

# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
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Toronto, ON M5B 2T8  
T 416 425 2222  
turnerfleischer.com

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## SITE PLAN LEGEND

- PROPOSED ENTRANCE ARROW
- PROPOSED EXIT ARROW
- PROPOSED FIRE HYDRANT
- PROPOSED SIAMESE CONNECTION
- PROPOSED SIGN
- PROPOSED FIRE & TRUCK ROUTE (HEAVY DUTY ASPHALT)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING
- PROPOSED PAINTED LINES
- PAINTED LINE FOR STOP SIGN



## 2 CONTEXT PLAN

### ZONING CHART

**ZONING CHART**  
Zone: General Mixed Use (GM1628)  
City of Ottawa Zoning By-law No. 2008-250

**LOT AREA**  
MIN. FRONT YARD AND CORNER SIDE YARD SETBACK  
MIN. INTERIOR SIDE YARD SETBACK  
MIN. REAR YARD SETBACK  
MAX. BUILDING HEIGHT  
PARKING SPACE DIMENSIONS  
ACCESSIBLE PARKING DIMENSIONS  
MIN. PARKING SPACES  
LANDSCAPE COVERAGE  
MIN. ACCESSIBLE PARKING SPACE  
MIN. LOADING SPACES  
MIN. BICYCLE PARKING SPACES

**REQUIRED**  
NO MINIMUM  
3.0M  
5.0M  
7.5M  
24.0M AND 6 STOREYS  
2.6M (MIN) 3.1M (MAX) WIDE x 5.2M LONG  
3.68M  
2 SPACES FOR PARKING AREAS BETWEEN 100-200 SPACED AS PER THE TRAFFIC AND PARKING BYLAW  
1 (3.5M X 9M)  
SHOPPING CENTRE: 1 SPACE PER 500 S.M. G.F.A.

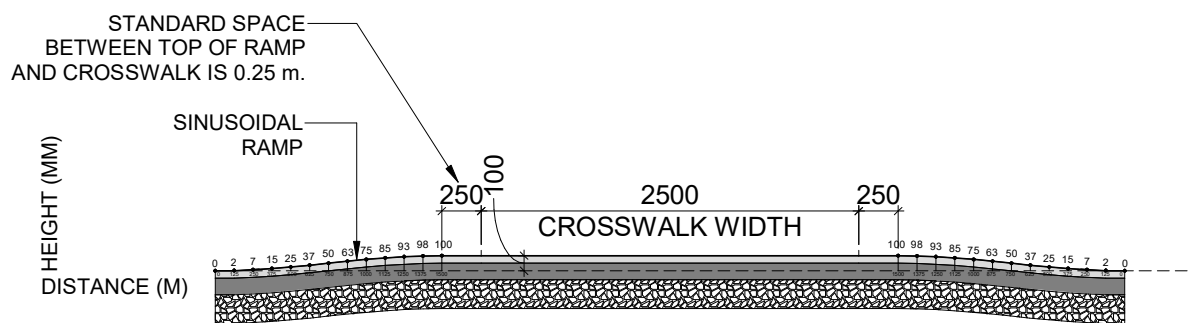
**PROPOSED**  
\* indicates non-compliance  
13,637.9 S.M.  
3.0M (ALONG CAMBRIAN ROAD)  
3.297M (ALONG RE-ALIGNED GREENBANK ROAD)  
18.8M (WEST SIDE)  
14.4M (NORTH SIDE)  
6.7M  
2.7M x 5.5M  
121 CARS  
3.38/1,000 S.F.  
3.64/100 S.M.  
13.21%  
4 SPACES  
2  
18 SPACES

### SITE STATISTICS

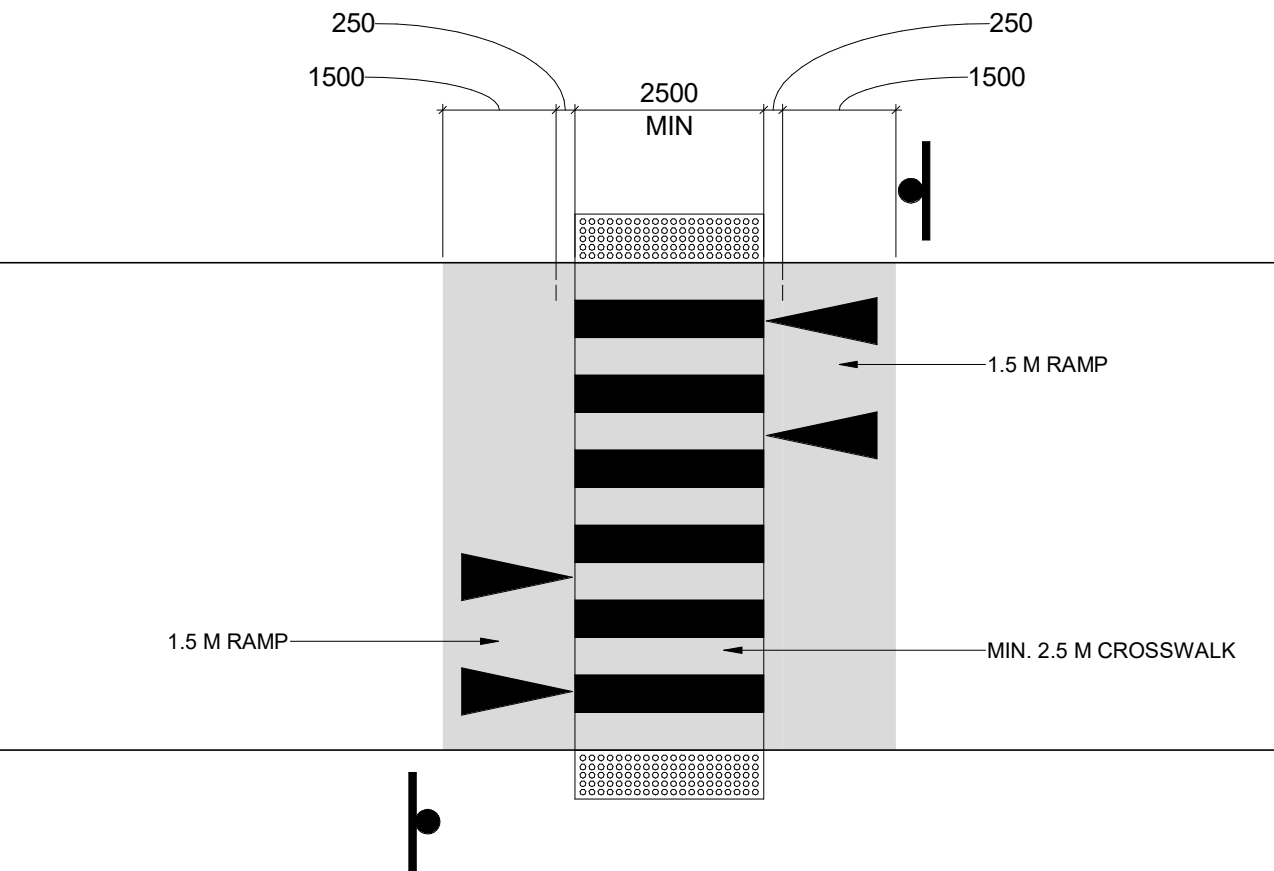
	\$3.37 ACRES	\$1.36 HA.
TOTAL SITE AREA	±17,000 S.F.	±1,579 S.M.
PROPOSED BUILDING A AREA	±17,000 S.F.	±1,579 S.M.
BUILDING A GLFA	±6,481 S.F.	±602 S.M.
PROPOSED BUILDING B AREA	±2,150 S.F.	±200 S.M.
B1	±3,931 S.F.	±365 S.M.
B2	±5,081 S.F.	±465 S.M.
BUILDING B GLFA	±8,600 S.F.	±799 S.M.
PROPOSED BUILDING C AREA	±200 S.F.	±19 S.M.
C1	±2,000 S.F.	±186 S.M.
C2	±1,200 S.F.	±111 S.M.
C3	±1,200 S.F.	±111 S.M.
C4	±2,800 S.F.	±260 S.M.
C5	±8,400 S.F.	±780 S.M.
BUILDING C GLFA	±4,500 S.F.	±418 S.M.
PROPOSED BUILDING D AREA	±200 S.F.	±19 S.M.
M&E ROOM	±4,300 S.F.	±399 S.M.
BUILDING D GLFA	±36,581 S.F.	±3,398 S.M.
TOTAL BUILDING FLOOR AREA	±800 S.F.	±74 S.M.
TOTAL M&E ROOM AREA	±36,781 S.F.	±3,324 S.M.
TOTAL GROSS LEASABLE FLOOR AREA		24.9%

