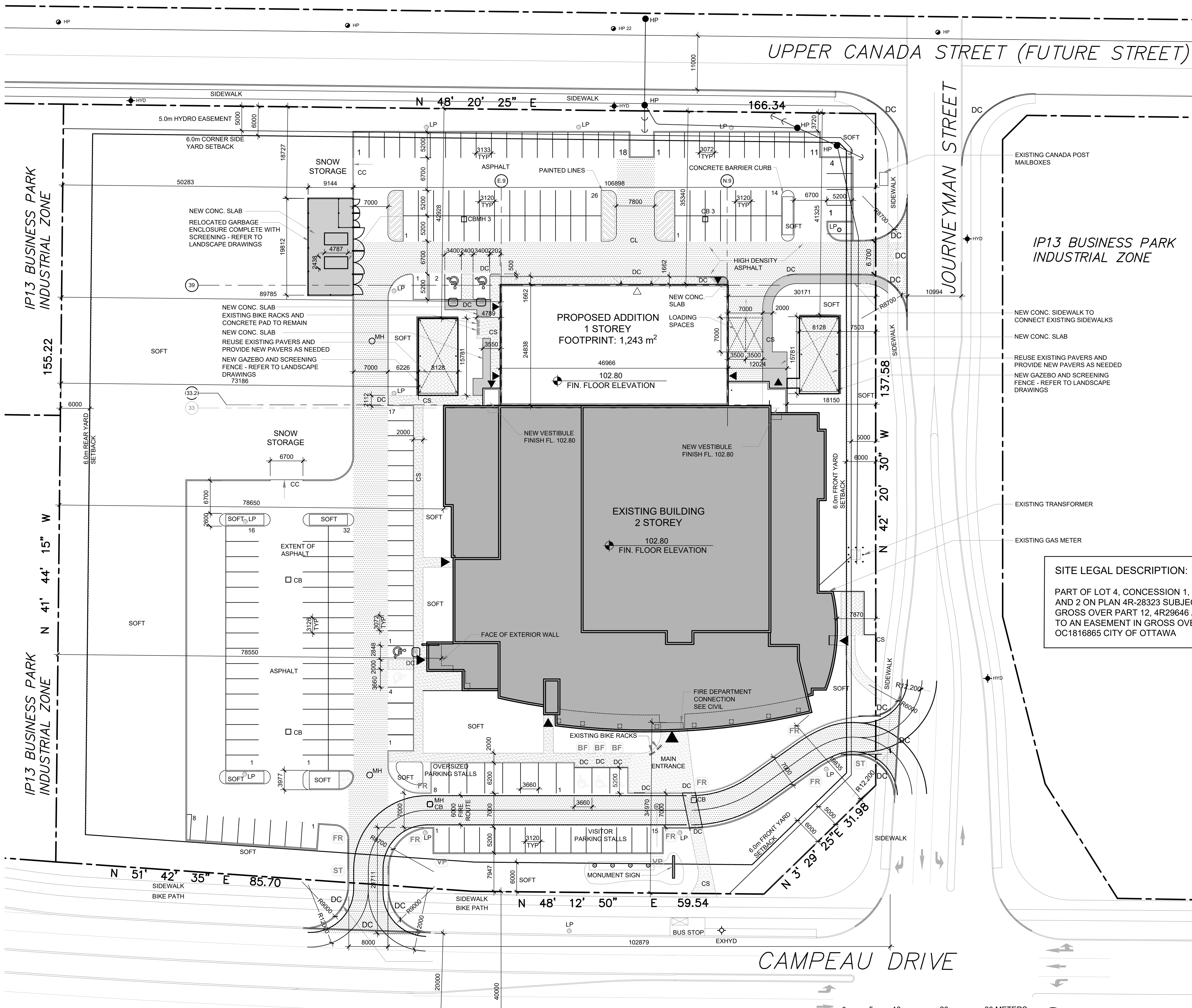


UPPER CANADA STREET (FUTURE STREET)



SITE LEGAL DESCRIPTION:
 PART OF LOT 4, CONCESSION 1, HUNTLEY, BEING PARTS 1 AND 2 ON PLAN 4R-28323 SUBJECT TO AN EASEMENT IN GROSS OVER PART 12, 4R29646 AS IN OC1808653 SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, 4R29686 AS IN OC1816865 CITY OF OTTAWA

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
 SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 4 CONCESSION 1, CITY OF OTTAWA, PREPARED BY STANTEC GEOMATICS LTD. DATED APRIL 22, 2014.

