

ZONING BY LAW - AM10(2217) H34	
SETBACKS (from ROW)	
FRONT YARD (MERIVALE) ¹	0m - 3m
FRONT YARD (NEW PUBLIC ROAD) ¹	0m - 3m
INTERIOR SIDE YARD ²	3.0m / 7.5m
REAR YARD ²	3.0m / 7.5m
MAX BUILDING HEIGHT	34
AMENITY SPACE REQUIREMENTS	6m ² / units
COMMUNAL AMENITY AREA	50%
CAR PARKING	0.5 per dwelling unit, less the first 12 units
VISITOR PARKING	0.1 spaces/dwelling unit, to a maximum of 30 spaces per building
BICYCLE PARKING	0.5 spaces / dwelling unit

¹ Along an Arterial Road (Merivale, new public road) 0 metres, at least 50% of the frontage along the front lot line and corner side lot line must be occupied by building walls located within 4.5 metres of the frontage for a residential use building, and within 3.0 metres for mixed use buildings

² the minimum interior side yard setback from a lot line abutting a residential zone is: (i) 3.0 metres for the first 20 metres back from the street, (ii) 7.5 metres beyond 20 metres back from the street, (d) despite Table 185(e), sub clauses (ii) and (iii), the minimum rear yard setback is: (i) 3.0 metres for any building wall within 20 metres of a lot line abutting a public street, (ii) 7.5 metres in all other cases

PROJECT SUMMARY

PROJECT STATISTICS	
SITE AREA (m ²)	3,275
BUILDING HEIGHT (STOREYS)	10
UNIT SUMMARY	
TOWNHOME (A)	7
STUDIO (B)	1
1 BEDROOM (C)	74
2 BEDROOMS (D)	28
3 BEDROOMS (E)	15
TOTAL	125

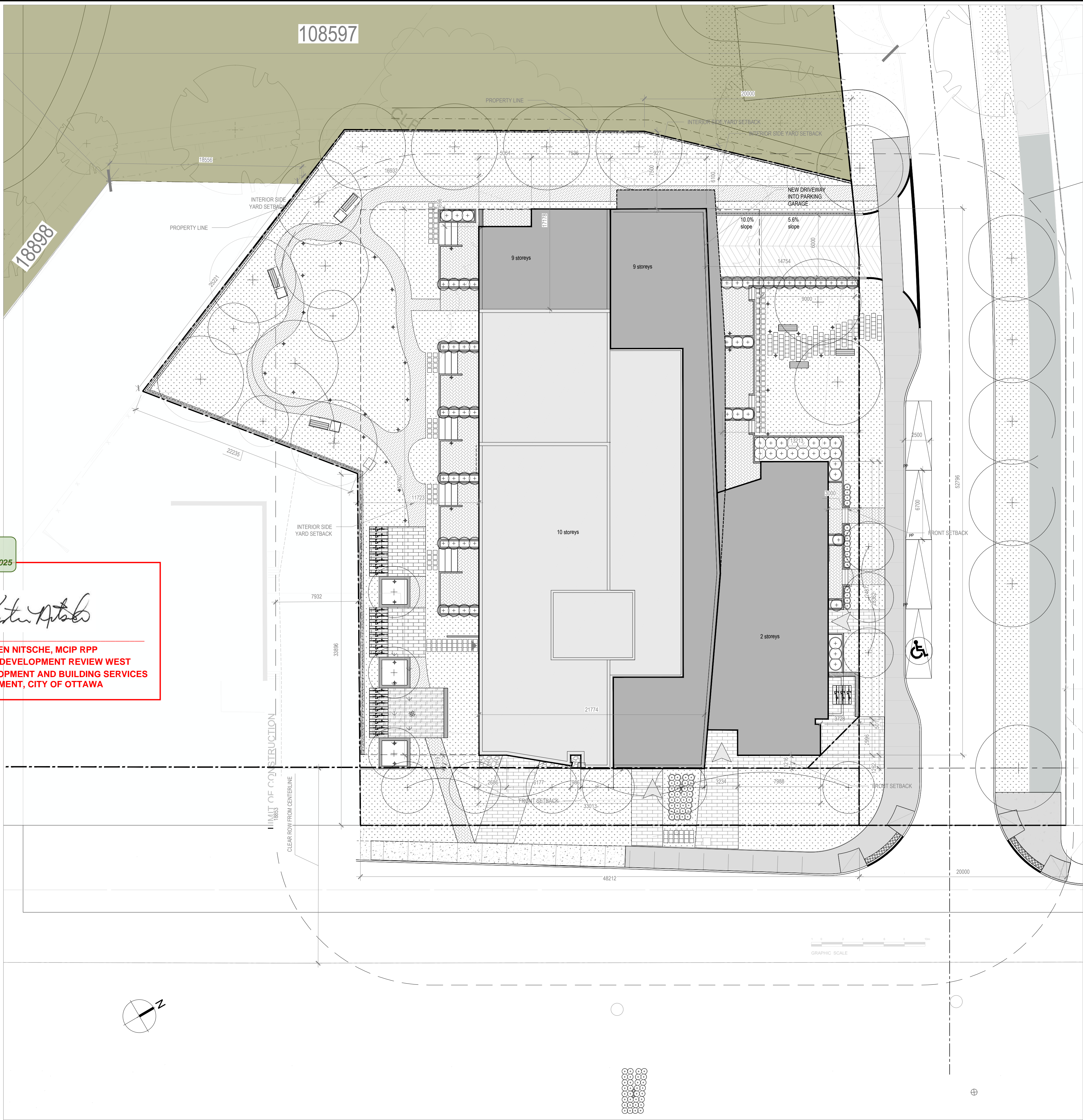
PARKING SUMMARY	
RESIDENT CAR PARKING PROVIDED	111
VISITOR CAR PARKING PROVIDED	11
TOTAL CAR PARKING PROVIDED	122
BICYCLE STORAGE PROVIDED (INTERIOR)	83
BICYCLE STORAGE PROVIDED (EXTERIOR)	28
BICYCLE STORAGE PROVIDED (TOTAL)	111
TYPICAL FLOOR AREA (m2)	1125.78