COVERAGE  
part 4 plan 4r - 20392

SYMBOL	SIGN	DESCRIPTION
A	STOP	"STOP" SIGN (600x600mm) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B	PARKING	"DISABLED PARKING PERMIT" SIGN (600x600mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
C	FIRE ROUTE	"FIRE ROUTE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
D	LOADING ZONE	"LOADING ZONE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
E	YIELD	"YIELD FOR PEDESTRIANS" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND

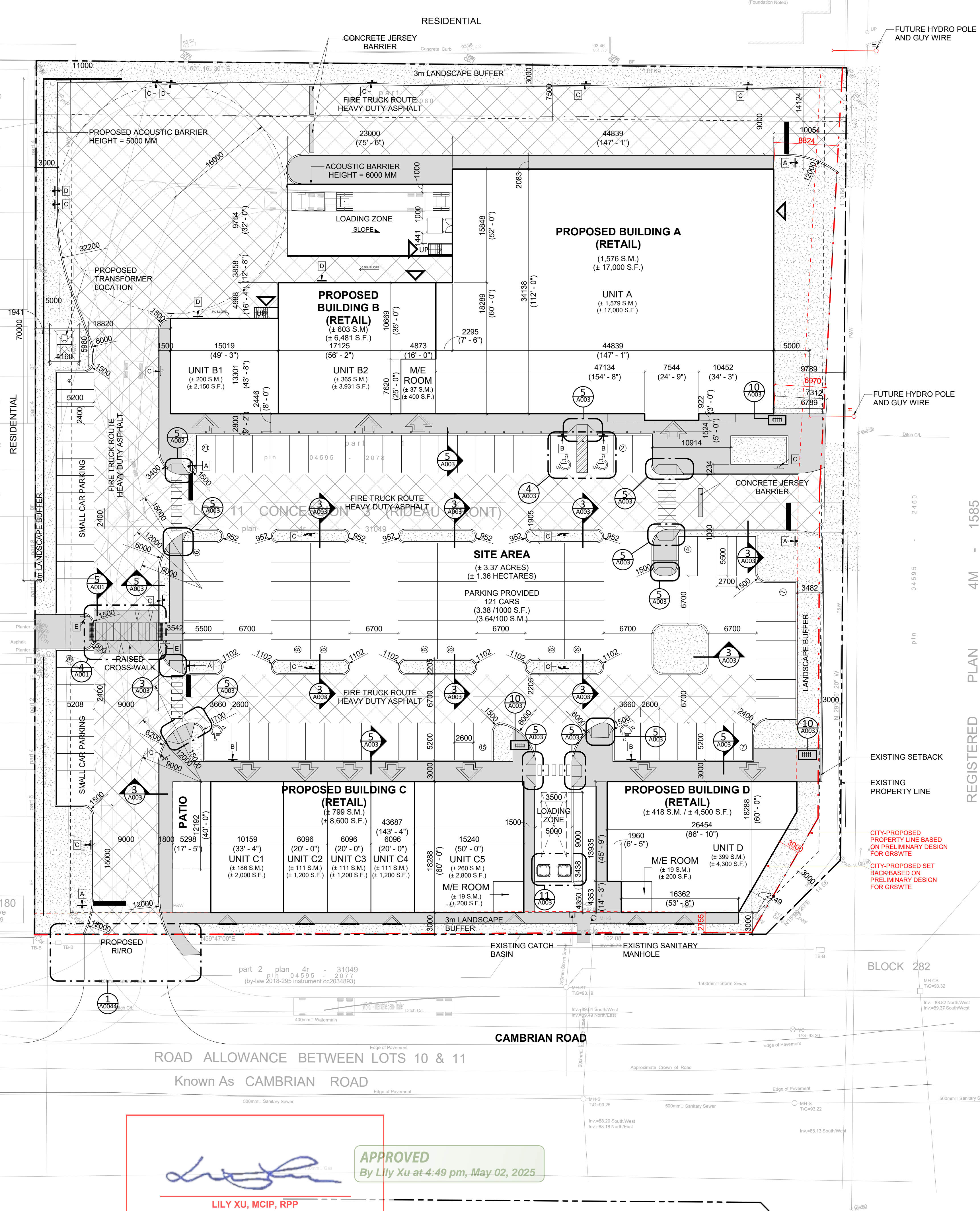


## 5 RAISED CROSS WALK - TYPICAL SECTION DETAIL



## 4 RAISED CROSS-WALK - TYPICAL PLAN DETAIL

1:100



## 1 SITE PLAN

1:300

APPROVED  
By Lily Xu at 4:49 pm, May 02, 2025

LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT, AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