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION
 IP13 - BUSINESS PARK INDUSTRIAL ZONE
 AREA "C" OF SCHEDULE 1, CITY OF OTTAWA

PROPERTY IDENTIFICATION NUMBER (PIN):
 045080122

BUILDING CLASSIFICATION
 THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2012 (CURRENT EDITION) PART 3

OCCUPANCY
 GROUP A, DIVISION 2, SPRINKLERED (3.2.2.24)

BUILDING STATISTICS

EXISTING BUILDING FOOTPRINT	= 4,721m ² / 50,817ft ²
NEW BUILDING ADDITION FOOTPRINT	= 1,243m ² / 13,380ft ²
TOTAL BUILDING FOOTPRINT	= 5,964m ² / 64,197ft ²
EXISTING GROSS FLOOR AREA	= 5,562m ² / 59,869ft ²
ADDITION GROSS FLOOR AREA	= 1,243m ² / 13,380ft ²
TOTAL GROSS FLOOR AREA	= 6,805m ² / 73,249ft ²

NUMBER OF STOREYS = 2

THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
 NUMBER OF ACCESS ROUTES PROVIDED = 1

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

FLOOR ASSEMBLES ARE FIRE SEPARATIONS - FIRE-RESISTANCE RATINGS 1 HR MIN.

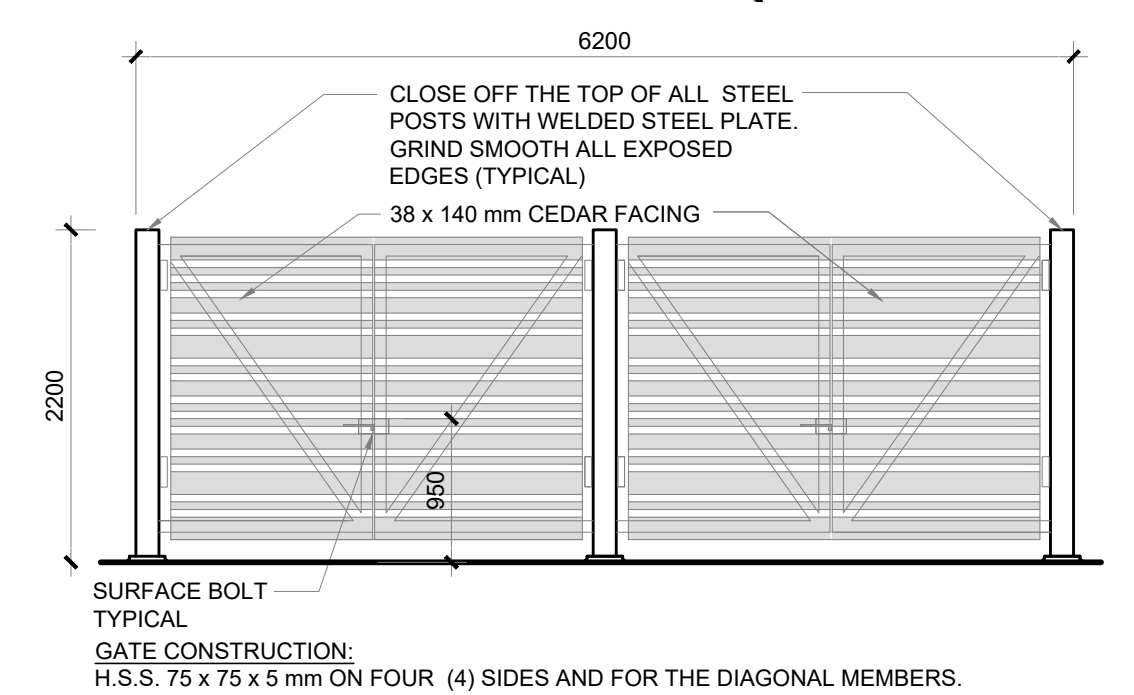
EXISTING PARKING REQUIREMENTS	NEW PARKING REQUIREMENTS
REQUIRED: 139 + 3 B/F SPACES	REQUIRED: 169 + 6 B/F SPACES
PROVIDED: 178 + 4 B/F SPACES	PROVIDED: 174 + 7 B/F SPACES