BUILDING HEIGHT (m)	10 storeys (30.43)
BUILDING FOOTPRINT (PROJECTION) (m ²)	1450.00
BUILDING FOOTPRINT (GROUND FLOOR) (m2)	1420.19
GROSS FLOOR AREA TOTAL (m2)	8840.90
GROSS AREA (residential, m2)	8687.90
GROSS LEASABLE AREA (commercial, m2)	153.00
SITE OCCUPANCY (%)	44%
DENSITY (FSI)	2.70
LANDSCAPE AREA (m2)	1186.00
LANDSCAPED AREA (%)	36%
RESIDENTIAL UNITS	125
CARETAKER UNITS	1
COMMON AMENITIES (m2)	1535.2
PRIVATE AMENITIES (m2)	1538.50
TOTAL AMENITIES (m2)	3073.70

PARKING LEVELS									
	AREA (m²)	PARKING				Bicycle Storage			
Floor	BFA	Standard	Small	Accessible	TOTAL	Horizontal	Vertical	Exterior	TOTAL
G								28	28
P1	2176	41	1	1	43	23	9		32
P2	2028	43	1	1	45	26	4		30
P3	1631	32	1	1	34	17	4		21
TOTAL	5835	116	3	3	122	66	17	28	111

PHASE 1 - 10 Storeys													
	AREA (p ²)			UNITS							AMENITIES (p ²)		
Floor	BFA	Sellable Area (Residential)	Leasable Area (Commercial)	Townhome	Studio	1BR	2BR	3BR	Total	Common	Balconies /private terraces	Total	
P3	1630												
P2	2028												
P1	2211												
TOTAL	5870											0.00	
G	15285	7373	1647	7				3		10	14081	2885	16966
2	15231	10775			1	3	2	2	8	614	1862	2476	
3	12066	9618				11	3	1	15		1485	1485	
4	12066	10125				11	3	1	15		1485	1485	
5	12066	10125				9	3	2	14		1485	1485	
6	12066	10125				9	3	2	14		1485	1485	
7	12120	10125				9	3	2	14		1432	1432	
8	12120	10075				9	3	2	14		1432	1432	
9	12120	10075				9	3	2	14		1432	1432	
10	6878	5102				4	2	1	7	1830	1577	3407	
TOTAL	122020	93516	1647	7	1	74	28	15	125	16525	16560	33085	


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APPROVED
By Kersten Nitsche at 2:36 pm, May 12, 2025

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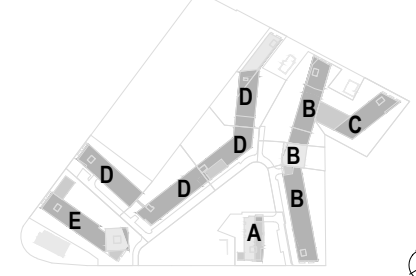
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KEY PLAN:



SITE PLAN CONTROL - PHASE 1 - REVISED 04	2024-11-21
SITE PLAN CONTROL - PHASE 1 - REVISED 04.3	2024-08-22
SITE PLAN CONTROL - PHASE 1 - REVISED 03	2024-03-19
SITE PLAN CONTROL - PHASE 1 - REVISED 02	2023-10-12
SITE PLAN CONTROL - PHASE 1 - REVISED	2023-06-21
SITE PLAN CONTROL - PHASE 1	2022-12-01
SITE PLAN CONTROL	2021-09-17
Nº: DESCRIPTION:	BY DATE
REVISION:	

THE GENERAL CONTRACTOR :

- SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
- SHALL BE RESPONSIBLE TO IMMEDIATELY SUBMIT A REPORT TO THE ARCHITECT OR ENGINEER OUTLINING ANY INACCURACIES.
- SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
- ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, MAY BE USED FOR CONSTRUCTION.

SEAL

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PROJECT:

1500 MERIVALE

DRAWING TITLE:

SITE PLAN

DESIGN: NG

APPROVED: XX

DRAWN: SUCH

DATE: 2021-10-30

VERIFIED: XX

SCALE: 1:200

PROJECT Nº:

9426-20

DRAWING Nº:

A-1-010-B

File D07-12-21-0152 and plan #18612