Choice Properties

## PROPOSED COMMERCIAL RETAIL PLAZA

3850 CAMBRIAN ROAD,  
BARRHAVEN, ONTARIO

## INTERIM SITE PLAN - PHASE 1

PROJECT NO.  
21-327P01  
PROJECT DATE  
2024-01-22  
DRAWN BY  
MHB  
CHECKED BY  
DEM  
SCALE  
As indicated

ONTARIO ASSOCIATION  
OF ARCHITECTS  
JOINT T. CROW  
LICENCE  
6734

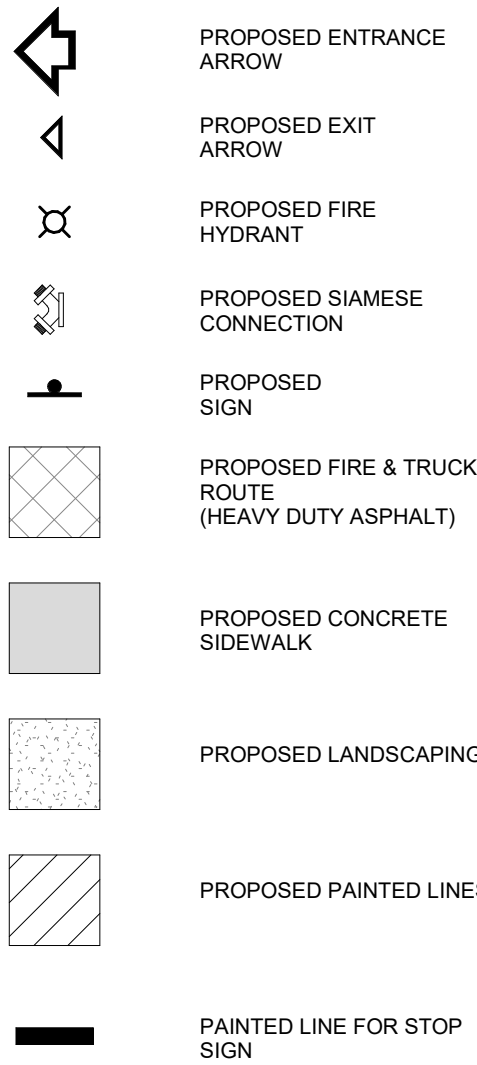
DRAWING NO.  
A001  
REV.  
6

Plan #18984 and Development #D07-12-23-0049



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## SITE PLAN LEGEND

2 CONTEXT PLAN - PHASE 2  
N.T.S.

## ZONING CHART

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Zone: General Mixed Use (GM1628)  
City of Ottawa Zoning By-law No. 2008-250

**LOT AREA**  
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MIN. INTERIOR SIDE YARD SETBACK  
MIN. REAR YARD SETBACK  
MAX. BUILDING HEIGHT  
PARKING SPACE DIMENSIONS  
ACCESSIBLE PARKING DIMENSIONS  
MIN. PARKING SPACES  
LANDSCAPE COVERAGE  
MIN. ACCESSIBLE PARKING SPACE  
MIN. LOADING SPACES  
MIN. BICYCLE PARKING SPACES

## REQUIRED

NO MINIMUM  
3.0M  
5.0M  
7.5M  
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2.6M (MIN) 3.1M (MAX) WIDE x 5.2M LONG  
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AS PER THE TRAFFIC AND PARKING BYLAW  
1 (3.5M X 9M)  
SHOPPING CENTRE: 1 SPACE PER 500 S.M. G.F.A.

## PROPOSED

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121 CARS  
3.38/1,000 S.F.  
3.64/100 S.M.  
13.21%