ZONING INFORMATION

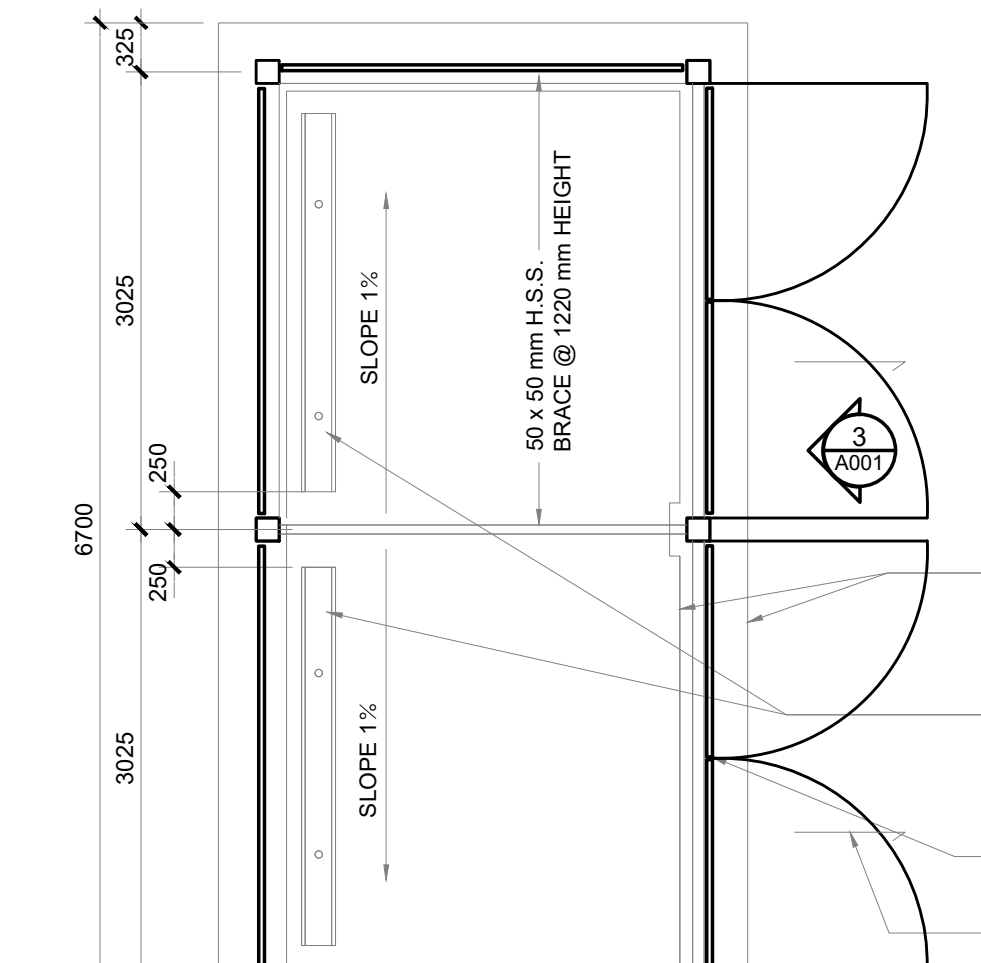
NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