## SITE STATISTICS

## TOTAL SITE AREA

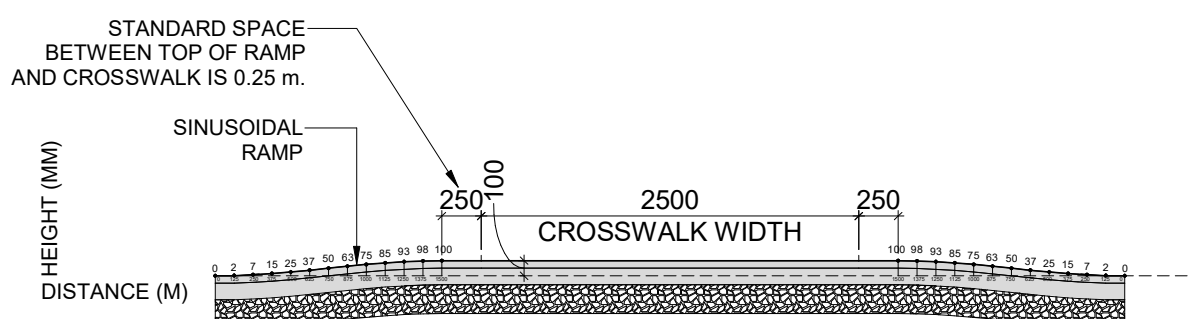
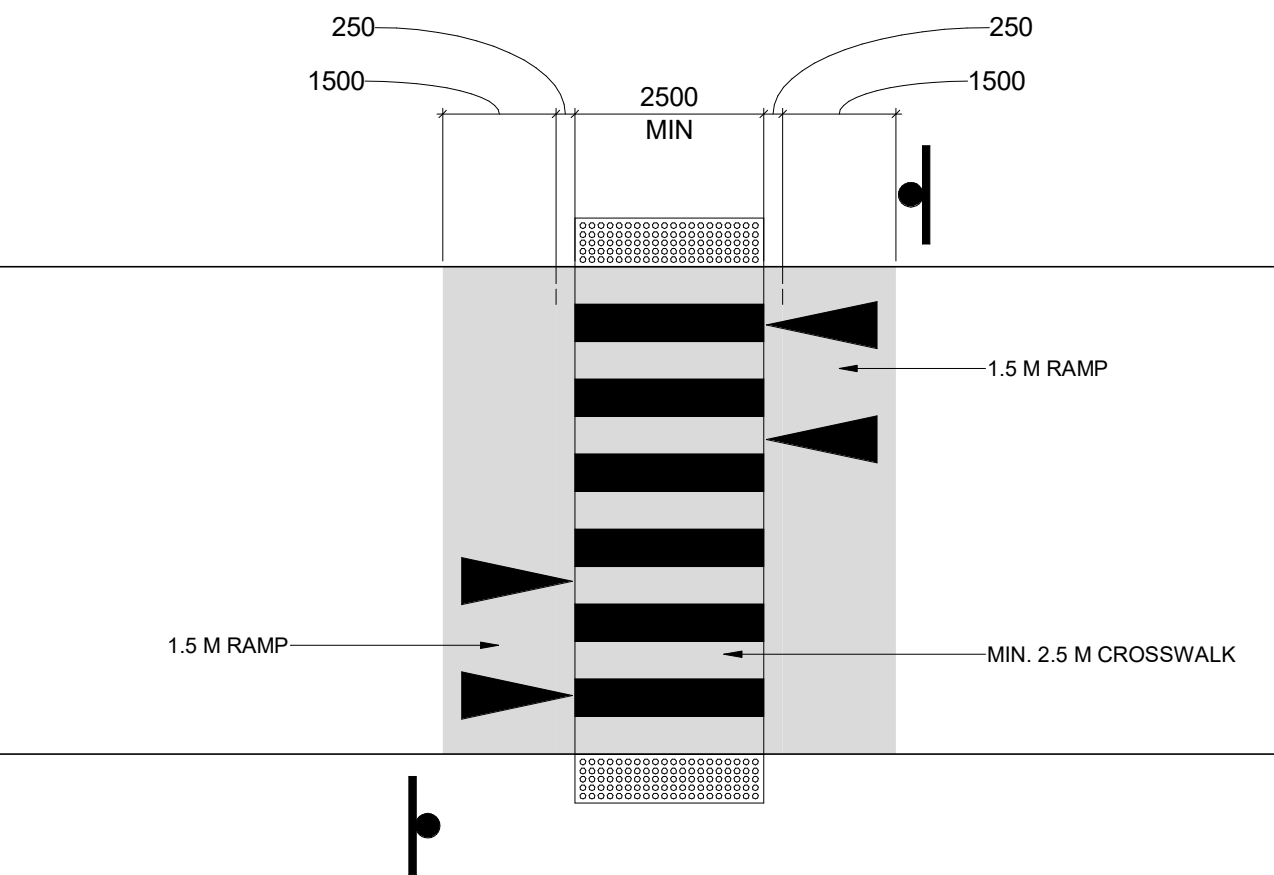
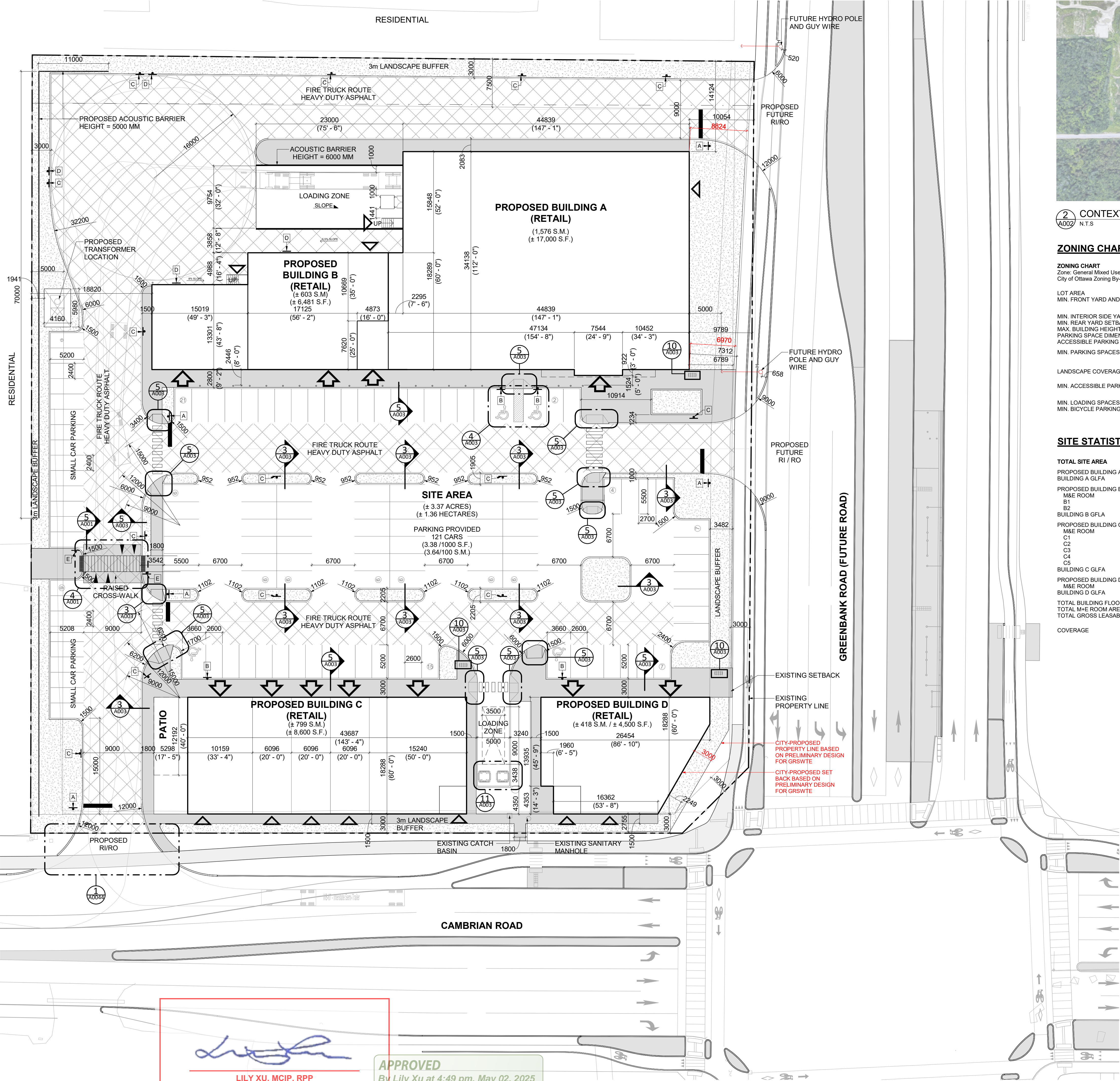
PROPOSED BUILDING A AREA  
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M&E ROOM  
B1  
B2  
BUILDING B GLFA  
PROPOSED BUILDING C AREA  
M&E ROOM  
C1  
C2  
C3  
C4  
C5  
BUILDING C GLFA  
PROPOSED BUILDING D AREA  
M&E ROOM  
BUILDING D GLFA  
TOTAL BUILDING FLOOR AREA  
TOTAL M+E ROOM AREA  
TOTAL GROSS LEASABLE FLOOR AREA

## COVERAGE

±3.37 ACRES  
±17,000 S.F.  
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±6,481 S.F.  
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±399 S.M.  
±3,398 S.M.  
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±3,324 S.M.

SYMBOL	SIGN	DESCRIPTION
A		"STOP" SIGN (600x600mm) WHITE REFL. LEGEND & BORDER, RED REFL. BACKGROUND
B		"DISABLING PARKING PERMIT" SIGN (600x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
C		"FIRE ROUTE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, WHITE REFL. "FIRE ROUTE" ON BLACK BACKGROUND, BLACK LEGEND & BORDER, WHITE REFL. BACKGROUND
D		"LOADING ZONE" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND
E		"YIELD FOR PEDESTRIANS" SIGN (300x450mm) RED REFL. INTERDICTIONARY SYMBOL, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND

5 RAISED CROSS WALK - TYPICAL SECTION DETAIL - PHASE 2  
1:504 RAISED CROSS-WALK - TYPICAL PLAN DETAIL - PHASE 2  
1:1001 SITE PLAN - PHASE 2  
1:300

LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT, AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

APPROVED  
By Lily Xu at 4:49 pm, May 02, 2025



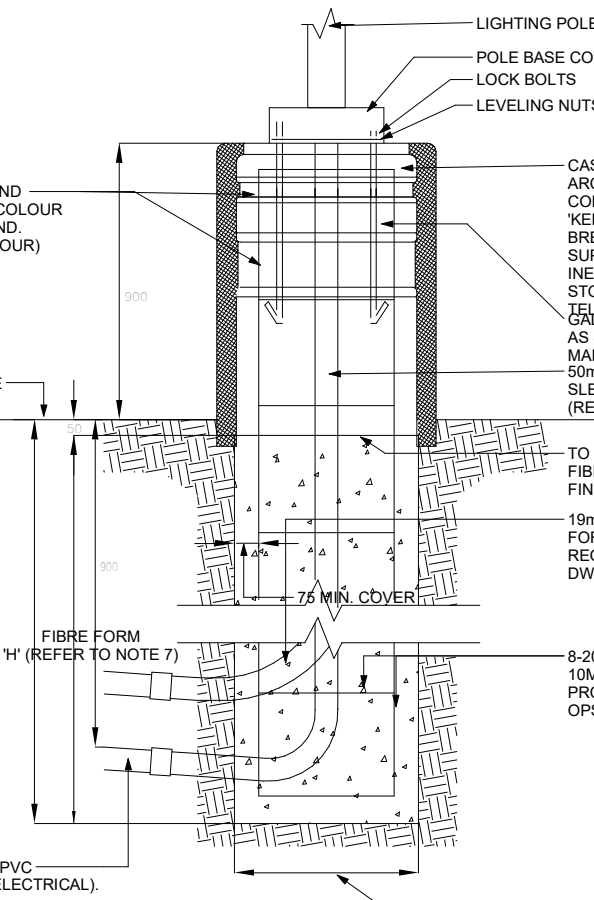
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**NOTE:**  
CONCRETE BASES FOR LUMINAIRES TYPE "1," 1" 1.24" A" 1.26" TO BE SUPPLIED AND INSTALLED BY THIS ELECTRICAL CONTRACTOR.

**NOTES:**

- ALL DIMENSIONS ARE IN MILLIMETERS OR METERS
- TOP OF FOUNDATION SHALL BE TROWELED SMOOTH & LEVEL
- CLASS OF CONCRETE SHALL BE 25MPa. CONCRETE SHALL BE VIBRATED
- A MINIMUM OF TWO SLEEVES REQUIRED FOR EACH CONC. FOUNDATION UNLESS OTHERWISE SHOWN
- PROVIDE A 18mm DIA. 3000mm STEEL COPPER COATED GROUND ROD ADJACENT TO POLES AS SPECIFIED ON PLAN AND CONNECT TO METAL POLE WITH BARE COPPER CONDUCTORS
- CONTRACTOR TO VERIFY OPENING SIZE IN BASE PLATE PRIOR TO SETTING CONDUIT SLEEVES
- TO OF CONVENTIONAL FIBRE FORM AT 50 BELOW FINISHED GRADE
- 18mm RIGID CONDUIT SLEEVE FOR GROUND CONNECTION AS REQUIRED & SPECIFIED - SEE DWGS (REFER TO NOTE 5)
- 8-20M REIN. RODS & 10M TIES PER INT. PROV. STD. DWG. OPSD-2208-01

POLE LENGTH	BASE BURIAL DEPTH	REIN. ROD LENGTH
(M)	(M)	(M)
3.0	1.50	1.35
5.6	2.15	2.00
7.0	2.15	2.00
8.7	2.45	2.30
7.5	2.15	2.00
9.0	2.45	2.30
10.5	2.60	2.45
12.0	2.75	2.60
13.6	2.90	2.75
15.1	3.05	2.90



TYPICAL CONCRETE BASE FOR LUMINAIRE

APPROVED

By Lily Xu at 4:49 pm, May 02, 2025

LILY XU, MCIP, RPP  
MANAGER, DEVELOPMENT REVIEW SOUTH  
PLANNING, DEVELOPMENT, AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA

**1 LIGHT STANDARD**

A003

1:500

**2 FROST SLAB PLAN**

A003

1:50

**3 CONCRETE CURB SECTION**

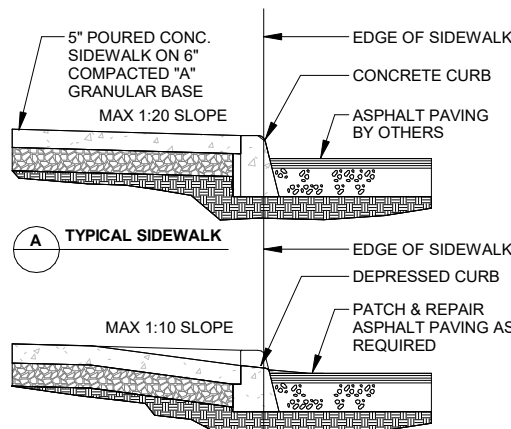
A003

1:15

**4 ACCESSIBLE PARKING DETAIL**

A003

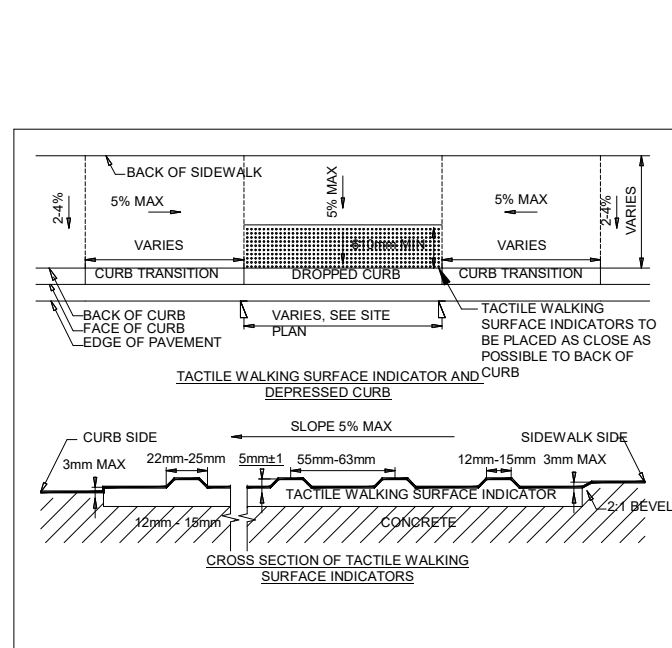
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**GENERAL NOTES:**