ZONING MECHANISM	REQUIRED	PROVIDED
DEFINITION	IP-13 BUSINESS PARK INDUSTRIAL ZONE	
MIN. LOT AREA	750 m ²	26,310.11 m ² (6.50 Acres)
MIN LOT WIDTH	NO Minimum	166.34 m
MAX. LOT COVERAGE (%)	55	23
MIN. FRONT YARD SETBACK	6 m	7.87 m (JOURNEYMAN)
MIN. CORNER SIDE YARD SETBACK	6 m	35.34 m (UPPER CANADA) 34.97 m (CAMPEAU DR.)
MIN. INTERIOR SIDE YARD SETBACK	4 m	
MIN. REAR YARD SETBACK	6 m	78.55 m
MAX. FLOOR SPACE INDEX	2	0.26
MAX. BUILDING HEIGHT	22.0 m	11.50 m
MIN. WIDTH OF LANDSCAPE AREA	3 m	3.72 m
PARKING LANDSCAPE BUFFER	FOR A PARKING LOT CONTAINING 100 OR MORE SPACES: ABUTTING A STREET = 3 m NOT ABUTTING A STREET = 3.72m	ABUTTING A STREET = 4.8m / 8.45m NOT ABUTTING A STREET = 3.72m
STANDARD PARKING SPACE	2.6m WIDTH x 5.2m LENGTH	
ACCESSIBLE PARKING SPACE	TYPE A: 3.4m WIDTH x 5.2m LENGTH TYPE B: 2.4m WIDTH x 5.2m LENGTH 1500mm MIN. WIDE ACCESS AISLE	
PARKING REQUIREMENTS	EXISTING BUILDING: 139 PARKING NEW TRAINING CENTRE: 30 PARKING (1243 X 2.4/ 100m ²) = 30	174 PARKING SPACES + 7 B/F SPACES
TOTAL REQ'D = 169 PARKING SPACES		
BARRIER FREE ACCESSIBLE PARKING	AS PER OTTAWA TRAFFIC & PARKING BY-LAW 2017-301, PART "C", SECTION 112 (2), FOR A PARKING AREA WITH A CAPACITY OF 167-250 SPACES, 7 ACCESSIBLE SPACES (3 TYPE A, 4 TYPE B) ARE REQ'D	4 EXISTING ACCESSIBLE PARKING SPACES 3 NEW (2 TYPE A, 1 TYPE B)
LOADING SPACES	1 per 2,000 m ² - 4,999 m ² OF G.F.A.	4,535 m ² G.F.A. = 2 SPACE
BICYCLE PARKING RATE	EXISTING BUILDING: 7 BICYCLE SPACES REQ'D NEW TRAINING CENTRE: 1 BICYCLE SPACE REQ'D (1 PER 1500m ² OF GFA) TOTAL REQ'D = 8 BICYCLE SPACES	16 BICYCLE SPACES (EXISTING)

- SIGNAGE LEGEND:**
- NO TRESPASSING
 - FIRE ROUTE
 - BARRIER FREE PARKING
 - VISITOR PARKING
 - TEMPORARY PARKING
 - STOP SIGN
 - ONE WAY
- LEGEND:**
- EXISTING FIRE HYDRANT
 - FIRE HYDRANT
 - FLAG POLE
 - HYDRO POLE
 - LIGHT POLE - SEE ELECTRICAL
 - CATCH BASIN - SEE CIVIL
 - MANHOLE - SEE CIVIL
 - BUILDING ENTRANCE/EXIT
 - OVERHEAD DRIVE-IN DOOR
 - HYDRO POLE
 - DEPRESSED CURB
 - CURB CUT
 - NEW CURB
 - PROPERTY LINE
 - YARD SET BACK
 - NEW CHAIN LINK FENCE
 - 6m WIDE FIRE ROUTE AND HIGH DENSITY ASPHALT REFER TO CIVIL
 - SOFT LANDSCAPE AREA FOR SPECIFIC FEATURES REFER TO LANDSCAPE DRAWINGS
 - EXISTING CONCRETE SURFACE
 - NEW CONCRETE SURFACE
 - PAVERS



3 GARBAGE ENCLOSURE ELEVATION
 SCALE 1:50



2 GARBAGE ENCLOSURE PLAN
 SCALE 1:50

NOTE:
 ALL STEEL TO BE SHOP PRIMED WITH TWO (2) COATS ZINC RICH PRIMER AND PAINTED WITH TWO (2) COATS OF EXTERIOR ENAMEL PAINT. ALL WOOD TO BE CEDAR.