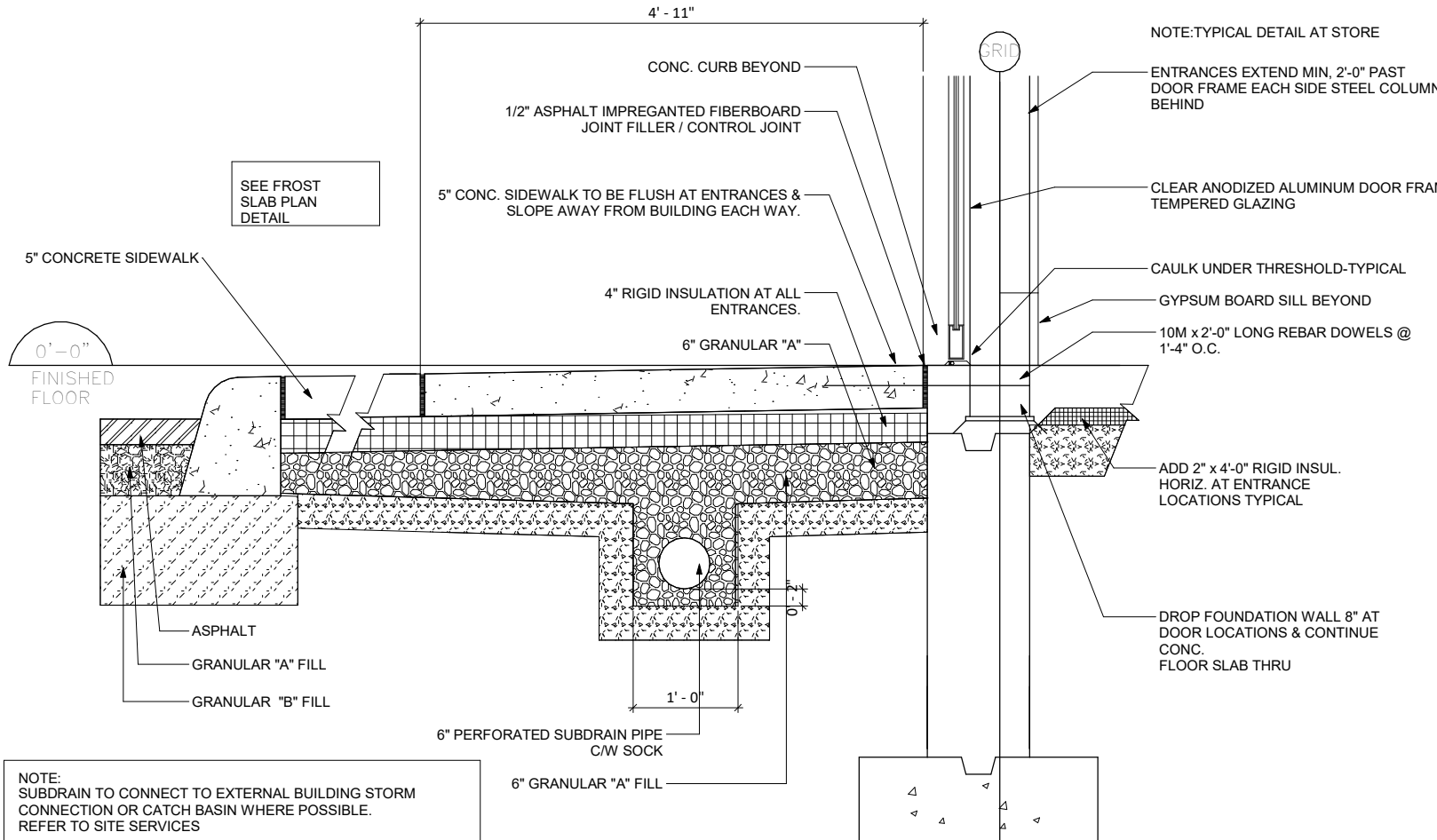
- G1. SIDEWALK SLOPES TO BE 1/8" / FT. (1%) MAX. IN ALL DIRECTIONS ALONG STOREFRONT, 1/4" / FT. (2%) MAX. IN OTHER AREAS
- G2. EXPANSION JOINTS ARE TO BE AS SPECIFIED & AS LOCATED ON ARCHITECTURAL DOCUMENTS
- G3. REINFORCING TO BE AS PER STRUCTURAL DOCUMENTS
- G4. CONCRETE TO BE BROOM FINISHED AS PER ARCHITECTURAL SPECIFICATIONS
- G5. CONSTRUCTION OF CURB RAMPS TO BE IN ACCORDANCE WITH THE REQUIREMENTS IN PROVINCE OF ONTARIO - DESIGN OF PUBLIC SPACES STANDARD - PART IV OF ONTARIO REGULATION 191/11. IT MUST HAVE TACTILE WALKING SURFACE INDICATORS THAT:
  - i) HAVE RAISED TACTILE PROFILES
  - ii) HAVE A HIGH TONAL CONTRAST WITH THE ADJACENT SURFACE
  - iii) ARE LOCATED AT THE BOTTOM OF THE CURB RAMP
  - iv) ARE SET BACK BETWEEN 150mm AND 200mm FROM THE CURB EDGE
  - v) EXTEND THE FULL WIDTH OF THE CURB RAMP
  - vi) ARE A MINIMUM OF 610mm IN DEPTH

**NOTES:**

1. WHERE SIDEWALK IS CONTINUOUSLY ADJACENT, REDUCE THE DROPPED CURB AT ENTRANCES TO 3"
2. FOR SURFACING PROCEDURE A 5% BATTER IS ACCEPTABLE
- A. TREATMENT AT ENTRANCES SHALL CONFORM WITH OPSD-351.01
- B. OUTLET TREATMENT SHALL CONFORM WITH OPSD-410 SERIES
- C. THE LENGTH OF TRANSITION FROM ONE CURB TYPE TO ANOTHER SHALL BE 3.0M, EXCEPT IN CONJUNCTION WITH GUIDE RAIL, IT SHALL CONFORM TO OPSD-900 SERIES



DETAIL OF TACTILE SURFACE



NOTE: SUBDRAIN TO CONNECT TO EXTERNAL BUILDING STORM CONNECTION OR CATCH BASIN WHERE POSSIBLE. REFER TO SITE SERVICES

**6 FROST SLAB SECTION**

A003

1:20

**7 STANDARD PARKING DETAIL (NO ADA)**

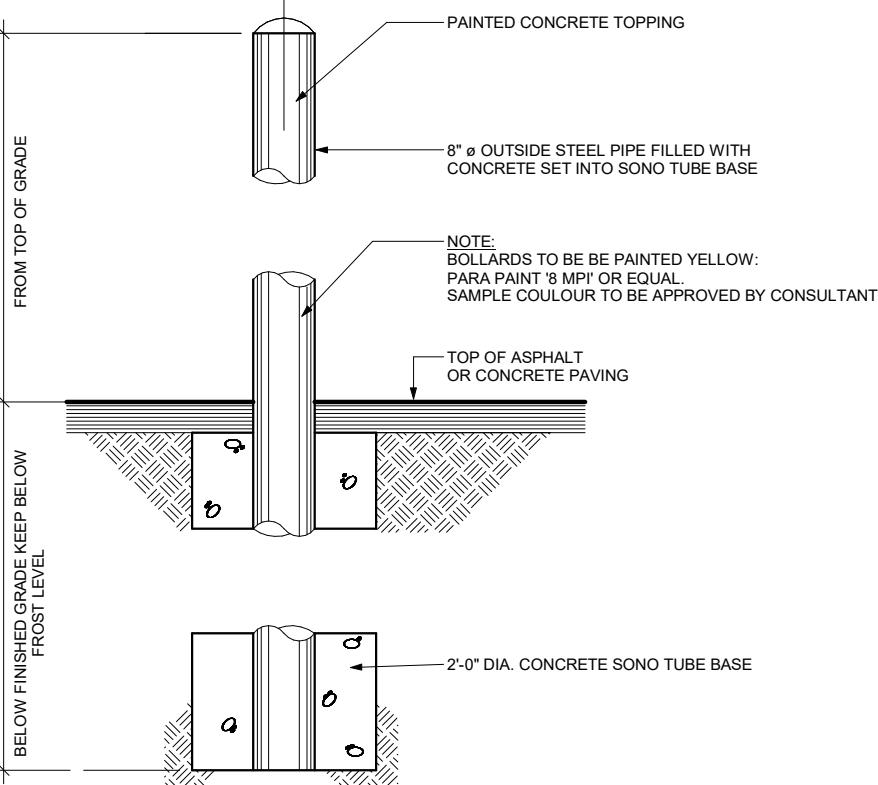
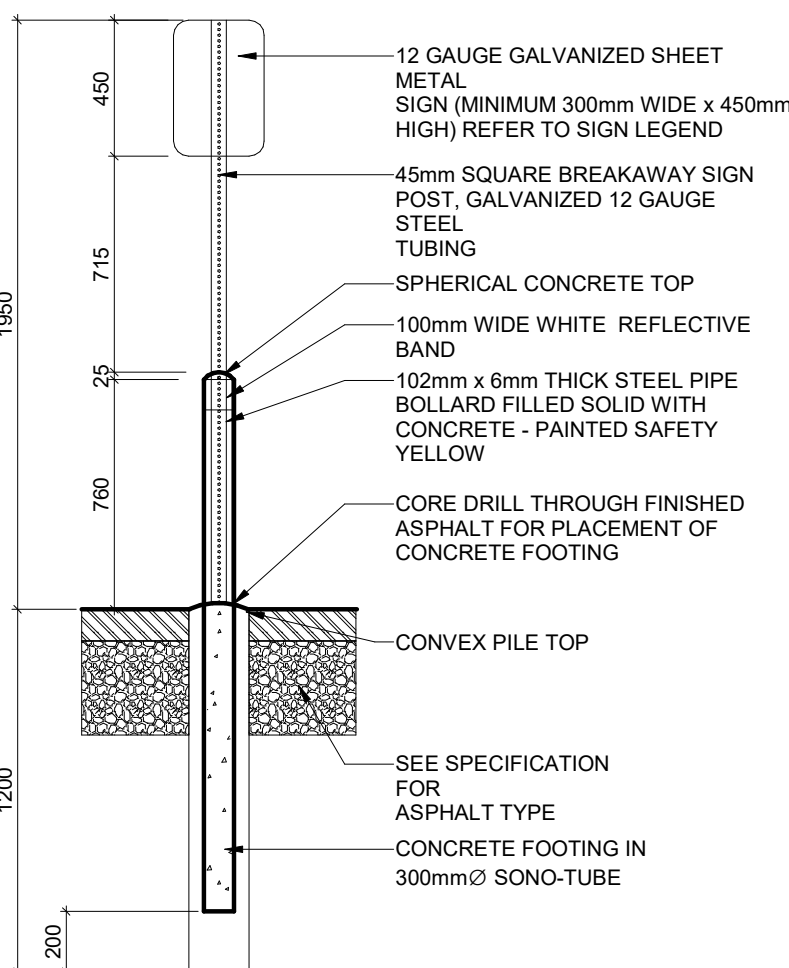
A003

1:100

**5 CURB RAMP WITH TACTILE PLATES**

A003

1:50

**9 BOLLARD DETAIL**

A003

1:25

**10 BICYCLE RACK DETAIL - 6 SPACES**

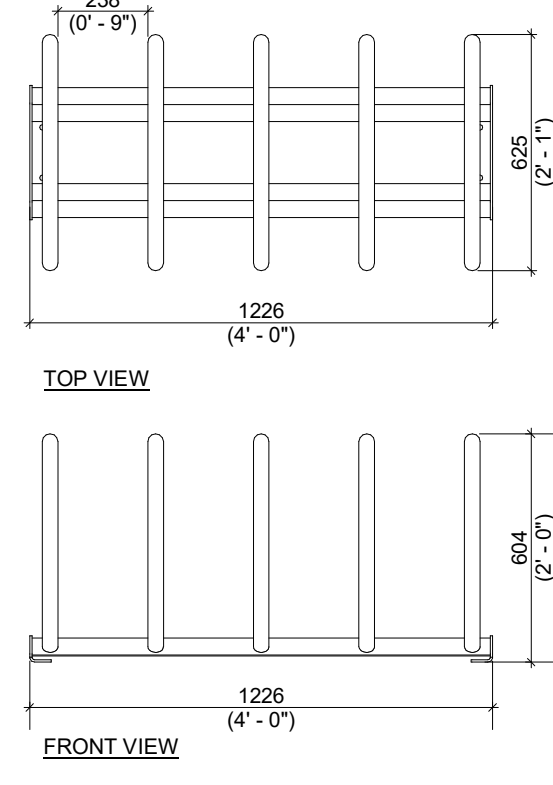
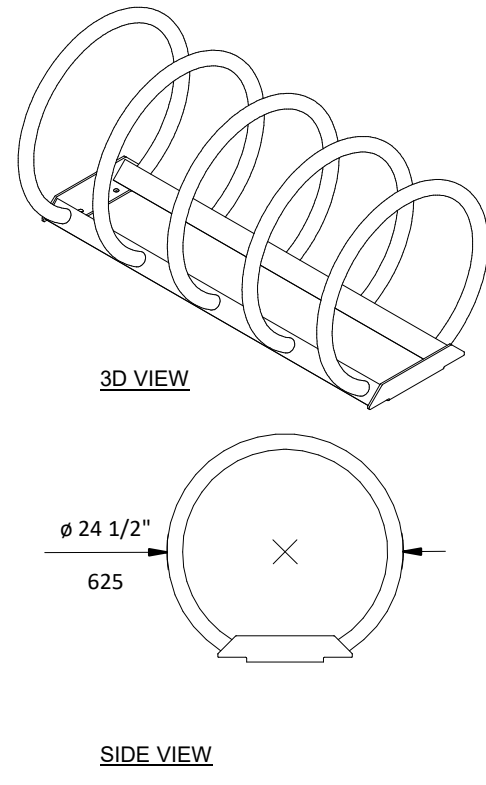
A003