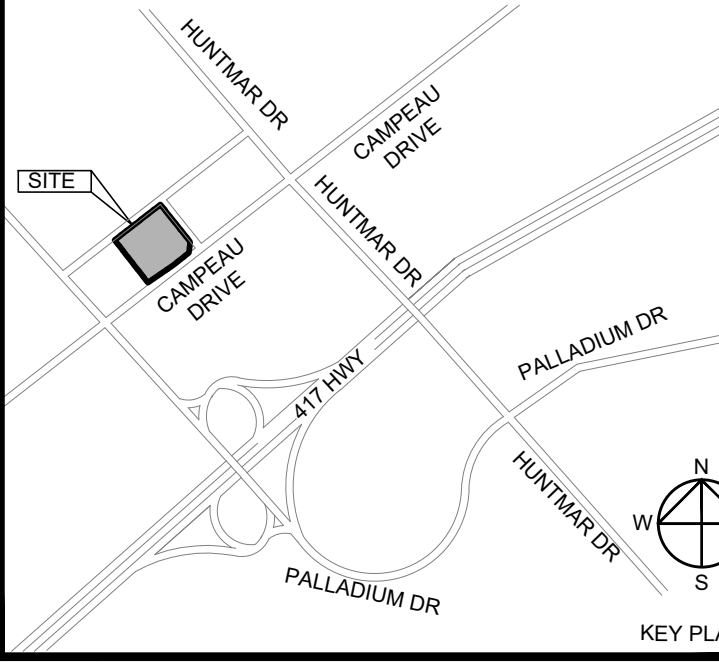
SLAB CONSTRUCTION:
 SLAB TO BE 30 Mpa AIR ENTRAINED CONCRETE. 2- 30m T&B ALL AROUND WITH CORNER BARS 750 x 750 mm

LINE OF 400 mm SLAB THICKENING ALL SIDES

PRECAST CONCRETE CURBS
 2440 mm LONG. ANCHOR TO SLAB WITH DOWELS

PROVIDE AT BOTH GATES
 VERTICAL BOLT GUIDES TO ENGAGE INTO GATE HASP

SLOPED CONCRETE SLAB



CIVIL ENGINEER:

NOVATECH
 240 MICHAEL COWPLAND DRIVE, SUITE 200
 OTTAWA, ON, K2M 1P6
 T: 613.254.9643

GEOTECHNICAL ENGINEER & SURVEYOR:

STANTEC
 400-1331 CLYDE AVENUE
 OTTAWA ON K2C 3G4
 T: 613.738.6070

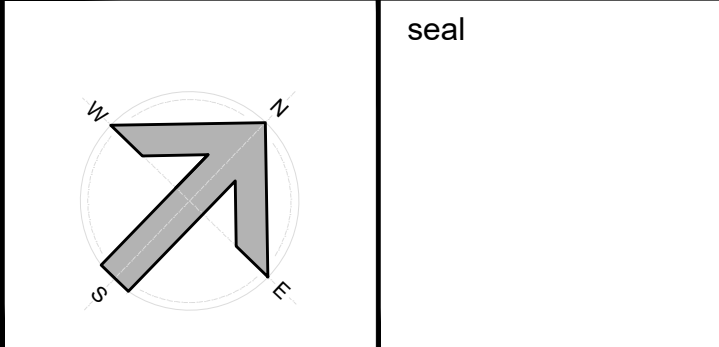
LANDSCAPE ARCHITECT:

RUHLAND & ASSOCIATES LTD.
 SUITE 200 - 1750 COURTWOOD CRESCENT
 OTTAWA, ONTARIO K2C 2B5
 T: 613.224.4744

N45 ARCHITECTURE INC.
 71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5M2
 tel. 613.224.0095 fax 613.224.9811

CARPENTER'S UNION LOCAL 93 - RENOVATION

8560 CAMPEAU DRIVE
 OTTAWA, ONTARIO K2T 0N7



drawing title

SITE PLAN

scale	drawn by	HW
date	checked by	RM
2025-02-21		
project number	drawing number	
23-790	A001	

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.

DO NOT SCALE DRAWINGS

CITY FILE NO.: D07-XX-XX-XXXX

PLAN NO.: XXXXX