1:20

**8 ACCESSIBLE SIGN W/ BOLLARD DETAIL**

A003

1:25

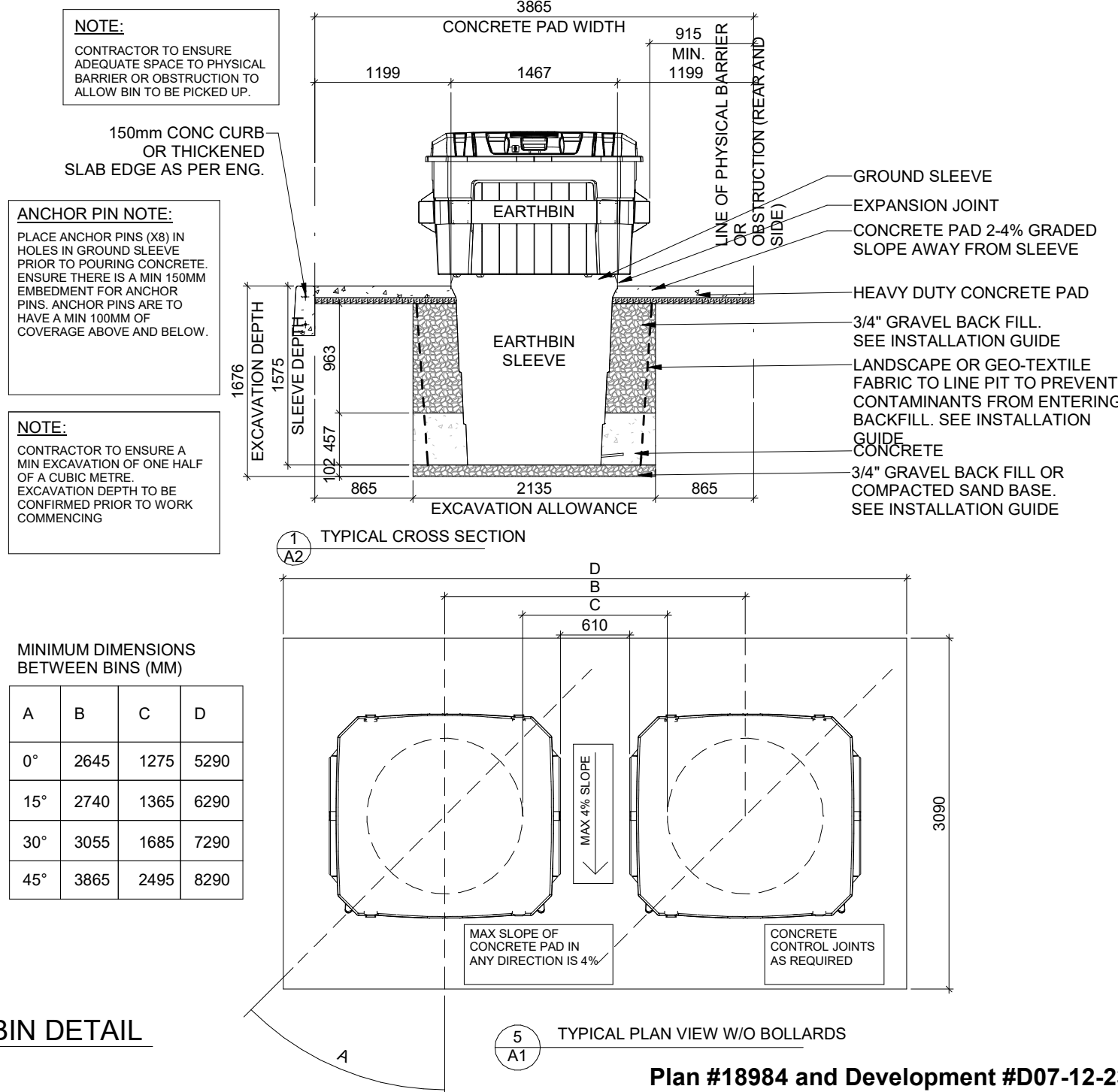


MAGLIN SITE FURNITURE INC. 350 SERIES

MBR350-S-S

**MATERIALS:**  
FINISH: Bike Rack is constructed using H.S. steel tube, formed steel and solid steel angle. All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
INSTALLATION: The bike rack is delivered pre-assembled. It is available with a surface mount installation.

**DIMENSIONS:**  
Height: 23.81" (60.48cm)  
Length: 48.25" (122.56 cm)  
Diameter: 24.63" (62.56 cm)  
Weight: 78.60lbs (35.65kg)

**11 EARTH BIN DETAIL**

A003

1:50

6	2024-02-06	ISSUED FOR SITE PLAN CONTROL APPLICATION #03	JJJ
5	2024-01-22	ISSUED FOR COORDINATION	MHB
4	2024-01-15	ISSUED FOR COORDINATION	MHB
3	2023-10-04	ISSUED FOR SITE PLAN CONTROL APPLICATION #02	NFP
2	2023-08-15	ISSUED FOR REVIEW	ARB
1	2023-04-06	ISSUED FOR SITE PLAN CONTROL APPLICATION	NFP
#	DATE	DESCRIPTION	BY

**Choice Properties**

PROJECT  
**PROPOSED COMMERCIAL RETAIL PLAZA**  
3850 CAMBRIAN ROAD,  
BARRHAVEN, ONTARIO

**SITE DETAILS**

PROJECT NO.  
21.327P01  
PROJECT DATE  
2024-01-22  
DRAWN BY  
NFP  
CHECKED BY  
RMP  
SCALE  
As indicated

DRAWING NO.  
**A003**REV.  
**6**

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